

**PLEASANT PRAIRIE PLAN COMMISSION MEETING
VILLAGE HALL AUDITORIUM
9915 39th AVENUE
PLEASANT PRAIRIE, WISCONSIN
6:00 P.M.
SEPTEMBER 9, 2013
AGENDA**

1. Call to Order.
2. Roll Call.
3. Consider the Minutes of the August 12, 2013 Plan Commission meeting.
4. Correspondence.
5. Citizen Comments.
6. New Business.
 - A. **PUBLIC HEARING AND CONSIDERATION OF A CONDITIONAL USE PERMIT INCLUDING SITE AND OPERATIONAL PLAN** for the request of William Tucknott agent for Rust-Oleum Corporation for to install new aerosol spray-paint filling equipment that includes the installation of a 320 square foot pre-fabricated structure that will be located outside on a concrete pad in the rear of the facility located at 8105 95th Street. The structure will house the required equipment that adds propellant to the cans.
 - B. **PUBLIC HEARING AND CONSIDERATION OF A CONDITIONAL USE PERMIT INCLUDING SITE AND OPERATIONAL PLAN** for the request of William Whitting, on behalf of Rust-Oleum Corporation for the proposed acetone bulk tank expansion that includes the installation of two storage tanks, a tanker unloading pad, a utility room and a pump room that will be located outside on a concrete pad in the rear of the facility located at 8105 95th Street.
 - C. **PUBLIC HEARING AND CONSIDERATION OF A CONDITIONAL USE PERMIT** for the request of Wolf Korndoerfer, agent for Korndoerfer Homes, Inc., owner, to use the single family house located at 9966 Cooper Road in the Village Green Heights Addition #1 Subdivision as a model home.
 - D. **PUBLIC HEARING AND CONSIDERATION OF PLAN COMMISSION RESOLUTION #13-08 FOR THE FOLLOWING AMENDMENTS TO THE VILLAGE COMPREHENSIVE PLAN** for the request of Jonah Hetland of Bear Development, representing the owner of the vacant property generally located at northwest corner of STH 50 and 91st Avenue: 1) to amend a portion of the Village of Pleasant Prairie 2035 Comprehensive Land Use Plan Map 9.9 to remove the Urban Reserve Designation from a 5,312 square foot portion of Lot 19 of the Westfield Subdivision located at the northwest corner of STH 50 and 91st Avenue (the underlying community commercial land use designation will remain) for the proposed development of Goddard School and 2) to update Appendix 10-3 of the Village of Pleasant Prairie Wisconsin, 2035 Comprehensive Plan to include said amendment.
 - E. **PUBLIC HEARING AND CONSIDERATION OF A ZONING MAP AND TEXT AMENDMENT** for the request of Jonah Hetland of Bear Development, representing the owner of the vacant property generally located at northwest corner of STH 50 and 91st Avenue to rezone the 5,312 square foot portion of Lot 19 of the Westfield Subdivision from B-2 (UHO) Community Business District with an Urban Landholding Overlay District to B-2 (PUD), Community Business District with a Planned Unit Development Overlay District and to amend the legal description of

the Westfield Heights Commercial Area Planned Unit Development to include a 5,312 square foot portion of Lot 19 of the Westfield Subdivision. These amendments are being requested so that all the improvements associated with the proposed Goddard School development on Lot 20 will be located entirely within the lot area being acquired for the developed for Goddard School.

- F. **PUBLIC HEARING AND CONSIDERATION OF A ZONING TEXT AMENDMENT** for the request of Darcy Kennelly Rutzen, agent on behalf of Prime Outlets of Pleasant Prairie, LLC d/b/a Pleasant Prairie Premium Outlets located at 11211 120th Avenue and 11601 108th Street to create Section d. 14. related to specific modifications to the Village of Pleasant Prairie Zoning Ordinance for Pleasant Prairie Premium Outlets as specified in Chapter 420 Attachment 3 Appendix C Specific Development Plan 13 for Pleasant Prairie Premium Outlets Planned Unit Development No. 2. The amendment will allow for a super charging station for electric vehicles to operate 24 hours a day with approval of Site and Operational Plans by the Plan Commission.
- G. Consideration of the request of Darcy Kennelly Rutzen, agent on behalf of Prime Outlets of Pleasant Prairie, LLC d/b/a Pleasant Prairie Premium Outlets located at 11211 120th Avenue and 11601 108th Street for approval of **Site and Operational Plans** for a super charging station for electric vehicles to operate 24 hours a day in the parking lot of the Outlet Center.
- H. **PUBLIC HEARING AND CONSIDERATION OF A CONCEPTUAL PLAN** for the request of Mark Goode, of Venture One Real Estate, agent for James G. Hart and Delaine Farm Partners owners of the properties generally located east of IH-94 south of 110th Street and north of 122nd Street for the approval of a **Conceptual Plan** for the proposed Riverview Corporate Park. The petitioner is requesting to develop approximately 250 acres for five (5) office and manufacturing production buildings ranging in size from about 87,000 square feet to 428,000 square feet.
- I. **PUBLIC HEARING AND CONSIDERATION OF PLAN COMMISSION RESOLUTION #13-09 FOR THE FOLLOWING AMENDMENTS TO THE VILLAGE COMPREHENSIVE PLAN** to consider the request of Mark Eberle, P.E. of Nielsen Madsen and Barber, agent for SB1 Pleasant Prairie WI, LLC owners of vacant 9.9 acre property generally located between 88th and 91st Avenues and 76th Street and Prairie Ridge Blvd to correct and amend the Village of Pleasant Prairie 2035 Comprehensive Land Use Plan Map 9.9 and update Appendix 10-3 of the Village of Pleasant Prairie Wisconsin, 2035 Comprehensive Plan to include said amendment. Specifically, Map 9.9 is proposed to be amended to correctly identify the field delineated wetlands in the Park, Recreational and Other Open Space Lands with a field verified wetland land use designation on the vacant property located between 88th and 91st Avenues and 76th Street and Prairie Ridge Blvd.
- J. **PUBLIC HEARING AND CONSIDERATION OF A ZONING MAP** to consider the request of Mark Eberle, P.E. of Nielsen Madsen and Barber, agent for SB1 Pleasant Prairie WI, LLC owners of vacant 9.9 acre property generally located between 88th and 91st Avenues and 76th Street and Prairie Ridge Blvd to rezone the field delineated wetlands on the property into the C-1, Lowland Resource Conservancy District.

- K. **PUBLIC HEARING AND CONSIDERATION OF A CONCEPTUAL PLAN** to consider the request of Mark Eberle, P.E. of Nielsen Madsen and Barber, agent for SB1 Pleasant Prairie WI, LLC owners of vacant 9.9 acre property generally located between 88th and 91st Avenues and 76th Street and Prairie Ridge Blvd for the proposed office development on four (4) lots ranging in size from 2.122 acres and 2.912 acres.
- L. Consider the request of Mark Eberle, P.E. of Nielsen Madsen and Barber, agent for SB1 Pleasant Prairie WI, LLC owners of vacant 9.9 acre property generally located between 88th and 91st Avenues and 76th Street and Prairie Ridge Blvd for approval of a **Certified Survey Map** to subdivide the property and create a 2.912 acres property for a proposed office building.
- M. Consider the request of Kenneth Sniegowski, of Hanna Cylinders, agent for approval of **Site and Operational Plans** to occupy the entire 105,637 square foot building located at 8901 102nd Street for the manufacturing and producing of hydraulic and pneumatic cylinders.
- N. Consider the request of Pastor Joyce Rinehart for a **two (2) year time extension of the Site and Operational Plans** for the second phase of the improvements at the Pleasant Prairie United Methodist Church located at 8405 104th Avenue as conditionally approved by the Plan Commission on April 12, 2010.

7. Adjourn.

It is possible that members and possibly a quorum of members of other governmental bodies of the municipality may be in attendance in the above stated meeting to gather information; no action will be taken by any other governmental body except the governing body noticed above.

The Village Hall is handicapped accessible. If you have other special needs, please contact the Village Clerk, 9915 39th Avenue, Pleasant Prairie, WI (262) 694-1400.

**PLEASANT PRAIRIE PLAN COMMISSION MEETING
VILLAGE HALL AUDITORIUM
9915 39TH AVENUE
PLEASANT PRAIRIE, WISCONSIN
6:00 P.M.
August 12, 2013**

A regular meeting for the Pleasant Prairie Plan Commission convened at 6:00 p.m. on August 12, 2013. Those in attendance were Thomas Terwall; Michael Serpe; Donald Hackbarth; Wayne Koessler; Andrea Rode (Alternate #2); Jim Bandura; John Braig; and Judy Juliana (Alternate #1). Also in attendance were Mike Pollocoff, Village Administrator; Jean Werbie-Harris, Community Development Director; Tom Shircel, Assistant Village Administrator; and Peggy Herrick, Assistant Zoning Administrator.

- 1. CALL TO ORDER.**
- 2. ROLL CALL.**
- 3. CONSIDER THE MINUTES OF THE JULY 22, 2013 PLAN COMMISSION MEETING.**

Don Hackbarth:

So moved to approve.

Judy Juliana:

Second.

Tom Terwall:

**MOVED BY DON HACKBARTH AND SECONDED BY JUDY JULIANA TO APPROVE
THE MINUTES OF THE JULY 22, 2013 PLAN COMMISSION MEETING AS
PRESENTED IN WRITTEN FORM. ALL IN FAVOR SIGNIFY BY SAYING AYE.**

Voices:

Aye.

Tom Terwall:

Opposed? So ordered.

- 4. CORRESPONDENCE.**
- 5. CITIZEN COMMENTS.**

Tom Terwall:

If there's anybody in the audience that wishes to raise an issue now would be your opportunity to do so. We would ask that you step to the microphone and begin by giving us your name and address. Anybody wishing to speak under citizens' comments?

6. NEW BUSINESS

- A. Consider the request of Carmelo Tenuta agent, on behalf of Double D Two Investments LLC, owner of the property known as Outlot 4 of the Devonshire Subdivision generally located within the 4900 and 5100 block of 93rd Street (south side of 93rd Street) for approval of a Certified Survey Map to subdivide the property to create one (1) 18,075 square foot parcel on the northwest corner of the site so that the westernmost home on the property will be located on its own parcel and to dedicate right-of-way for the future southern extension of Cooper Road. The remaining 36.5 acres will remain one (1) parcel that may be subdivided in the future.**

Peggy Herrick:

This is the request of Carmelo Tenuta agent, on behalf of Double D Two Investments LLC, owner of the property known as Outlot 4 of the Devonshire Subdivision generally located within the 4900 and 5100 block of 93rd Street on the south side of 93rd Street. They are requesting for approval of a Certified Survey Map to subdivide the property to create one 18,075 square foot parcel on the northwest corner of the site so that the westernmost home on the property will be located on its own parcel and to dedicate right-of-way for the future southern extension of Cooper Road. The remaining 36.5 acres will remain as one parcel that may be subdivided in the future.

Lot 1 is currently zoned R-4, Urban Single Family Residential District. Lot 2 is currently zoned R-4, the wetlands are zoned C-1 and the future outlot areas pursuant to the preliminary plat for the Devonshire Subdivision are zoned PR-1, Neighborhood Park-Recreational District. Therefore, a Zoning Map Amendment is not required for the proposed land division. Furthermore, the Village Comprehensive Land Use Plan is consistent with the current zoning so the Comprehensive Land Use Plan does not need to be amended as part of this application.

Lot 1 is proposed to be 18,075 square feet with more than 100 feet of frontage on a public street, 93rd Street. The existing house will remain. The lot size and frontage meets the minimum requirements of the R-4 District. Lot 2 is proposed to be 36.5629 acres with over 700 feet of frontage on 93rd Street. This parcel is proposed to be further subdivided in the future into single family lots.

The existing home and garage within the proposed dedicated Cooper Road right-of-way shall be razed in accordance with the Village's Razing Permit Application requirements prior to recording the CSM or by December 1, 2013, whichever occurs first. The razing procedures include: removal of the structures, abandonment of all utilities, filling the foundation and the excavated area, returning the land area to grade and vegetatively stabilizing the land.

Owners Guarantee: A copy of the owners executed contract proposal to raze the structures and stabilize the site within the Cooper Road right-of-way, a performance bond equal to the contract

proposal and the executed copy of the attached Waiver of Liability and Indemnification shall be provided to the Village prior to recording the CSM to provide with the Village the assurance that the structures will be razed and the site restored in the Cooper Road right-of-way by December 1, 2013. After the structures are razed, the site is restored and the Village inspects and accepts the right-of-way then the performance bond and waiver will be released.

All of the other seven structures including another house and six outbuildings on the property shall be razed by September 1, 2014. These are structures located further east of the home being kept, the right-of-way being dedicated, they're further east of that. During the interim period up until September 1, 2014, all of the structures shall be properly maintained by the owner and free from vandalism and casual entry. If the remaining structures become a public nuisance, the Village will notify the owner in accordance with Municipal Code procedures for their immediate removal.

The notes on the CSM need to be modified as appropriate regarding the time frames for the removal of the boarded/abandoned structures on the property will be removed. If the structures are razed prior to recording the CSM, then the structures shall be removed from the face of the CSM.

As part of the preliminary plat for the Devonshire Subdivision conditionally approved by the Village Board on March 5, 2007 by Resolution #07-04, the intersection of Cooper Road and 93rd Street is proposed to be improved with a roundabout; therefore as part of this CSM, a 100-foot radius is being dedicated to the Village for the future roundabout and an 80-foot wide roadway dedication is also being dedicated for the future extension of Cooper Road to the south along the east side of the proposed Lot 1.

There is a note on the final plat for the Devonshire Subdivision that indicates no direct driveway access shall be obtained from 93rd Street to Outlot 4. Therefore, as indicated on the CSM No Direct Driveway Access to 93rd Street for both Lots 1 and 2 will be allowed after Cooper Road is extended. As such, a temporary access to Lot 1 will be allowed by the Village to remain in the same location since most of the existing driveway is within the dedicated Cooper Road to the east of Lot 1. This temporary driveway can remain until Lot 2 is developed and Cooper Road is constructed south of 93rd Street. The Lot 2 Developer shall be responsible both physically and financially for the relocation of the Lot 1 driveway and area restoration when Cooper Road is constructed. A note will be placed on the CSM that reflects this responsibility. Temporary construction easements shall be identified on the CSM to reflect the removal, relocation and restoration of the Lot 1 driveway. The location of the driveway access to Cooper Road shall be determined by the Village after the roundabout design has been finalized.

A 20 foot wide Temporary Construction Access Easement over the gravel construction access leading from 93rd Street to the existing Devonshire Phase 1 through Lot 2 shall be clearly identified on the CSM as the construction access for the existing home construction within the Devonshire Subdivision. This Temporary Construction Access Easement shall be dedicated on this CSM and the easement language shall be prepared by the surveyor and added to the CSM which indicates that private and public contractors shall be allowed to utilize this access to the existing Devonshire Phase 1 Subdivision until the lots are built upon or the Village releases the need for the easement, whichever occurs first.

The wetlands on Lot 2 are shown and legally described on the CSM. Pursuant to the Development Agreement and the approved engineering plans for the Devonshire Subdivision, the wetlands were filled pursuant to the attached Army Corp of Engineers and Wisconsin DNR permits for the future roadways as shown on the Preliminary Plat for Devonshire. There were just portions filled in, not all the wetlands. Portions where the road was going to be extended were filled in as part of the first phase of the Devonshire pursuant to those permits. The wetlands on Lot 2 were field staked by a biologist in 2002 and approved by the DNR on January 21, 2003. Prior to the development of Lot 2, the wetlands will need to be re-verified and likely re-delineated.

The trees that are shown on the CSM to be removed are the same trees that were identified and approved to be removed pursuant to the preliminary plat for Devonshire Subdivision. These trees are proposed to be removed when Lot 2 is developed at the cost of the developer of Lot 2. The west 25 feet of Lot 1 identifies that the trees are in a Dedicated Tree Preservation and Protection, Access and Maintenance Easement pursuant to the preliminary plat for the Devonshire Subdivision are to be protected. This entire 25 foot wide easement area shall remain undisturbed. Language will be placed on the CSM which describes the penalties for the removal of any healthy trees within this easement.

The petitioner is requesting the deferment of the public improvements in 93rd Street and Cooper Road extension south until Lot 2 is developed. Language shall be placed on the CSM that describes that it the developer of 2 who is responsible for the design and construction of the Cooper Road and 93rd Street/Cooper Road roundabout required public infrastructure improvements.

The existing home on Lot 1 will be required to connect to both municipal water and municipal sanitary sewer. Both municipal services are available in 93rd Street. According to the Village records, the house is currently not connected to municipal water; however since the house has been vacant for more than a year and the land division is proposed, the Village will require the house to be connected to water and pay any deferred assessments that may be due. In addition, any outstanding taxes or special assessments shall be paid prior to recording the CSM.

The Village will accept the Cooper Road right-of-way dedication; however, the owner shall be responsible for any of the property taxes and special assessments associated with Lot 2 and the dedicated right-of-way areas.

And, lastly, on July 15, 2013, the Village initiated the change of an official address 5029 93rd Street which is for the western most house that's on Lot 1 to be changed to 5149 93rd Street because it is out of order for sequencing. That address change was approved by the Village Board and will become effective on August 15, 2013.

Village staff does recommend approval of the certified survey map subject to the comments specified that I just read into the record and the conditions outlined in the staff memorandum.

Tom Terwall:

Is there anybody wishing to comment on this matter? Anybody wishing to comment? Now I'm going to open it up to Commissioners and staff.

Michael Serpe:

One question for you, Peg. I'm in favor of this whole thing including the roundabout. But what if the roundabout doesn't take place for some reason or another?

Peggy Herrick:

Then this will probably be a [inaudible] situation and that would be [inaudible].

Michael Serpe:

Is it going to make any difference with any driveway access, any of that we just talked about?

Mike Spence:

If it would revert to a controlled intersection with a signal generally the roundabout requires a little more right of way. So until the time that everything's designed there could be a need for turning lanes or whatever. But I think my understanding would be that the right-of-way that's being dedicated would be sufficient if a roundabout wasn't installed in the future.

Michael Serpe:

For the south side of 93rd. I'm thinking what if we have problems with the north side?

Mike Spence:

At that point if there was additional right-of-way needed then we'd have to go back or we'd have to look at acquisition on the north side. I think what we'd most likely try to do is get the geometrics so that wouldn't be required. But until we actually do the design it's hard to say for sure.

Tom Terwall:

Any other comments?

John Braig:

One more. I think Mike's concern is very valid, because on both the northeast and the northwest corners of this intersection there's housing right tight on the lot, and if they take any of the land involved you're going to have pavement up almost against the house. So I would think the whole intersection if it was to become a roundabout would have to be moved somewhat south if that's possible.

Mike Pollocoff:

If the Commission things back, when the Devonshire Subdivision was originally approved we had engineered a roundabout for that intersection that didn't require that much -- it wasn't an addition -- a removal of the corners on the parcels on the north, but it didn't affect the houses, and

it didn't come right up next to the houses either. Because this is not a double lane roundabout, it's a single lane roundabout. So we've done that work to do it.

If we were to come back and I think at the time we did that analysis if we were to make it a signalized intersection we'd still have to put in right turn lanes on 93rd Street going to Cooper Road. And we need to double the lanes on 93rd Street and Cooper Road in that area which would widen out the Cooper Road and 93rd Street at the intersection. So the taking could be greater in the length of the property that you'd have to affect rather than just the corners of it. So we've done this based on the work that was already approved by the Plan Commission to the Devonshire Subdivision.

I have no doubt that the people on the north side of 93rd Street -- they haven't been contacted because we don't know when this is going to happen to go do this. But that will probably be something you could acquire through a negotiated acquisition. But if at that point Cooper Road goes through and there's going to be that much more traffic on it at that point the Village would have to step in and assist to get that acquired. To change it away and go back to a regular controlled intersection is going to require more land in a different way.

John Braig:

There's no question that Cooper is going to pick up a lot of traffic between 39th and Old Green Bay Road. Cooper Road is the only route.

Michael Serpe:

I move approval.

John Braig:

Second.

Tom Terwall:

IT'S BEEN MOVED BY MIKE SERPE AND SECONDED BY JOHN BRIAG TO SEND A FAVORABLE RECOMMENDATION TO THE VILLAGE BOARD TO APPROVE SUBJECT TO THE TERMS AND CONDITIONS OUTLINED IN THE STAFF MEMORANDUM. ALL IN FAVOR SIGNIFY BY SAYING AYE.

Voices:

Aye.

Tom Terwall:

Opposed? So ordered.

7. ADJOURN.

John Braig:

Move adjournment.

Michael Serpe:

Second.

Tom Terwall:

All in favor signify by saying aye.

Voices:

Aye.

Tom Terwall:

Opposed? We're out of here.

Meeting Adjourned: 6:16 p.m.

- A. **PUBLIC HEARING AND CONSIDERATION OF A CONDITIONAL USE PERMIT INCLUDING SITE AND OPERATIONAL PLAN** for the request of William Tucknott agent for Rust-Oleum Corporation for to install new aerosol spray-paint filling equipment that includes the installation of a 320 square foot pre-fabricated structure that will be located outside on a concrete pad in the rear of the facility located at 8105 95th Street. The structure will house the required equipment that adds propellant to the cans.

Recommendation:

Village staff recommends approval of Conditional Use Permit including Site and Operational Plans subject to the comments and conditions of the Village Staff Report of September 9, 2013.

VILLAGE STAFF REPORT OF SEPTEMBER 9, 2013

CONDITIONAL USE PERMIT INCLUDING SITE AND OPERATIONAL PLAN for the request of William Tucknott agent for Rust-Oleum Corporation for to install new aerosol spray-paint filling equipment that includes the installation of a 320 square foot pre-fabricated structure that will be located outside on a concrete pad in the rear of the facility located at 8105 95th Street. The structure will house the required equipment that adds propellant to the cans.

PUBLIC HEARING COMMENTS:

As a part of the hearing record, the Village staff has compiled a listing of findings, exhibits and conclusions regarding the petitioner's request as presented and described below:

Findings of Fact

1. The petitioner is requesting a Conditional Use Permit including Site and Operational Plans to install new aerosol spray-paint filling equipment that includes the installation of a 320 square foot pre-fabricated structure that will be located outside on a concrete pad in the rear of the facility located at 8105 95th Street. The structure will house the required equipment that adds propellant to the aerosol spray cans. (See **Exhibits 1 and 2**).
2. The property is identified as CSM #1203 located in a part of U.S. Public Land Survey Section 21, Township 1 North, Range 22 East in the Village of Pleasant Prairie and further identified as Tax Parcel Number 92-4-122-212-0355.
3. Pursuant to the application (See **Exhibit 1**):
 - a. Rust-Oleum Corporation operates a paint manufacturing facility that produces a variety of both water-based and solvent-based coatings. The plant is made up of a few main areas. The bulk raw material storage tank farm is where liquid solvents and resins are stored. Powder raw materials such as color pigments are stored in the receiving warehouse portion of the plant. These raw materials are then mixed together in tanks of varying sizes to make the finished paint product. The finished product is then filled and packaged on the plant's filling lines. The product can be filled into half-pint cans, quart cans, 1 gallon cans, 5 gallon pails or aerosol spray cans.
 - b. A new high speed aerosol can filling line is proposed to be installed in the southwest corner of the facility. The majority of the equipment will be located inside the facility; however, a propellant charging room (320 square foot) will be located outside the building on a new concrete pad that contain the equipment responsible for adding propellant to aerosol cans.
 - c. Standard hours of operation will be 24 hours a day, 7 days a week.
 - d. Start-up of the filling line will be as soon as possible. There are currently 290 full time employees for the entire facility. Initially, staff from other existing filling lines will be transferred to the new filling line. As sales continue to grow additional employees will be hired to run all of the **plant's** equipment
 - e. The maximum number of employees in the entire plant at any given time including all of the 1st shift R&D employees and all of the production staff at shift change is about 170 employees.

- f. No additional parking spaces will be required. As there will be no significant change in their operations, the type of vehicular traffic to and from the facility will be unchanged.
 - g. This new equipment will fill aerosol spray paint cans identical to the cans currently filled. The new equipment to be installed includes a depalletizer, filler, crimper, gasser, checkweigher, waterbath, tipper, labeler, capper, sticker applicator, case packer, and palletizer. There will be no new waste streams from this new packaging equipment.
 - h. Security for the gashouse will be incorporated into our existing automated fire alarm system that protects the existing building. The maintenance of the new equipment will also be fully incorporated into the systems they use to maintain the existing building and landscaping. As such, Rust-Oleum is confident that there will be no adverse impacts to neighboring properties and public facilities. They have sound safety and environmental procedures in place to mitigate the impact of an unforeseen issue. Rust-Oleum is in full compliance with all Federal, State, and Local operating permits and approvals. The facility currently has a registration air permit with the DNR.
 - i. This equipment will not be operated as to be a public nuisance and will not violate Section 420-38 of the Village Zoning Ordinance related to performance standards.
4. The current zoning of the property is M-2, General Manufacturing District and High-Hazard Group H Uses within the District pursuant to Chapter 3 of the 2006 International Commercial Code are allowed within the District on this property with the approval of a Conditional Use Permit.
5. Previous Conditional Use Permits approved for this property include:
- a. Kenosha County Resolution #94 was approved on July 27, 1988 for a Conditional Use Permit to operate a manufacturing, research and development facility for Rust-Oleum Corporation. (See **Exhibit 3**)
 - b. Conditional Use Grant Document #92-009 was approved by the Village on November 11, 1992 for the storage of product on site. (See **Exhibit 4**)
 - c. Conditional Use Grant Document #95-017 was approved by the Village on November 6, 1995 to construct a 480 sq ft building to be used in the recovery of paint and propellant from returned/rejected aerosol containers. (See **Exhibit 5**)
 - d. Conditional Use Grant Document #96-01 was approved by the Village on April 1, 1996 to construct housing for equipment used to inject propellant into aerosol cans. (See **Exhibit 6**)
 - e. Conditional Use Grant Document #03-03 was approved by the Village on February 10, 2003 for the installation of thermal oxidizer and relocation of maintenance office (interior). (See **Exhibit 7**)
 - f. Conditional Use Grant Document #07-01 was approved by the Village on April 9, 2007 to construct a 3,320 square foot addition for testing new products with proper temperature and humidity controls. In addition, the emergency access roadway was re-routed to accommodate the addition. (See **Exhibit 8**)
 - g. Conditional Use Grant Document #12-07 was approved by the Village on October 8, 2012 to install a new aerosol spray-paint filling equipment that includes the installation of a 192 square foot pre-fabricated structure located

on a concrete pad outside rear of the facility located at 8105 95th Street that will house the required equipment that adds propellant to the cans. (See **Exhibit 9**)

6. Notices were sent to adjacent property owners via regular mail on September 12, 2012 and notices were published in the Kenosha News on August 26, and September 2, 2013.
7. The petitioner was e-mailed a copy of this memo on September 6, 2013.
8. According to the Article XVIII of the Village Zoning Ordinance, the Plan Commission shall not approve a Conditional Use Permit unless they find after viewing the findings of fact, the application and related materials that the project as planned, will not violate the intent and purpose of all Village Ordinance and meets the minimum standards for granting of a Conditional Use Permit. Furthermore, the Plan Commission shall not approve any site and operational plan application without finding in the decision that the application, coupled with satisfaction of any conditions of approval, will comply with all applicable Village ordinance requirements and all other applicable Federal, State or local requirements relating to land use, buildings, development control, land division, environmental protection, sewer service, water service, noise, storm water management, streets and highways and fire protection.

Village Staff Conclusions and Recommendation: (to be read out loud)

The Village staff has determined that based upon the foregoing information presented in the application, at the public hearing and the memorandum from the Fire & Rescue Department that the project meets the following standards for granting a Conditional Use Permit and Site and Operational Plan approval in that the project:

- The project does not impede the traffic patterns on the site or cause traffic congestion or traffic circulation problems and the traffic patterns on the site do not hinder, harm or distract the provisions of public services.
- The project does not impair an adequate supply of light and air to the adjacent properties.
- The project does not increase danger of fire, in so far as the danger of fire does not exceed the capabilities of the Village Fire & Rescue Department provided the comments of the August 10, 2013 memo from the Village Fire & Rescue Department are satisfied.
- The project does not create storm water flooding or drainage, create obnoxious odors, problems or otherwise endanger the public health, safety or welfare.
- There are no existing identified hazard, danger, harm, noxiousness, offensiveness, nuisance or other **adversity or inconsistency that would endanger the public's health, safety or welfare** related to the proposed use.
- The proposed and applied for use on this particular parcel is not inherently inconsistent with the M-2, General Manufacturing District in which it is located or the adjoining zoning districts and land uses.

Based on the foregoing information, the Village staff recommends that if the Plan Commission determines that the petitioner has met the specific standards for granting of a Conditional Use Permit and Site and Operational Plan approval as specified above; then approval of the Conditional Use Permit and Site and Operational Plan shall be approved subject to the following conditions:

1. Prior to issuance of permits, written approval from LakeView Corporate Park Owners Association, Inc. shall be submitted to ensure compliance with the Protective Covenants and Development Standards of LakeView Corporate Park prior to issuance of building permits.
2. Compliance with the attached Village Fire & Rescue Department Chief's comments dated August 10, 2013. **Note that Condition #2 also requires that a letter, on company letterhead, must be submitted to the Fire & Rescue Department prior to receiving a building permit, stating that the project will comply with all requirements addressed within the August 10, 2013 Fire & Rescue memorandum. A copy of this letter shall also be provided to the Community Development Department.**
3. Written verification from the WI DNR that their existing Air Quality Permit includes this additional aerosol spray paint filling equipment shall be provided to the Village prior to issuance of permits.
4. Continued compliance with all previously approved and valid Conditional Use Permits recorded at the Kenosha County Register of Deeds Office pertaining to this property is required. **(Refer to Exhibits 3-9).**
5. The following comments are from the Village Building Inspector:
 - a. All building, plumbing, lighting and HVAC plans will need to be designed to the IBC Codes, prior to submitting (4 sets) for building permits from the Village of Pleasant Prairie. Since the total cubic footage of the accessory structure is less than 100,000 cubic ft. this can be a Municipal review. All sub-contractors will be required to apply for permits.
 - b. Halls, corridors, stairways, passageways, work aisles and other means of egress from factories, offices and mercantile buildings shall have emergency lighting and exit lighting per Article 700 of the NEC, SPS 316.46. The Village Fire & Rescue Department should be contacted for further information and requirements. Contact Fire & Rescue Chief Doug McElmury at 262-694-8027.
 - c. The electrical contractor will be required to be licensed by the Village of Pleasant Prairie. The electrical contractor shall obtain a permit from the Village prior to beginning work. All contractors must be licensed or registered with the State of Wisconsin.
 - d. Any sprinkler plans and any fire alarm installations are required to be submitted to, and reviewed by the Village Fire & Rescue Department.
 - e. The architect(s)/ professional engineer(s) shall submit, to the Village and State, the compliance statement, Form SBD 9720, prior to the final inspection with the Village Building Inspection and Fire & Rescue Departments.
6. **After Plan Commission approval, the Village will prepare the required Conditional Use Grant Document to be executed by the property owner prior to issuance of the required permits. After the document is executed, it shall be recorded at the Kenosha County Register of Deeds office at the owner's expense.**

7. This Conditional Use Grant shall become effective upon the execution and recording of said document and shall constitute an effective covenant running with the land.
8. Construction and operation of the use granted shall be in strict conformity to the approved plans filed in connection with the petition for this permit. Violations of these conditions may result in the revocation of the conditional use permit or zoning violation prosecution, or both.
9. All required permits shall be obtained from the Village prior to commencing work.
10. The property owner/lessee shall comply with all provisions of the Conditional Use Permit and Site & Operational Plan submittal, including compliance with the Village Performance Standards.
11. Operation of the use granted herein shall be in strict conformity to both plans and documents filed and approved in connection with the petition for Site and Operational Plan approval. Any violation of these conditions may result in the revocation of the approval or zoning violation prosecution, or both.
12. No use shall be conducted in such a way as to constitute a public or private nuisance or to violate any of the performance standards set out in Section 420-38 of the Village Zoning Ordinance.
13. The Conditional Use Grant is subject to amendment and termination in accordance with the provisions of the Village General Zoning and Floodplain/Shoreland Zoning Ordinance.
14. All plans and the proposed and applied for use shall conform to applicable Village Ordinance requirements, and to all other applicable local, County, State and Federal requirements relating to land use, buildings, development control, land division, environmental protection, sewer service, water service, storm water management, noise, streets and highways and fire protection; and in the event of conflicting requirements or standards, the most restrictive shall apply.
15. If building permits are not issued within said 180 days the Site and Operational Plan approval said approval shall be void.



Office of the Village
Fire & Rescue Chief
Doug McElmury

VILLAGE STAFF MEMORANDUM

TO: Jean Werbie-Harris, Community Development Director
FROM: Doug McElmury, Chief Fire & Rescue Department
CC: Lt. Thomas Clark, Fire & Rescue Department
Peggy Herrick, Assistant Planner, Community Development
SUBJECT: Review of the Site and Operational Plan for the Rust-Oleum Spray Paint Filling Addition
DATE: 10 August 2013

This is a review of the Site and Operational Plan to install an aerosol spray paint filling room. The proposed addition is 320 square feet. The building is located at 8105 95th Street.

The Fire & Rescue Department will be responsible for providing fire prevention inspections of this facility, twice annually. The concerns of the Fire & Rescue Department are as follows:

1. **Distribution of Comments:** *the person who obtains the building permit to all Contractors and Subcontractors affected by this document shall distribute Copies of these comments. This document outlines critical times and deadlines. All recipients of this document need to become familiar with the contents.*
2. **Compliance:** A letter shall be submitted to the Fire & Rescue Department prior to receiving a building permit, stating that the project will comply with all requirements addressed within this document.
3. In the event a conflict in code(s) is identified, or a conflict with the insurance carrier criteria occurs, the more stringent shall apply. In the event this conflicts with any codes adopted by the State of Wisconsin, the owner must petition the State directly for a variance. The Owner must demonstrate that they will provide materials or design equivalent to the code or that they will exceed the code when petitioning the State and or Village when applicable.

Upon review of the plans submitted, we have the following concerns:

- This is a review of the Final Site and Operational plan, however, it is understood, that typical and customary fire protection features have not been shown on the plans, dated: 7/26/13.
- Fire safety system plans, such as fire sprinkler and fire alarm plans, may need to be submitted to the State of Wisconsin Department of Safety and Professional Services and also to this fire department for review. No installation of any fire protection system is allowed until a satisfactory review is obtained from both departments.

The Fire & Rescue Department will be responsible for providing fire prevention inspections of this facility, twice annually. The concerns of the Fire & Rescue Department are as follows:

4. **Fire Suppression Systems:** Fire suppression systems applicable to the products being handled within this area, shall be installed.
5. **Plan Review, Permits and Fees:** The plans for the fire protection aboveground and fire alarm system shall be submitted for review a minimum of four (4) weeks before installation is scheduled to begin. The Village will use an independent fire safety consultant for the review of all fire protection plans submitted. A satisfactory review must be completed before any permits will be issued and before construction can begin.
6. **The following information must be submitted with the sprinkler plans for review:**
 - Building height:
 - Hazard class:
 - Commodity:
 - Fire protection:
7. **Sprinkler System:** The addition will be equipped with an “automatic fire sprinkler system”. The systems shall be designed and constructed to the current edition of NFPA 13, Automatic Fire Sprinklers and the Village of Pleasant Prairie Ordinance 180-16, Automatic Fire Sprinklers.
 - **Storage:** The Owner must be aware of the restrictions that apply to the storage of pallets, cardboard, finished products, etc. Maximum height, width and aisle ways must be maintained and will be enforced.
8. **Fire Alarm System:** The system shall be extended to the new addition and shall include as a minimum pull stations and audiovisual devices.
 - a. **Pull Stations and Audiovisual Alarms:** Shall be installed per ADA requirements.
 - b. **Smoke and Heat Detection:** Shall be installed as required.
 - c. **Tamper Switches:** Tamper switches shall be placed on all sprinkler valves and be identified on the annunciator panel.
9. **Fire Detection/Suppression:** Systems shall be applicable to the addition.

10. **Fire Extinguishers:** Shall meet NFPA 10 (Portable Fire Extinguishers) for the specific use of the building and be in sufficient number. Final approval, of fire extinguisher locations and quantity, will not be given until occupancy is taken, to see how a tenant furnishes the space. The company providing the fire extinguishers shall submit a letter to the Fire & Rescue Department stating the locations and size of the extinguishers are in compliance with NFPA 10.
11. **Emergency and Exit Lighting:** Exit and Emergency Lighting shall be provided and shall have battery backup. Combination units are acceptable and recommended. An Emergency Generator eliminates the need for battery backup. Exit and Emergency Lighting shall not be placed on electrical circuits that cannot be disturbed or interrupted, this is for test purposes. These circuits shall be clearly labeled. The Fire & Rescue Department will evaluate this lighting prior to occupancy during the evening hours after sunset.
12. **Final Inspection:** The General Contractor shall provide the following documentation at the time the Final Inspection takes place and before a building occupancy certificate will be issued.
- a. The fire protection contractor shall provide the owner with a letter (upon completion of the sprinkler work) stating the sprinkler system, or portion thereof, is "100% operational and built according to the design", Village Ordinance, 180-16 N.
 - b. Copies of the fire sprinkler hydrostatic test certificates.
 - c. Copies of the fire sprinkler operational test certificates.
 - d. Copies of the fire alarm test documents.
 - e. Copies of other test documents such as, hood/duct, smoke, etc...
 - f. The Pleasant Prairie Fire and Rescue Department shall have all information needed for our pre-fire plan prior to occupancy.
 - g. Provide two- (2) CD's, one for the property owner and one for the Fire & Rescue Department. The disks shall include all Floor plans and fire protection plans for the building in an as-built condition.
 - h. Occupancy inspection fee and re-inspection fee will be assessed at the final inspection in accordance with ordinance 180-17.
13. **Occupancy:** All fire and life safety requirements must be in place prior to any building being occupied.



VILLAGE OF PLEASANT PRAIRIE
 SITE AND OPERATIONAL PLAN
 AND CONDITIONAL USE PERMIT ZONING APPLICATION

USE THIS FORM FOR:
 Tenants/Use changes proposing to occupy 50% or more of an existing commercial/industrial building.
 To construct a new or addition to principal or accessory structure.
 Use requires a Conditional Use Permit.

FOR OFFICE USE ONLY	
Application Filed on	20
Preliminary Determination of Completeness on:	20
Revised Plans Submitted:	20
<input type="checkbox"/> Public Hearing Required: Hearing Date:	, 20
Published on: and	, 20 Notices sent on: , 20
Approved by <input type="checkbox"/> Plan Commission on	20
<input type="checkbox"/> Zoning Administrator on	20
Denied by <input type="checkbox"/> Plan Commission on	20
<input type="checkbox"/> Zoning Administrator on	20

SECTION 1: GENERAL INFORMATION

NAME OF BUSINESS: Rust-Oleum Corporation

SITE ADDRESS: 8105 95th Street Pleasant Prairie, WI 53158

BRIEF PROJECT DESCRIPTION: Install aerosol spray paint filling equipment. This includes a 16'x20' prefabricated structure that will be located on a concrete pad outside the facility. This structure contains the equipment that adds propellant to the cans.

PROPOSED NUMBER OF FULL TIME EMPLOYEES: Currently 293

PROPOSED NUMBER OF PART-TIME EMPLOYEES: -

SITE SIZE: 253,000 sq. ft. _____ acres

PROPOSED BUILDING SIZE: 320 sq.ft. HEIGHT: 11 ft.

PROPOSED ADDITION SIZE: X sq.ft. HEIGHT: X ft.

LEGAL DESCRIPTION: CSM #1203 located in a part of the Northwest One Quarter of US Public Land Survey Section 21, Township 1 North Range 22 East of the Fourth Principal Meridian, lying + being in the Village of Pleasant Prairie

TAX PARCEL NUMBER(S): 92-4-122-212-0355

CURRENT ZONING CLASSIFICATION(S) OF THE PROPERTY: M2

- Is a zoning map amendment proposed with this project? Yes No
 - If yes, proposed Zoning Classification(s): _____
- Is a zoning text amendment proposed with this project? Yes No
 - If yes, provide a copy of the proposed text amendment with this application

3. If property is zoned M-1 or M-2, indicate the Occupancy Type pursuant to the Use and Occupancy Classification specified in Chapter 3 of the 2006 International Building Code (2006 IBC). Include all that apply and associated square footage for each classification:

- Factory Group F-1 (Moderate-hazard) 253,000 sq ft
- Factory Group F-2 (Low-hazard) _____ sq ft
- Storage Group S-1 (Moderate-hazard) _____ sq ft
- Storage Group S-2 (Low-hazard) _____ sq ft
- Business Group B _____ sq ft
- High-Hazard Group H* _____ sq ft
- Other _____ sq ft
- Other _____ sq ft

**If Use and Occupancy Classification is High-Hazard Group H please provide a detailed written narrative that explains the specific use, quantity of storage and handling of the high hazard materials along with appropriate MSSD sheets with this application.*

PUBLIC SERVICES:

1. Is the property serviced by Public Sanitary Sewer? YES NO
 - If no, the closest public sewer is located at _____
2. Is the property serviced by Public Water? YES NO
 - If no, the closest public water is located at _____
3. Maximum number of gallons/minute of water expected to be used per day is: No change

THIS APPLICATION IS FOR A: (check one)

- Preliminary Site and Operational Plan: An applicant may apply for preliminary site and operational plan approval in connection with an erosion control permit application for early mass grading, or in connection with an early foundation permit, or for other good cause shown
- New Site and Operational Plan
- Amendment to an existing Site and Operational Plan
 - Date of initial site and operational plan approval: _____
 - Date of each approved amendment: _____

SECTION 2: EXISTING USES AND BUILDINGS ON THE SITE

- Are there any existing buildings on the site? YES NO
- If yes, provide an attachment that explains the current uses on the property and current uses in each building and if the use(s) is proposed to continue; and the gross floor area and height of each building.
 - If no, what is the current use of the property? _____

SECTION 3: PHOTOGRAPHS

Standard-sized photographs (not Polaroid) showing all aspects of the site (e.g. locations of proposed improvements, bodies of navigable water, wetlands, wooded areas, etc.) and of the exterior of structures or other site improvements, together with a statement regarding each photograph, which includes the date the photograph was taken, the location from which it was taken, the direction in which the camera was pointed, and a description of what is shown in the photograph. With respect to all existing signs, the applicant shall file photographs of all existing signs and shall specify in the written statement accompanying each such photograph and show the dimensions of such sign. Digital images are acceptable.

SECTION 4: CONDITIONAL USE

1. **Does the proposed project require a Conditional Use Permit?** YES NO
 - **If no** then skip to Section 5.
 - **If yes**, then continue with this Section.
2. **Are you amending an existing Conditional Use Permit?** YES NO
 - **If yes**, provide a copy of the Conditional Use Grant Document you are proposing to amend.
 - **If no**, continue with this Section.
3. If you answered **YES** to either question 1 or 2 above then this application shall include information as to how the proposed project will not impair an adequate supply of light and air to adjacent properties; increase danger of fire; cause traffic congestion or traffic circulation problems; create storm water flooding or drainage; create obnoxious odors, problems or otherwise endanger the public health, safety or welfare; will not hinder, harm or distract the provision of public services; and that the proposed project is not inherently inconsistent with either the district in which it is located or adjoining districts or neighborhoods as required pursuant to the Village Zoning Ordinance.

SECTION 5: NON-CONFORMING USE

1. **Is any use on the site a nonconforming use?** YES NO
 - **If no**, then skip to Section 7.
 - **If yes**, then continue with this section.
2. If you answered **YES** to question 1 above, prima facie proof of each element of legal nonconforming use status shall be submitted to the Village with this application (i.e. that the nonconforming use was legal in its inception, that the use was active and actual and not merely casual, occasional, incidental or accessory when it became nonconforming, that the use has been continuous with no gap of 12 or more consecutive months since it became nonconforming, that no building or structure housing the nonconforming use has been structurally repaired or altered to the extent of fifty (50) percent or more of its assessed value since the use became nonconforming, and that the use has not been changed in nature or physically extended or expanded since becoming nonconforming).

SECTION 6: PERFORMANCE STANDARDS

Pursuant to the Village Zoning Ordinance, any application for a permit under this ordinance or any use subject to the regulations and standards set forth in the Village Zoning Ordinance shall be accompanied by a sworn statement by the owner of the subject property that said property and use will be operated in accordance with the performance standards set forth in Section 420-38 of the Village Ordinance. Continued compliance with the regulations and standards is required. Violations of such standards shall be remedied as required by the Village Zoning Ordinance.

No land or building in any district shall be operated in such a manner so as to create any dangerous, injurious, noxious or otherwise objectionable fire, explosive or other hazard; noise or vibration, smoke, dust, dirt or other form of air pollution; water pollution; electrical, radioactive or other disturbances; glare; or other substance, condition or element (referred to herein as "dangerous or objectionable elements") in such amount as to adversely affect the surrounding area or premises; provided that any use permitted by this ordinance may be undertaken and maintained if it conforms to the regulations of this subsection limiting dangerous and objectionable elements at the specified point or points of the determination of their existence.

The Village may require additional information be submitted to ensure that the Village Performance Standards are being met.

SECTION 7: PLAN COMPONENTS

The application shall include a list of all documents, materials or information that are attached to and a part of the application form. Submit eight (8) full-sized and one (1) set reduced to 11" x 17" of all plans and other attachments shall be included as part of this application, except if a component has been waived or deferred in writing by the Village Zoning Administrator. **For specific details related to each of the required information and plans see the attachment entitled "Plan Components and Related Standards" in Section 420-57 of the Village Zoning Ordinance.**

- Application—Applicant, Site, Use, Project and Plan Information
- Application fee
- Operational plan
- Title sheet
- Survey
- Site plan
- Grading and drainage plan
- Building and fire protection plans
- Lighting plan
- Landscape and open space plan
- Signage plan *N/A*
- Industrial/commercial waste survey *N/A*
- Performance standards compliance
- Additional requirements, as determined by the Village Zoning Administrator, other appropriate Village staff members, or the Village Plan Commission, as appropriate.

Two or more plans may be combined, provided that all of the information submitted on the combined plan is clearly legible, but in no case shall the combined plans fail to show any of the information required for each individual plan as described below, unless such information is waived or deferred pursuant to the Zoning Ordinance.

SECTION 8: SIGNATURES

I,(We), hereby certify that all the above statements and all attachments submitted herewith are true and correct to the best of my knowledge. In addition I, (we) understand the requirements and procedures for Site and Operational Plan/Conditional Use Permit approval.

PROPERTY OWNER:

APPLICANT:

Name: RUST-OLEUM CORPORATION
(Please Print)
Signature: [Handwritten Signature]
Address: 11 HAWTHORN PKWY
VERNON HILLS, IL 60061
(City) (State) (Zip)
Phone: 262-947-6741
Fax: 262-947-8262
E-mail: WTUCKNOTT@rustoleum.com
Date: JULY 23, 2013

Name: _____
(Please Print)
Signature: _____
Address: _____
(City) (State) (Zip)
Phone: _____
Fax: _____
E-mail: _____
Date: _____

Is the applicant the owner of the property? YES NO

If no, then either proof of the applicant's legal interest in the subject real property (e.g. accepted offer to purchase, lease, etc., which may be appropriately redacted to preserve confidential information) or written authorization signed by the owner for the applicant to act as the owner's agent in connection with the application shall be included with the application.

DEVELOPER (if Applicable)

USER OR OCCUPANT OF SITE:

Name: _____
(Please Print)
Signature: _____
Address: _____
(City) (State) (Zip)
Phone: _____
Fax: _____
E-mail: _____
Date: _____

Name: _____
(Please Print)
Signature: _____
Address: _____
(City) (State) (Zip)
Phone: _____
Fax: _____
E-mail: _____
Date: _____

TO: Village of Pleasant Prairie Planning Commission

DATE: 19 July 2013

SUBJECT: Rust-Oleum Responses to the Village of Pleasant Prairie Site and Operational Plan

1 a, b

Rust-Oleum Corporation operates a paint manufacturing facility located in the Lakeview Corporate Industrial Park at 8105 95th Street in Pleasant Prairie, Wisconsin. The facility produces a variety of both water-based and solvent-based coatings. The plant is made up of a few main areas. The bulk raw material storage tank farm is where liquid solvents and resins are stored. Powder raw materials such as color pigments are stored in the receiving warehouse portion of the plant. These raw materials are then mixed together in tanks of varying sizes to make the finished paint product. The finished product is then filled and packaged on the plant's filling lines. The product can be filled into half pint cans, quart cans, 1 gallon cans, 5 gallon pails or aerosol spray cans.

A new high speed aerosol can filling line is going to be installed. The equipment will be installed in the southwest corner of the facility. The majority of the equipment will be located inside the facility. However there is a propellant charging room that will be located outside on a new concrete pad. It contains the equipment responsible for adding propellant to aerosol cans.

1 c

The square footage of the new charging room is 320 ft², and our existing building is 253,000 ft².

1 d

Standard hours of operation will be 24 hours a day 7 days a week.

1 e, f,

Start up of the filling line will be as soon as possible. There are currently 293 full time employees for the entire facility split up into 4 shifts. Initially staff from other existing filling lines will be transferred to the new filling line. As sales continue to grow additional employees will be hired to run all of the plant's equipment.

1g,

The most employees in the entire plant at any given time would include all of the 1st shift R&D employees and all of the production staff at shift change which leads to 170 employees.

1h,

Not applicable

1 i, j, k, l

No additional parking spaces will be required. As there will be no significant change in our operations, the vehicular traffic of any type to and from the facility will be unchanged.

1 m, n, o, p

This new equipment will fill aerosol spray paint cans identical to the cans currently filled. The new equipment to be installed includes a depalletizer, filler, crimper, gasser, checkweigher, waterbath, tipper, labeler, capper, sticker applicator, case packer, and palletizer. There will be no new waste streams from this new packaging equipment.

1 q, r, s, t

Security for the gashouse will be incorporated into our existing automated fire alarm system that protects the existing building. The maintenance of the new equipment will also be fully incorporated into the systems we use to maintain the existing building and landscaping. As such, we are confident that there will be no adverse impacts to neighboring properties and public facilities. We do have sound safety and environmental procedures in place to mitigate the impact of an unforeseen issue. We are in full compliance with all Federal, State, and Local operating permits and approvals.

2 a

This equipment will not be operated as to be a public nuisance.

2 b

We will not violate 420-38 of this chapter.

2 c

N/A

2 d, e, g

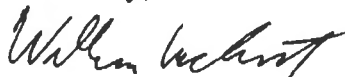
We will be in full compliance with the standards set in these sub-paragraphs.

2 f, h

N/A

If you have any questions or need for further information on any of the responses provided herein, please feel free to contact me at any time.

Sincerely,



William Tucknott

Rust-Oleum Corporation

8105 95th ST

Pleasant Prairie, WI 53158

262-947-6741 (office)

262-620-1358 (cell)

262-947-8262 (fax)

wtucknott@rustoleum.com

July 19th 2013

Village of Pleasant Prairie Planning Commission
9915 39th Ave
Pleasant Prairie, WI 53158

Subject: Addendum to Site and Operational Plan and Conditional Use Permit Zoning Application

The following is submitted per Section 4, Paragraph 3:

We are confident that there will be no adverse impacts to neighboring properties or public facilities. There are no anticipated increases in risk of fire, impairment of light and air to adjacent properties, the creation of obnoxious odors, or other dangers to public health. We do have rigorous safety and environmental procedures in place to mitigate the impact of any unforeseen issue. We are in full compliance with all Federal, State and Local operating permits and approvals. This initiative does not require any revisions.

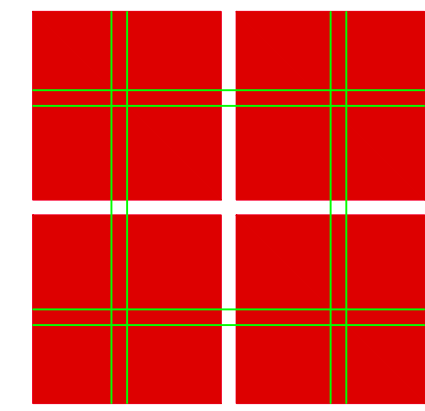
To the best of our knowledge, this project is consistent with the district in which it is located, adjoining districts, and neighborhoods, pursuant to the Village Zoning Ordinance.

Please contact me if you require any additional information or clarifications to that which is presented herein.

Sincerely,



William Tucknott
8105 95th Street
Pleasant Prairie, WI 53158
262-947-6741 (office)
262 705-9937 (cell)
262-947-8262 (fax)
wtucknott@rustoleum.com



RUST-OLEUM CORPORATION

RUST-OLEUM CORPORATION

8105 95TH STREET

PLEASANT PRAIRIE, WISCONSIN 53158

RUST-OLEUM GAS HOUSE FOUNDATIONS

VILLAGE REVIEW SET

GENERAL NOTES	
1.	DO NOT SCALE DRAWINGS. REFER ALL DIMENSION QUESTIONS TO ARCHITECT.
2.	CONTRACTOR SHALL FIELD VERIFY AND BECOME THOROUGHLY FAMILIAR WITH ALL CONDITIONS AND DIMENSIONS.
3.	PARTNERS IN DESIGN ARCHITECTS IS PROVIDING CONSTRUCTION DOCUMENTS FOR THE NEW GAS HOUSE'S FOOTINGS, FOUNDATIONS, AND SLAB ONLY. ALL NEW WORK IN ADDITION TO THIS SCOPE ILLUSTRATED IN THE CONSTRUCTION DOCUMENTS IS SCHEMATIC TO SHOW INTENT AND BASIS OF DESIGN.
4.	MECHANICAL, ELECTRICAL, PLUMBING, AND FIRE PROTECTION TRADES ARE TO BE BID AS DESIGN/BUILD CONTRACTS. REFER TO CONSTRUCTION DOCUMENTS FOR PROJECT SCOPE. ANY REFERENCE TO MEP SYSTEMS IS SCHEMATIC TO SHOW INTENT AND BASIS OF DESIGN. EACH BIDDING CONTRACTOR WILL BE RESPONSIBLE FOR ALL STATE AND LOCAL CODES AND REQUIRED PLAN REVIEW AND REVIEW FEES.
5.	EACH CONTRACTOR SHALL REVIEW COMPLETE PLANS FOR RELATED WORK.
6.	ALL WORK SHALL BE IN COMPLIANCE WITH STATE AND LOCAL CODES FOR RESPECTIVE TRADES.
7.	BIDDING CONTRACTOR TO INCLUDE ALL PERMIT FEES IN BASE BID.
8.	INFORMATION PERTAINING TO EXISTING STRUCTURAL CONDITIONS GIVEN ON THE DRAWINGS REPRESENT TO THE BEST OF OUR KNOWLEDGE THE ACTUAL EXISTING FIELD CONDITIONS. PARTNERS IN DESIGN ARCHITECTS MAKES NO WARRANTY AS TO THEIR ACCURACY. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS IMPERATIVE TO THEIR NEW WORK. REPORT DISCREPANCIES BETWEEN THE DRAWINGS AND FIELD CONDITIONS TO THE A/E FOR REVIEW. ANY WORK PERFORMED PRIOR TO RESOLUTION OF DISCREPANCIES BY THE A/E IS SUBJECT TO REMOVAL AND REPLACEMENT AT NO ADDITIONAL COST TO THE CONTRACT.

PROJECT DATA	
BUILDING CLASSIFICATION:	INTERNATIONAL BUILDING CODE - 2009.
CONSTRUCTION CLASSIFICATION:	TYPE IIB NON-PROTECTED FULLY SPRINKLERED PER NFPA 13
USE & OCCUPANCY:	F-1 - MODERATE-HAZARD FACTORY
BUILDING AREA:	EXISTING BUILDING FOOTPRINT = 202,713 SF.

SHEET INDEX	
T1	TITLE SHEET
ARCHITECTURE	
A1	OVERALL SITE PLAN
A3	PARTIAL FLOOR PLAN AND ELEVATIONS
A4	GAS HOUSE FLOOR PLAN, FOUNDATION PLANS AND DETAILS

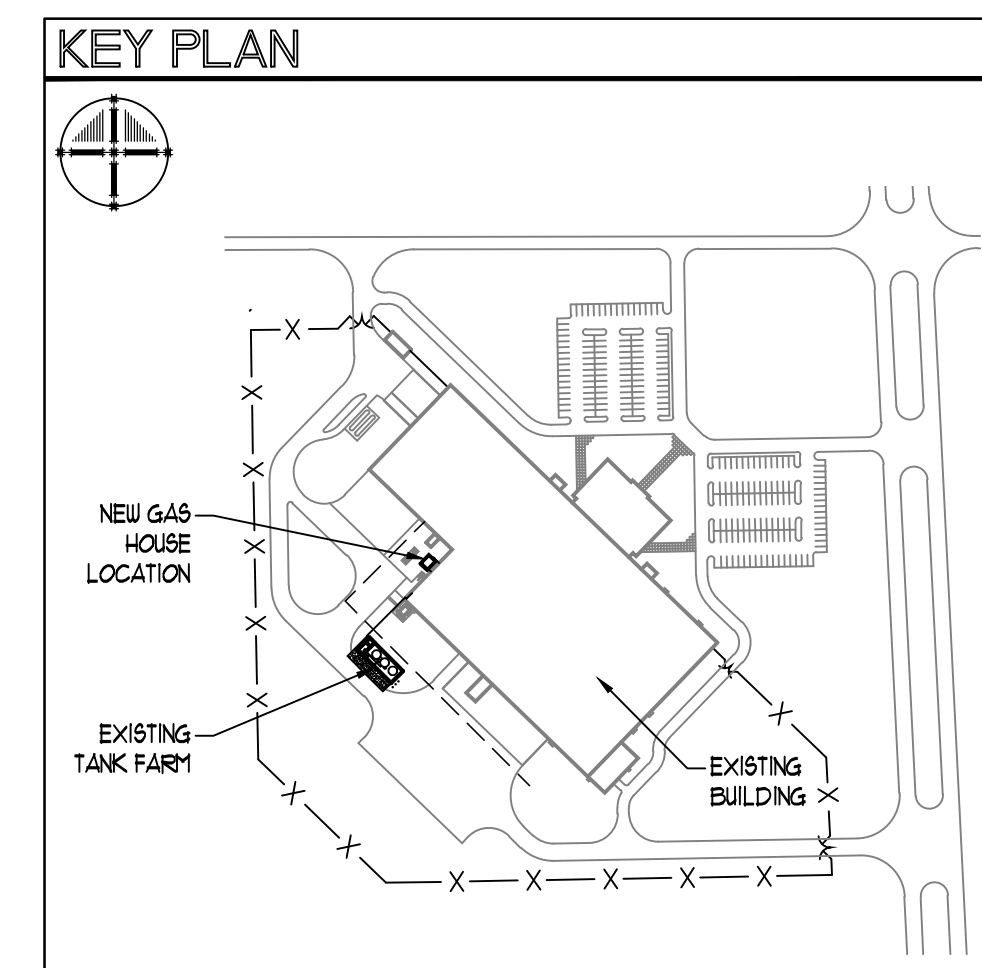
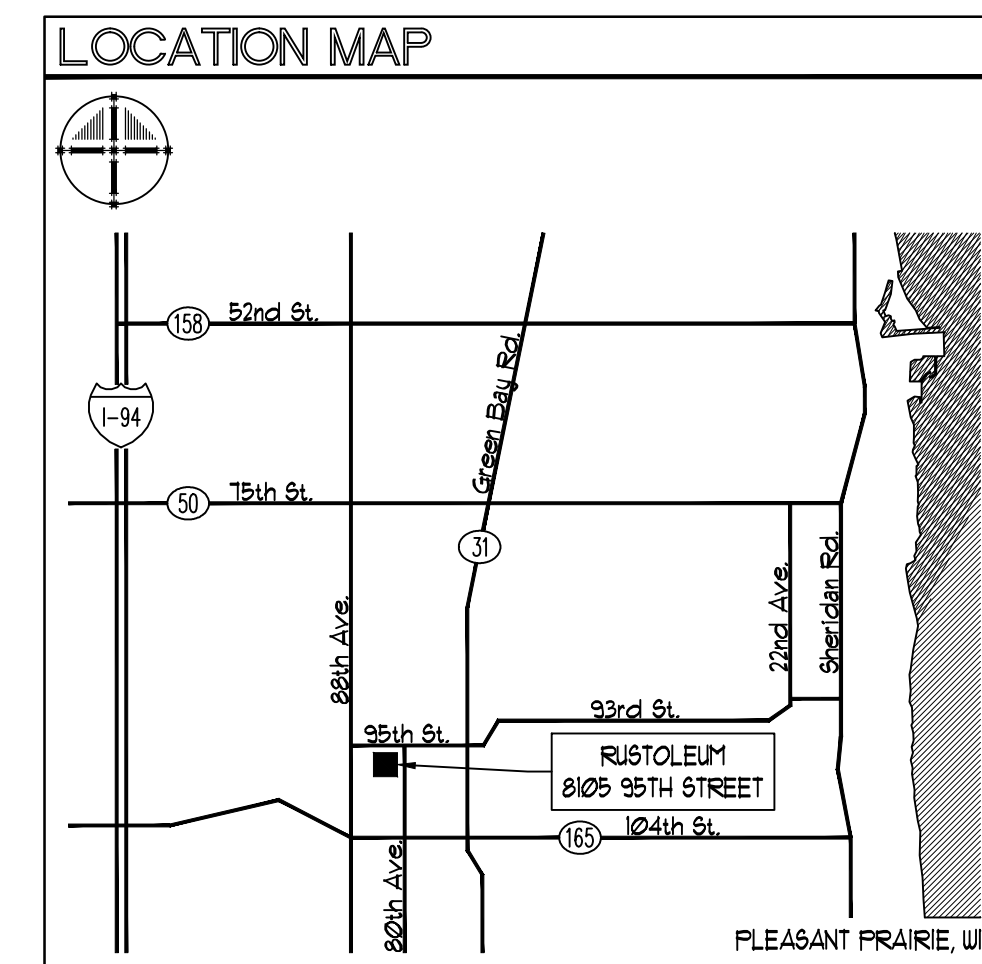
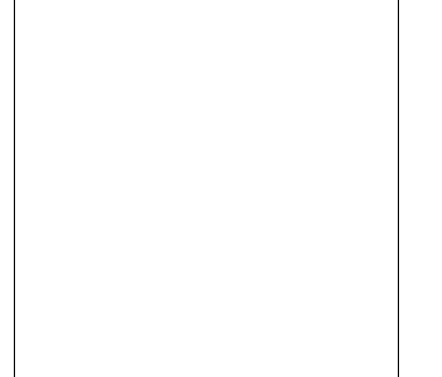


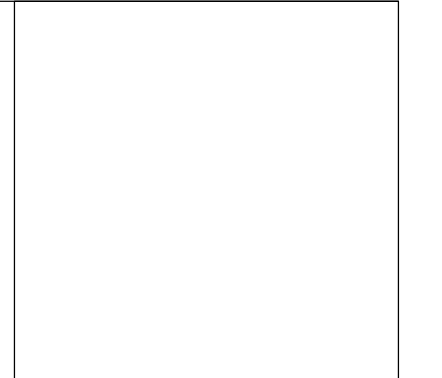
Exhibit 2



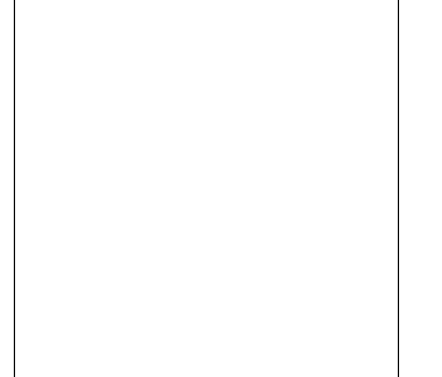
CLIENT:
RUST-OLEUM CORPORATION
8105 95TH STREET
PLEASANT PRAIRIE, WISCONSIN 53158
PHONE: 262.947.6741
FAX: 262.947.8262
ATTN: BILL TUCKNOTT



ARCHITECT:
PARTNERS IN DESIGN ARCHITECTS
600 52nd STREET, SUITE 220
KENOSHA, WISCONSIN 53140
PHONE: 262.652.2800
ATTN: MARK MOLINARO, JR., AIA
OR
DAVID CARBOL

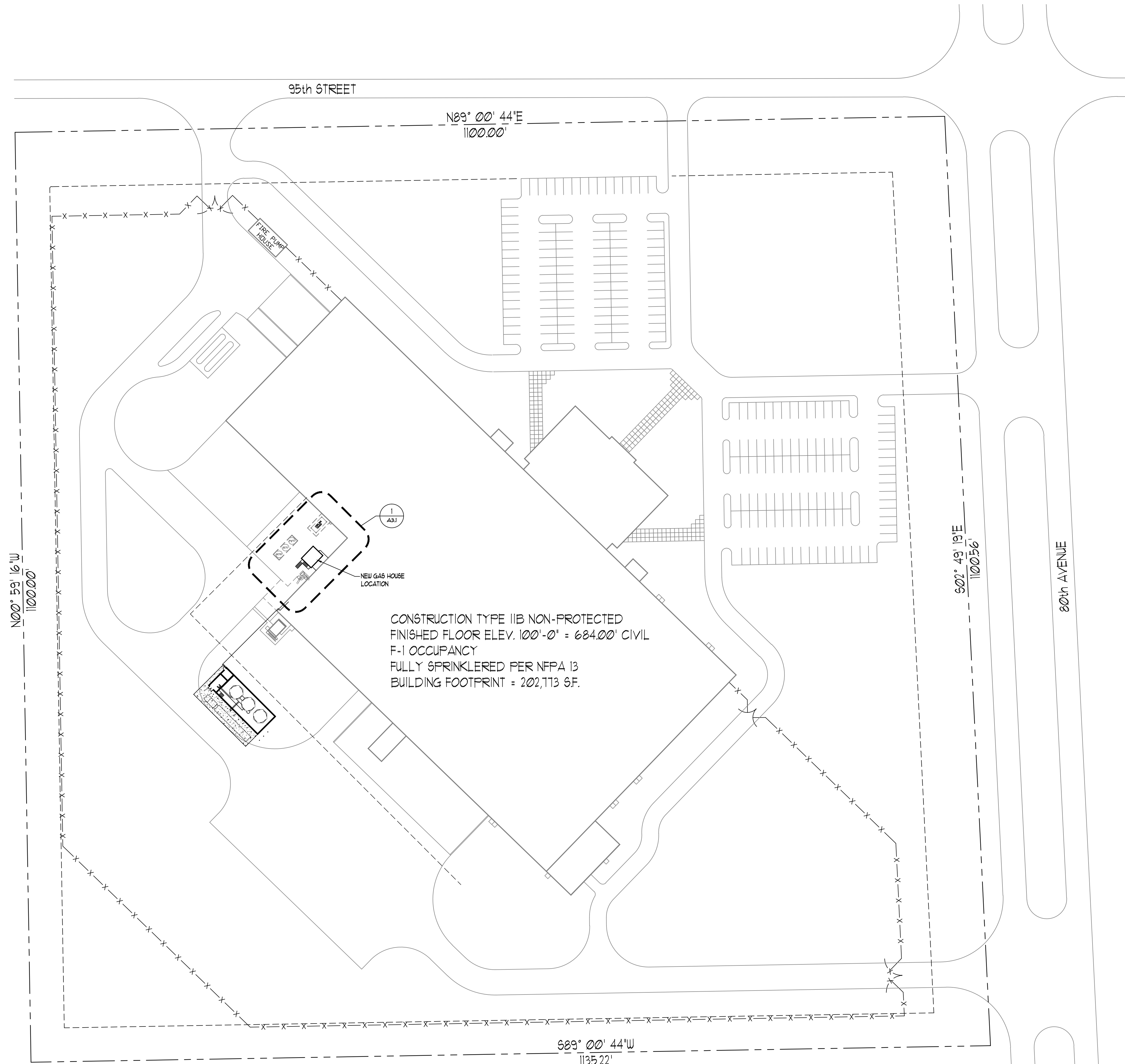


CONSTRUCTION MANAGER:
BANE-NELSON, INC.
4019 43RD STREET
KENOSHA, WISCONSIN 53144
PHONE: 262.658.3460
FAX: 262.652.0960
ATTN: JEFF NELSON



RUST-OLEUM GAS HOUSE
FOUNDATIONS
VILLAGE REVIEW SET

DATE: 07.26.13
NUMBER: 681.13.079

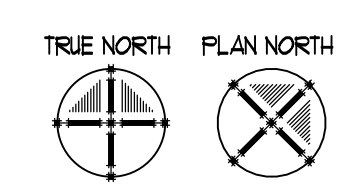


FIRE PUMP HOUSE

A31
NEW GAS HOUSE LOCATION

CONSTRUCTION TYPE IIB NON-PROTECTED
 FINISHED FLOOR ELEV. 100'-0" = 684.00' CIVIL
 F-1 OCCUPANCY
 FULLY SPRINKLERED PER NFPA 13
 BUILDING FOOTPRINT = 202,113 SF.

OVERALL SITE PLAN
 1/11
 1"=60'-0"



REVISIONS:

RUSTOLEUM GAS HOUSE
 8105 95th Street, Pleasant Prairie, Wisconsin 53158
OVERALL SITE PLAN

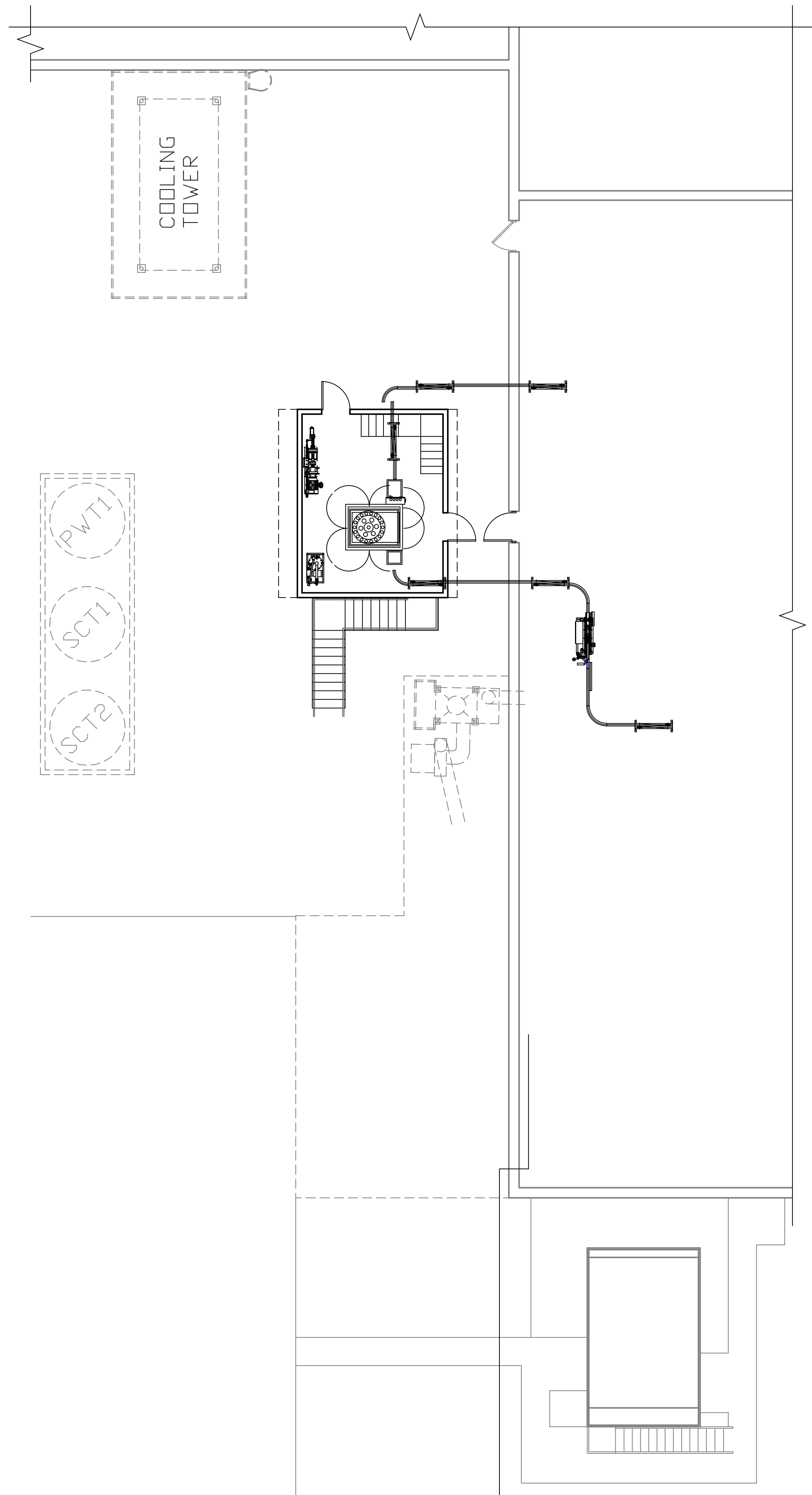
600 Fifty-Second Street
 Suite 220
 Kenosha, WI 53142
 Ph: (262) 652-2800
 Fax: (262) 652-2812

Partners in Design
 ARCHITECTS

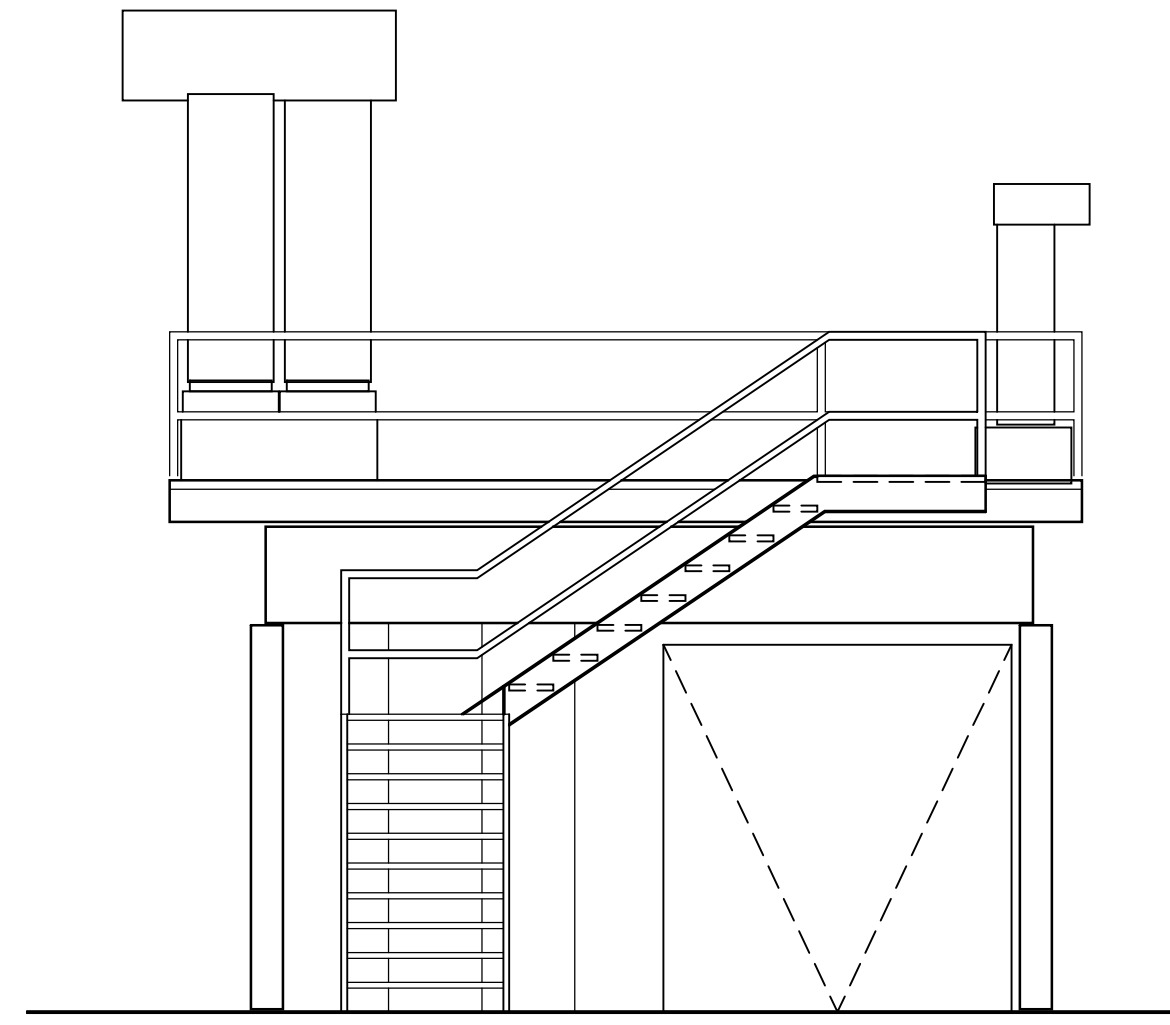
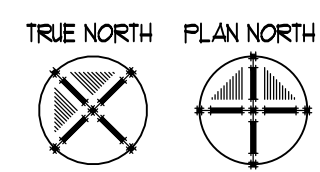


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68113079
 DRAWN BY: DAC CHECKED BY: MAM
 DATE:
0726.13
 SHEET NO:

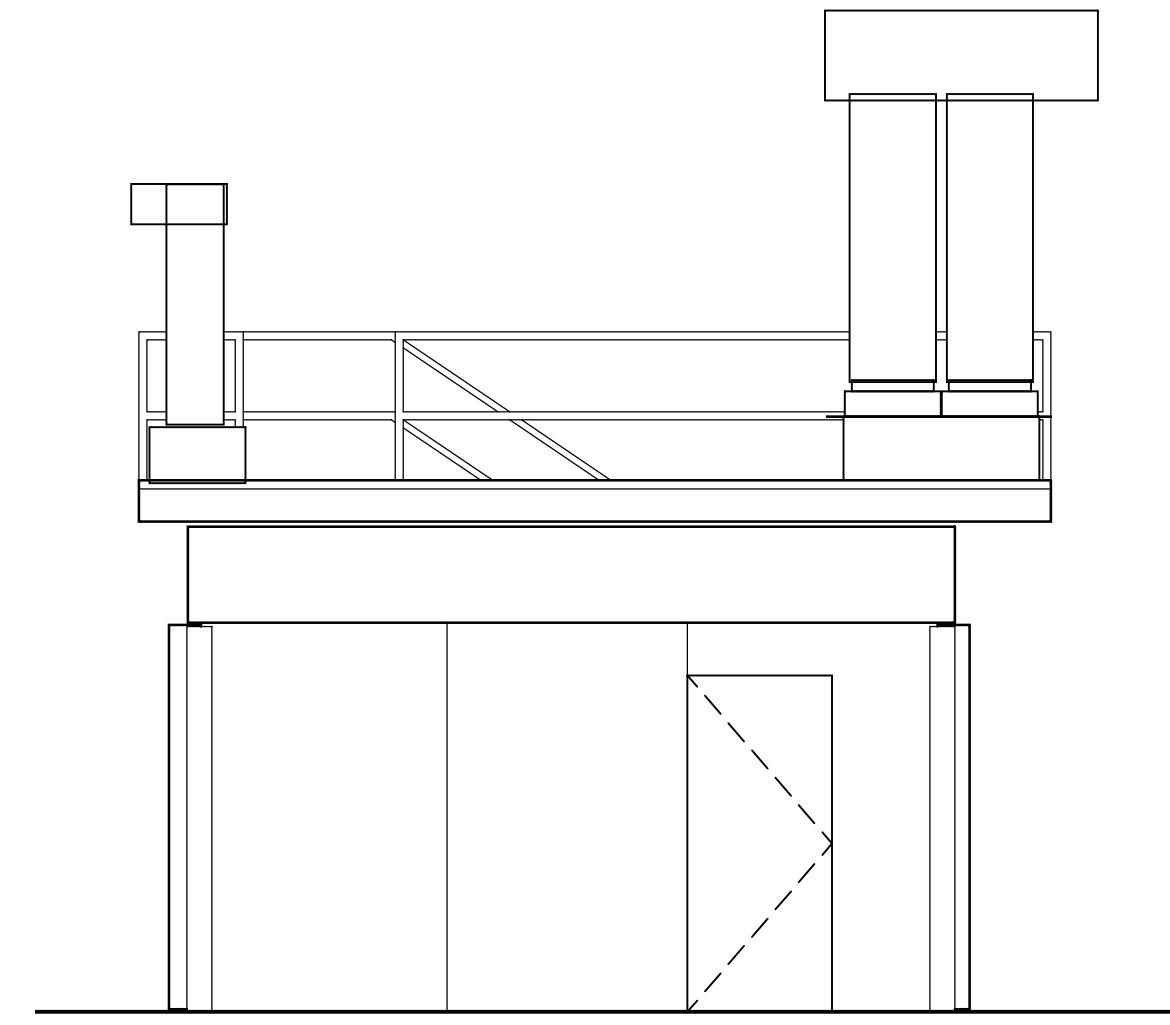
A11



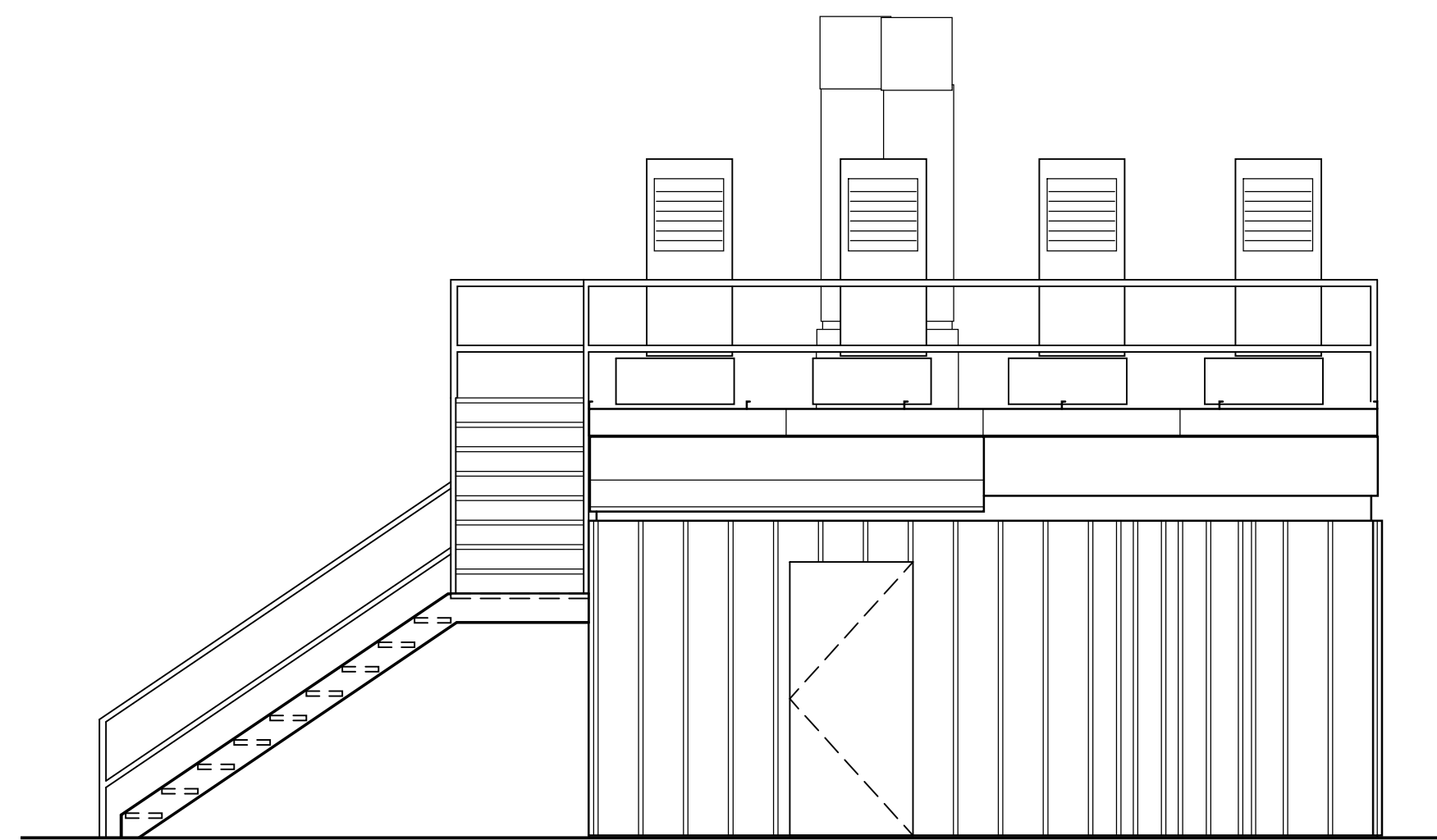
1 OVERALL SITE PLAN
A3.1 1/8"=1'-0"



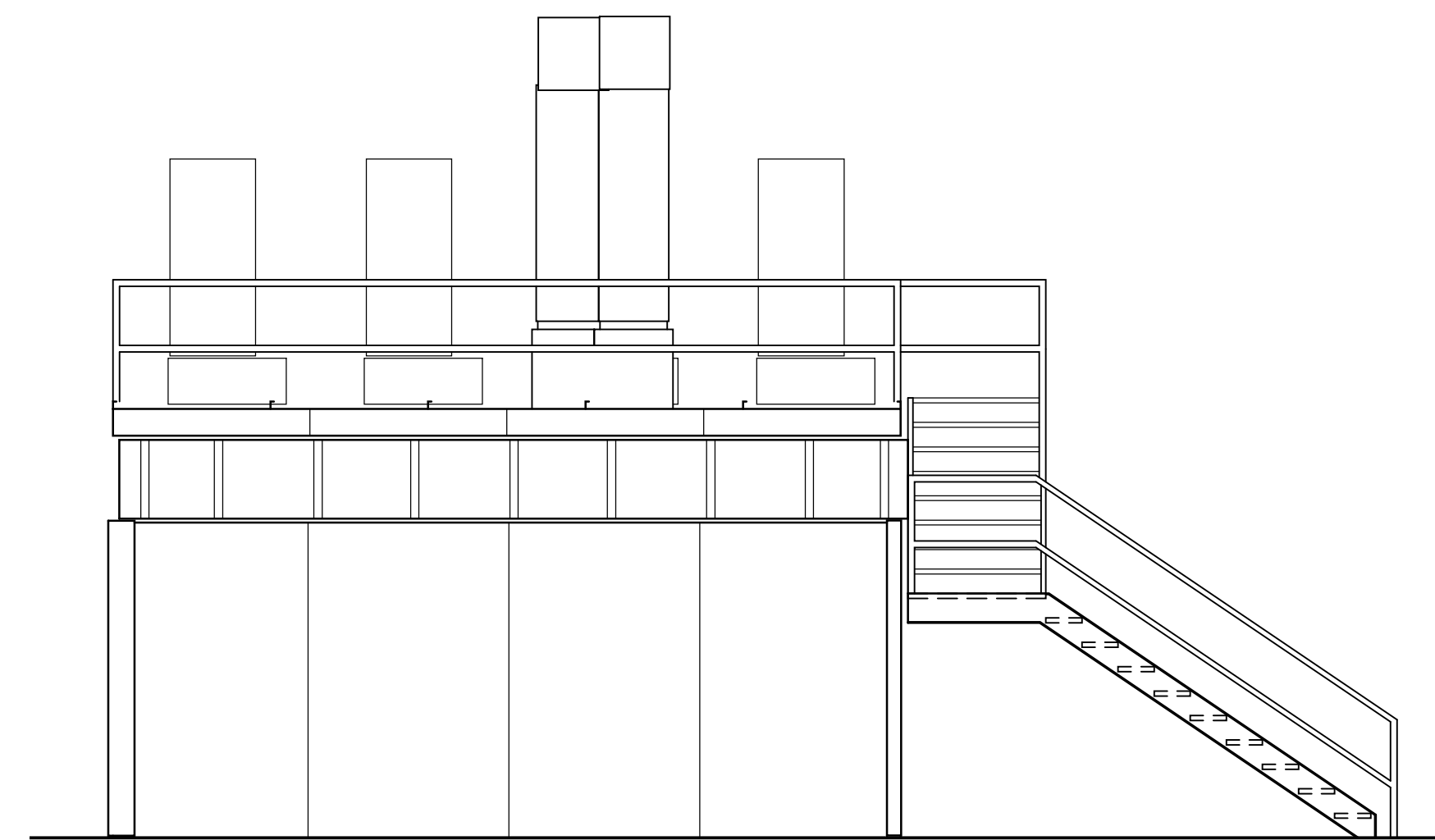
2 SOUTH ELEVATION
A3.1 1/4"=1'-0"



3 NORTH ELEVATION
A3.1 1/4"=1'-0"



4 EAST ELEVATION
A3.1 1/4"=1'-0"



5 WEST ELEVATION
A3.1 1/4"=1'-0"

REVISIONS:

RUSTOLEUM GAS HOUSE
8105 95th Street, Pleasant Prairie, Wisconsin 53158

PARTIAL FLOOR PLAN AND ELEVATIONS

600 Fifty-Second Street
Suite 220
Kenosha, WI 53142
Ph: (262) 652-2800
Fax: (262) 652-2812

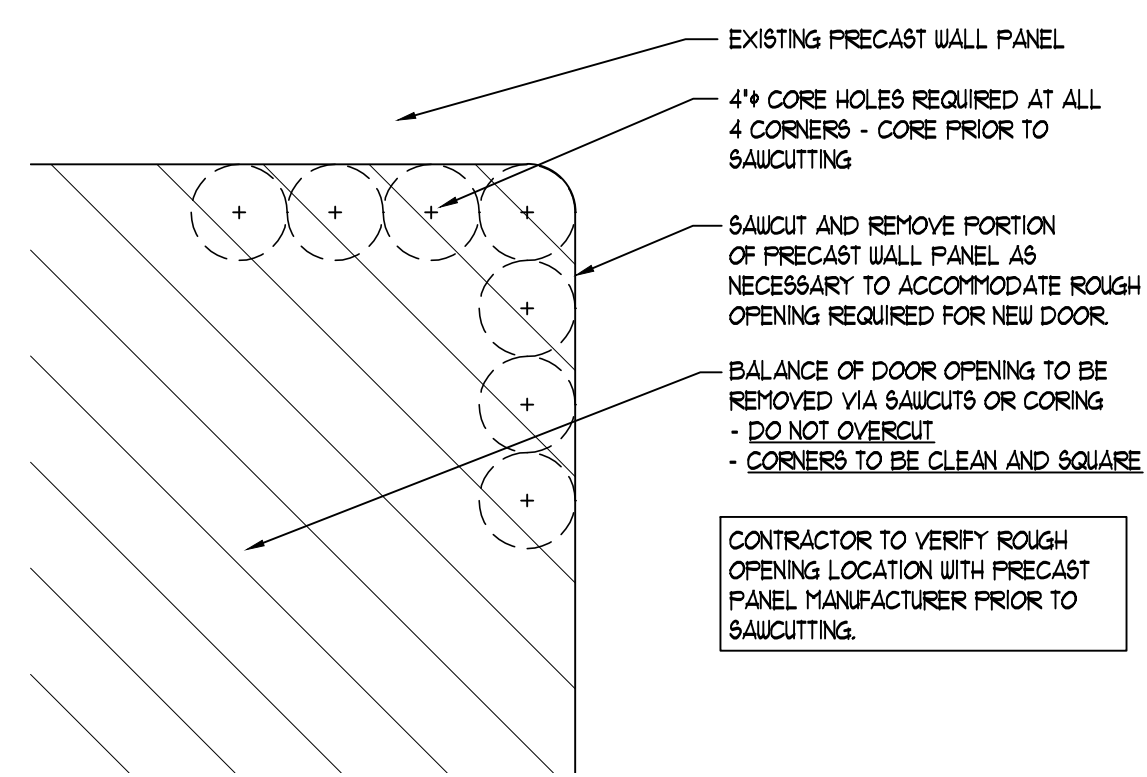
Partners in Design
ARCHITECTS



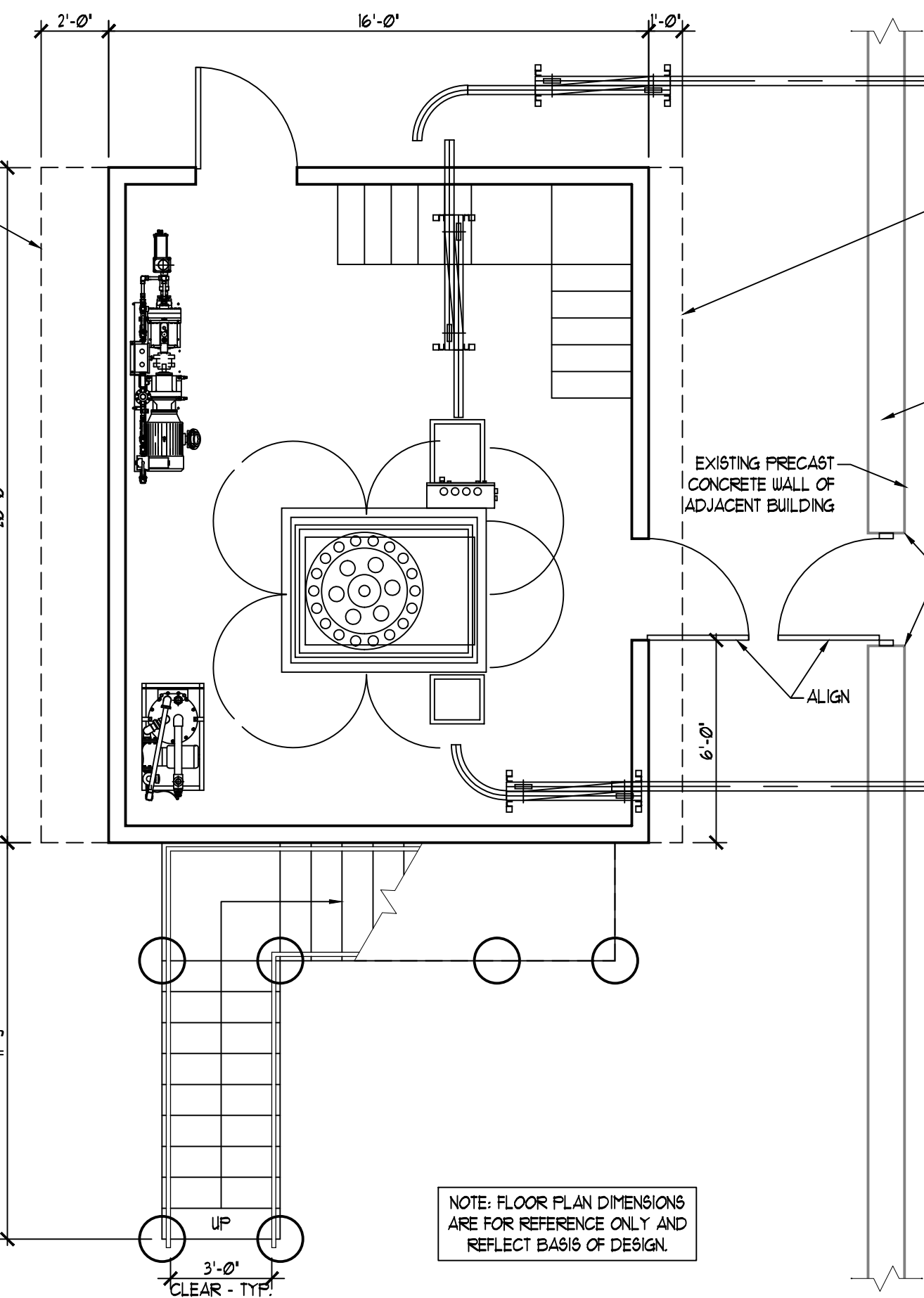
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6813079
DRAWN BY: DAC CHECKED BY: MAM
DATE:
07.26.13
SHEET NO.:

A3.1

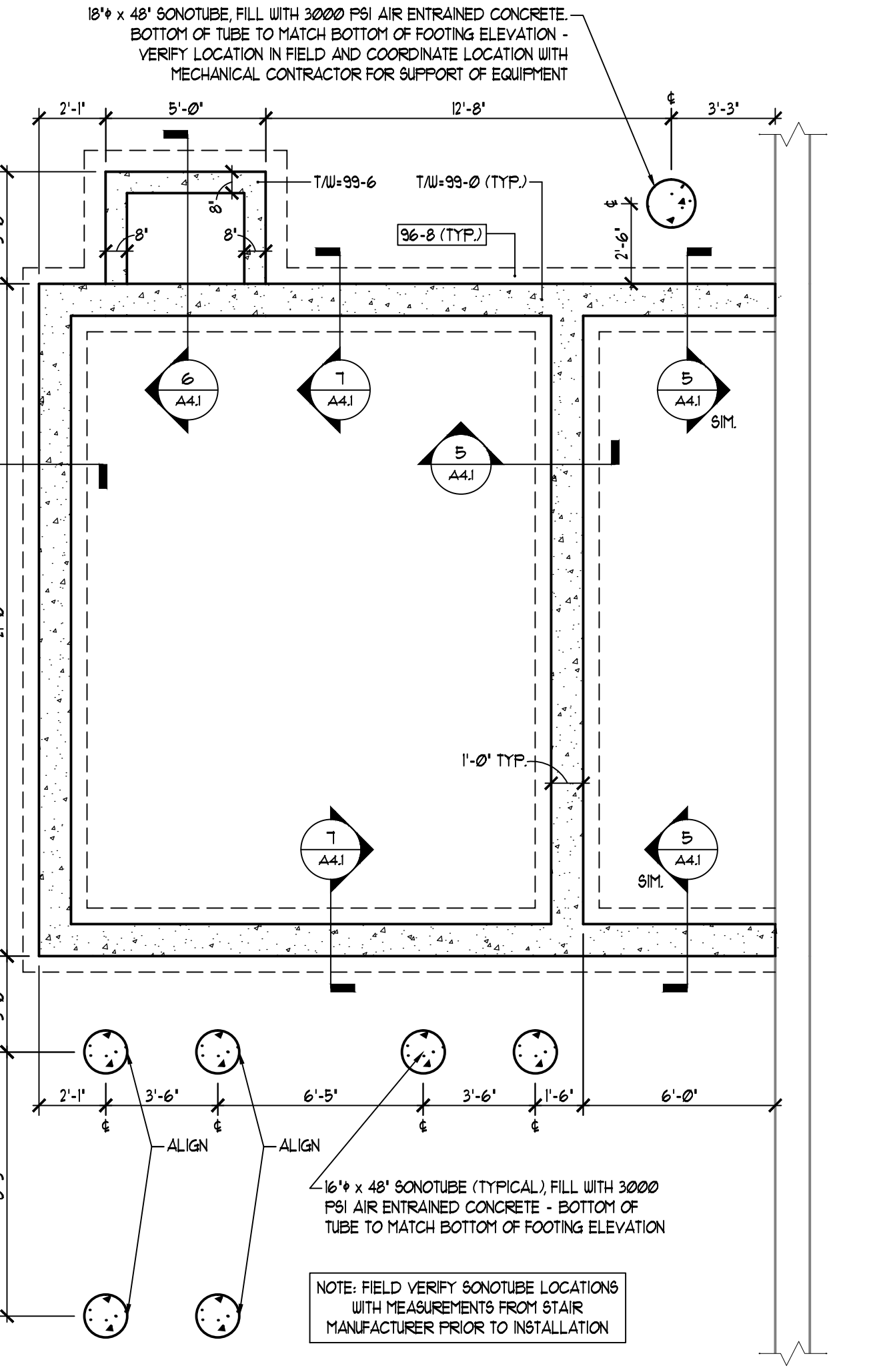
1 DETAIL
S&B.1 1/2" = 1'-0"



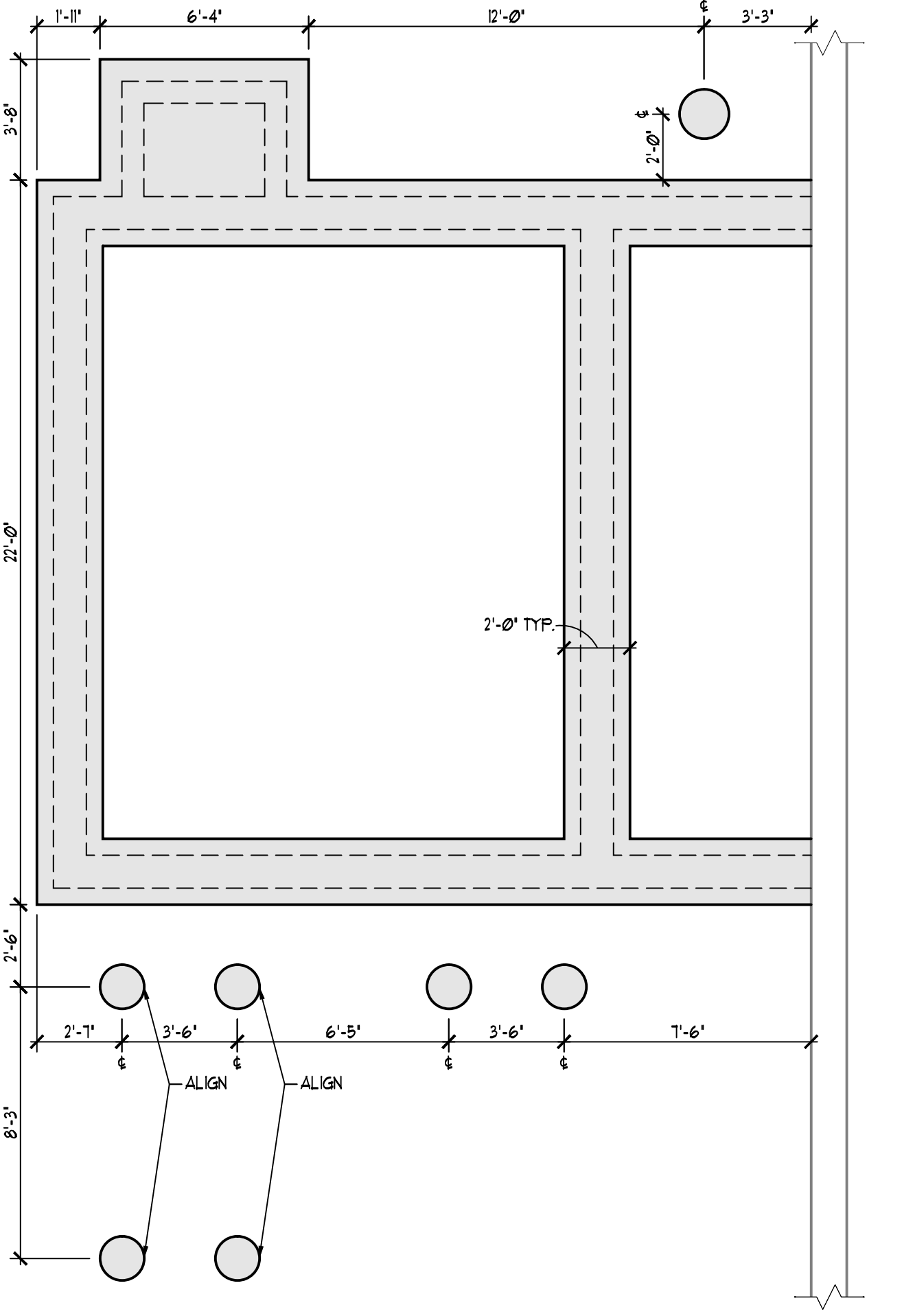
2 GAS HOUSE PLAN
A4.1 1/4" = 1'-0"



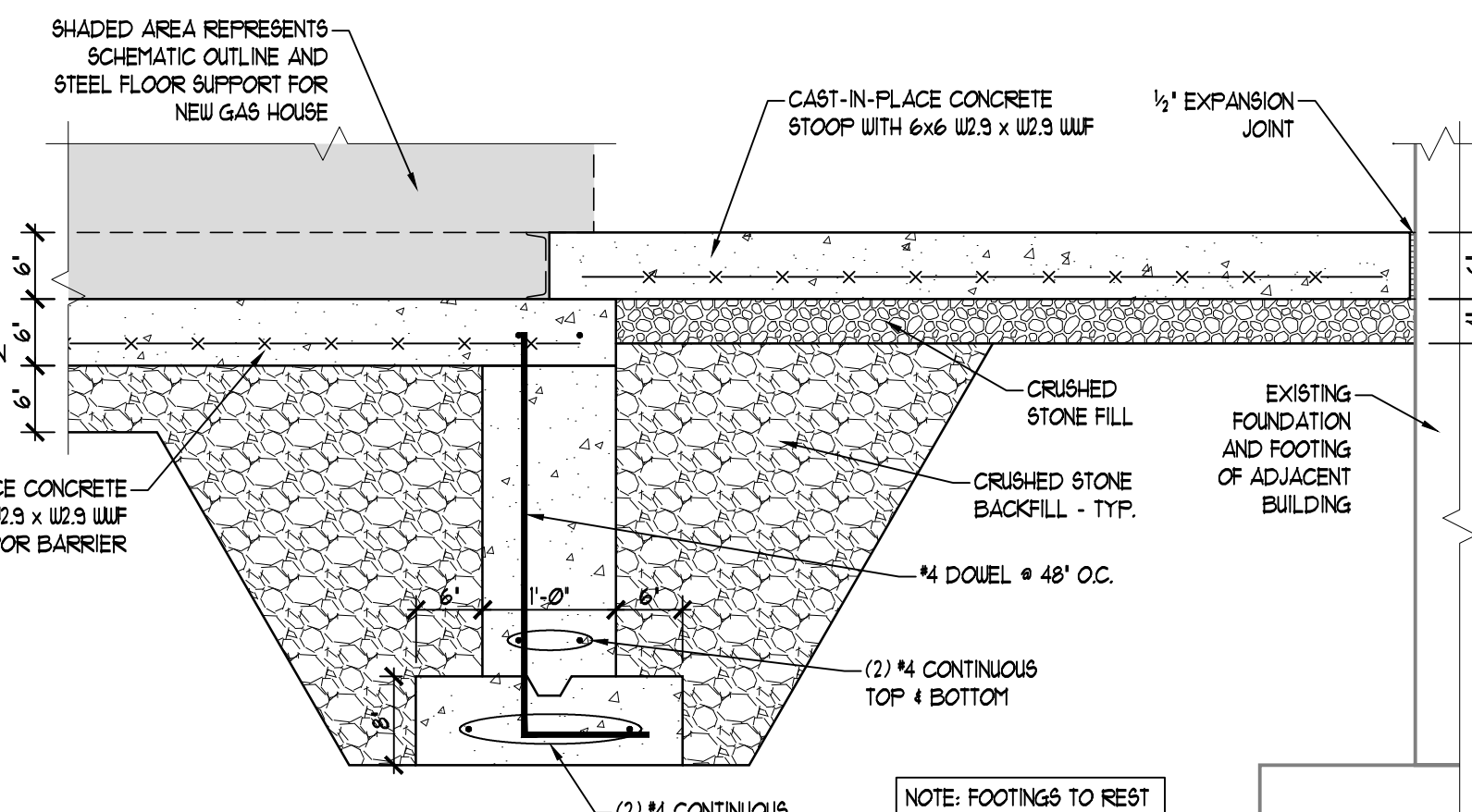
3 FOUNDATION WALL PLAN
A4.1 1/4" = 1'-0"



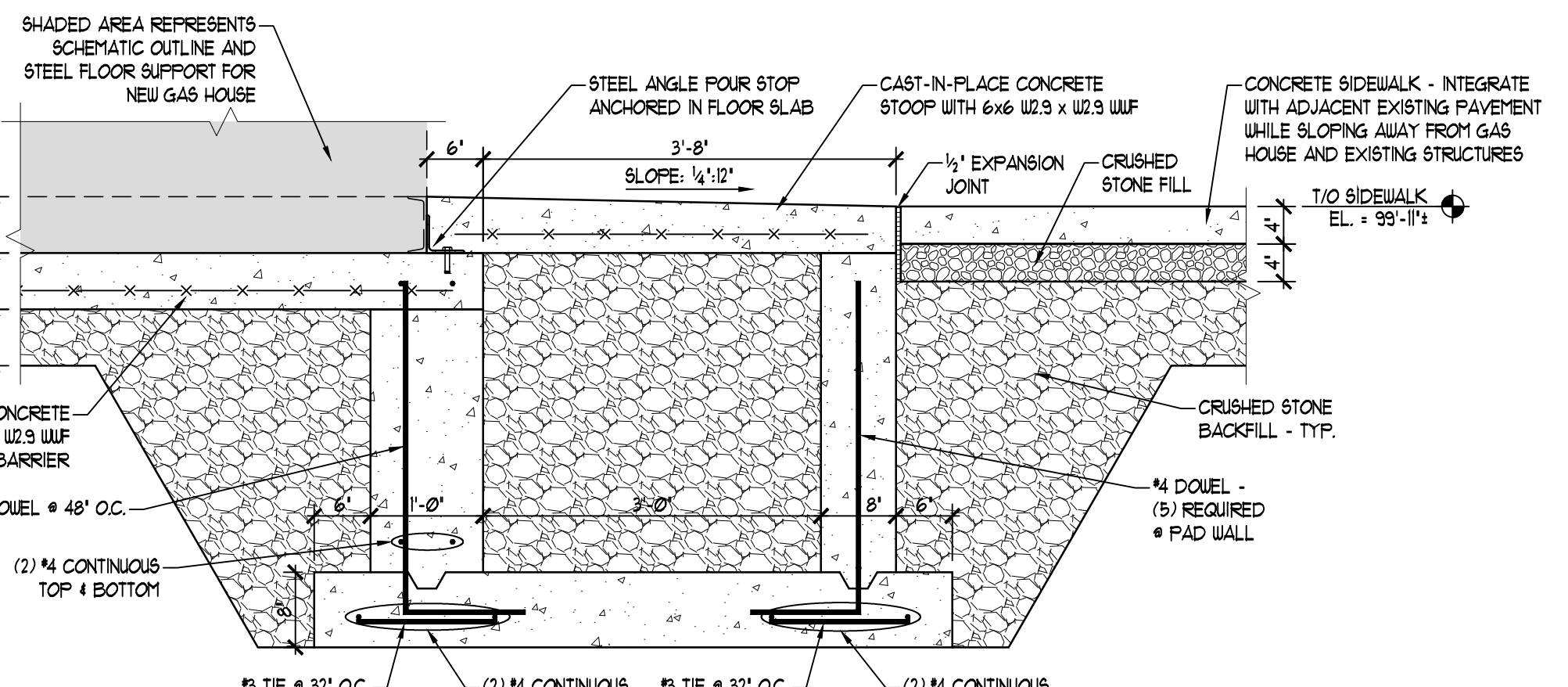
4 FOOTING PLAN
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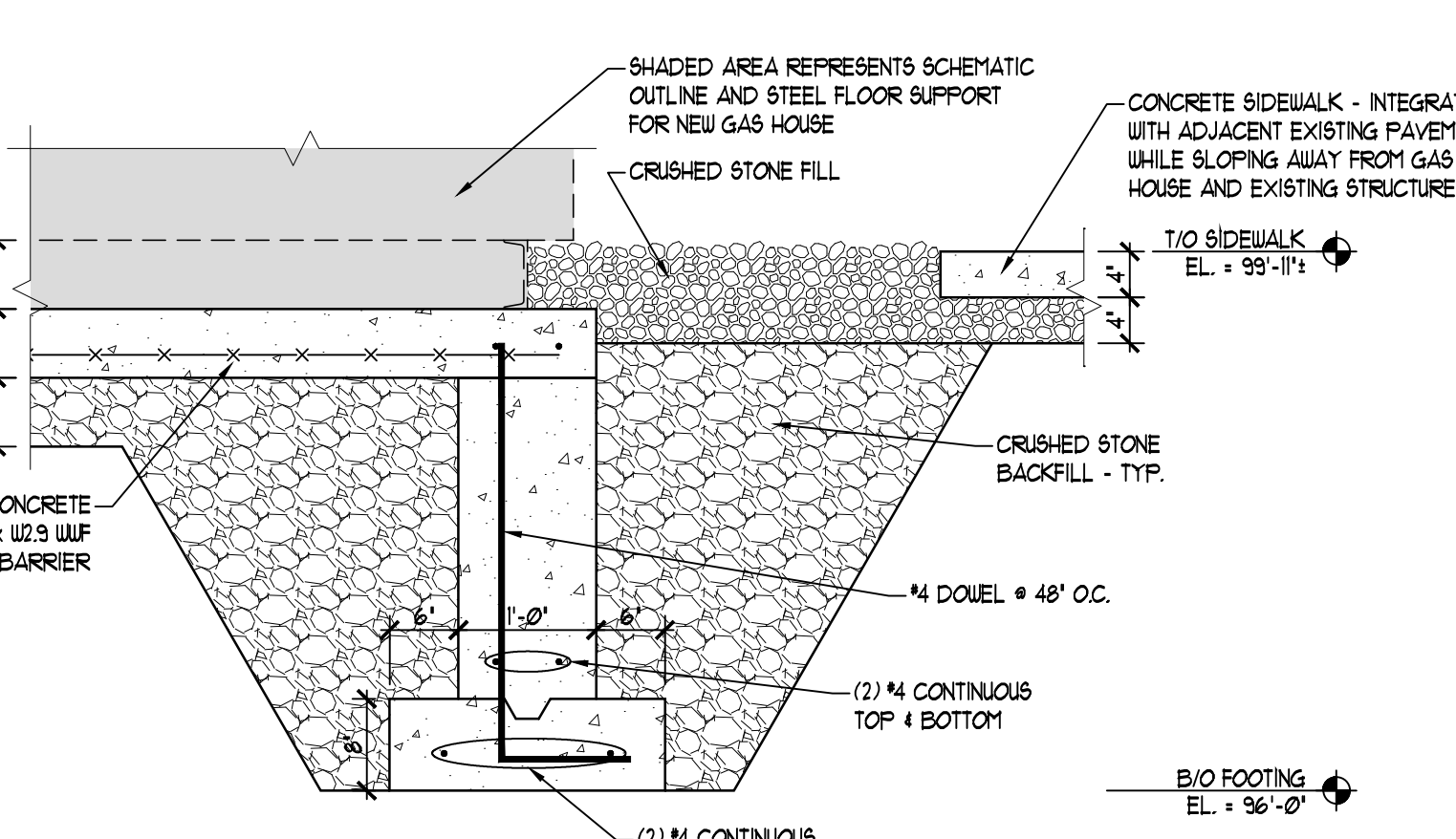
5 FOUNDATION DETAIL
A4.1 3/4" = 1'-0"



6 FOUNDATION DETAIL - STOOP
A4.1 3/4" = 1'-0"



7 FOUNDATION DETAIL - TYPICAL
A4.1 3/4" = 1'-0"



REVISIONS

RUSTOLEUM GAS HOUSE
 8105 95th Street, Pleasant Prairie, Wisconsin 53158
GAS HOUSE FLOOR PLAN, FOUNDATION PLANS AND DETAILS

600 Fifty-Second Street
 Suite 220
 Kenosha, WI 53142
 Ph: (262) 652-2800
 Fax: (262) 652-2812

Partners in Design
 ARCHITECTS

PROJECT NO: 68113079
 DRAWN BY: DAC CHECKED BY: MAM
 DATE: 07.26.13
 SHEET NO:

A4.1

ZONING CHANGE OR Conditional Use Permit to operate a
 CONDITIONAL USE manufacturing, research, and development PARCEL 0290-0, #92-4-122-212-0300-0
facility #92-4-122-212-0310-0
 PETITIONER Rust-Oleum Corporation, Michael T. Murphy, Esq.

June 10, 1988	DATE FILED
\$125.00	FEE PAID
July 19, 1988	DATE SENT TO COUNTY BOARD
July 1, 1988 and July 6, 1988	DATES PUBLISHED
June 29, 1988	DATE NOTICES MAILED
July 13, 1988	DATE OF HEARING
M-2 Heavy Manufacturing District	ZONING DISTRICT
Pleasant Prairie	TOWNSHIP
Approved - July 13, 1988	PLANNING & ZONING COMMITTEE ACTION
Approved - July 19, 1988	COUNTY BOARD ACTION
Approved - July 27, 1988	COUNTY EXECUTIVE ACTION
July 29, 1988	DATE TOWN CLERK NOTIFIED
July 29, 1988	DATE PETITIONER NOTIFIED

Kenosha



County

BOARD OF SUPERVISORS

RESOLUTION NO. 94

Subject: RUST-OLEUM CORP. - Conditional Use Permit to operate a manufacturing research and development facility on part of CSM #482, part of Parcels #92-4-122-212-0270-0, 92-4-122-212-0351-0, and all of Parcels #92-4-122-212-0280-0, 92-4-122-212-0290-0, 92-4-122-212-0300-0, 92-4-122-212-0310-0, NW 1/4, Section 21, Town of Pleasant Prairie			
Original <input checked="" type="checkbox"/>	Corrected <input type="checkbox"/>	2nd Correction <input type="checkbox"/>	Resubmitted <input type="checkbox"/>
Date Submitted: July 19, 1988		Date Resubmitted:	
Submitted By: Land Use Committee			
Fiscal Note Attached <input type="checkbox"/>		Legal Note Attached <input type="checkbox"/>	
Prepared By: George E. Melcher Dir., Planning & Development		Signature:	

The County Board of Supervisors of Kenosha County do ordain as follows:

WHEREAS, On June 10, 1988 Lawrence J. Jost of the law firm of Quarles and Brady, legal counsel for Rust-Oleum petitioned the Kenosha County Board of Supervisors for a Conditional Use Permit to operate a manufacturing research and development facility on part of Certified Survey Map #482 being part of Parcels #92-4-122-212-0270-0, #92-4-122-212-0351-0 and all of Parcels #92-4-122-212-0280-0, #92-4-122-212-0290-0, #92-4-122-212-0300-0, #92-4-122-212-0310-0 all located in the northwest quarter of Section 21, Township 1 North, Range 22 East, Town of Pleasant Prairie, and

WHEREAS, the Land Use Committee held a public hearing on the request on July 13, 1988 and Mr. Michael T. Murphy, Esq. general counsel and agent for the petitioner agreed to the following conditions:

1. Liquid waste materials shall be properly recovered and stored in barrels. Other waste materials shall be stored in dumpsters. All liquid and solid materials shall be disposed of in a licensed landfill facility.
2. A fire protection system shall be installed which complies with the laws of the State of

Wisconsin and is approved by the Town of Pleasant Prairie.

3. Pollution controls shall be in compliance with State Statutes 144.392 and any other federal, state, and local air and water quality standards.
4. A detailed site plan shall be submitted and approved by the Office of Planning and Development and the Town of Pleasant Prairie. Such site plan shall include a stormwater drainage plan, traffic flow plan, structures, parking lot design, lighting, employee and guest parking, loading dock facilities, dumpsters and disposal area, driveway and highway access, signage.
5. The performance bond requirement is to be waived as the proposed plans and specifications address air, water quality, and waste disposal regulations. In addition, the location is in a preplanned industrial park environment and it is believed that the proposed Rust-Oleum facility will not be detrimental to the health, safety, and welfare of the general public.
6. A statement was provided as to how potential health hazards are avoided. This statement should address safety and preventive maintenance measures.
7. All permits to be issued by the Office of Planning and Development for structures shall be based on a plat of survey and shall be subsequently verified with a foundation survey.

WHEREAS, the subject parcels have the appropriate zoning for the operation of a manufacturing research and development facility, and

WHEREAS, the Town of Pleasant Prairie recommended approval of the proposed manufacturing facility,

NOW, THEREFORE, BE IT RESOLVED that the request of Rust-Oleum Corporation for a Conditional Use Permit to operate a manufacturing research and development facility on the above described parcels be approved subject to the conditions presented above.

Approved by:

James L. Fonk

Stanley Kerkman

Fred C. Schmalfeldt

Richard Lindgren

Geoffrey Wheeler

LAND USE COMMITTEE

PROPOSED RUST-OLEUM CONDITIONAL USE PERMIT CONDITIONS

1. Liquid waste materials shall be properly recovered and stored in barrels. Other waste materials shall be stored in dumpsters. All liquid and solid materials shall be disposed of in a licensed landfill facility.
2. A fire protection system shall be installed which complies with the laws of the State of Wisconsin and is approved by the Town of Pleasant Prairie.
3. Pollution controls shall be in compliance with State Statutes 144.392 and any other federal, state, and local air and water quality standards.
4. A detailed site plan shall be submitted and approved by the Office of Planning and Development and the Town of Pleasant Prairie. Such site plan shall include a stormwater drainage plan, traffic flow plan, structures, parking lot design, lighting, employee and guest parking, loading dock facilities, dumpsters and disposal area, driveway and highway access, signage.
5. The performance bond requirement is to be waived as the proposed plans and specifications address air, water quality, and waste disposal regulations. In addition, the location is in a preplanned industrial park environment and it is believed that the proposed Rust-Oleum facility will not be detrimental to the health, safety, and welfare of the general public.
6. A statement shall be provided as to how potential health hazards are avoided. This statement should address safety and preventive maintenance measures.
7. All permits to be issued by the Office of Planning and Development for structures shall be based on a plat of survey and shall be subsequently verified with a foundation survey.



3 1 4 3 0 2
Exhibit 4 VOL 1559 PAGE 537-556

REGISTER'S OFFICE
KENOSHA COUNTY, WI.
RECORDED AT

DEC 22 8 23 AM '92

48 / DONNA M. DITTMAR
REGISTER OF DEEDS

VILLAGE OF PLEASANT PRAIRIE CONDITIONAL USE GRANT

NO. 92-009

Before the Village Board of the Village of Pleasant Prairie, Kenosha County, Wisconsin, in regard to premises located at 8105 Fergusson Drive, identified as Tax Parcel No. 92-4-122-212-0355-0, in Section 21, Township 1 North, Range 22 East, Kenosha County, State of Wisconsin, further described as follows:

Legal Description:

Parcel 1 of Certified Survey Map No. 1203 in LakeView Corporate Park, located in the Northwest One-Quarter of U.S. Public Land Survey Section 21, Township 1 North, Range 22 East in the Village of Pleasant Prairie, Kenosha County, Wisconsin.

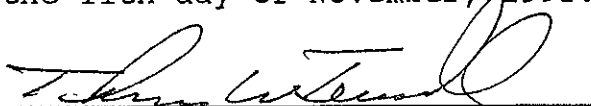
WHEREAS, the Zoning Code and Zoning District Map of the Village of Pleasant Prairie, pursuant to State Statute, provide that the premises may not be used of right for the purpose hereinafter described but that upon petition such use may be approved by the Village of Pleasant Prairie as a Conditional Use Grant in particular circumstances as defined by the standards in the Zoning Ordinance; and

Petition therefore having been made, and public hearing held thereon, and the Village Board of the Village of Pleasant Prairie having determined that by reason of the particular nature, character and circumstances of the proposed use, and of the specific and contemporary conditions, grant of such use upon the terms and conditions hereinafter prescribed would be consistent with the requirements of the Zoning Ordinance;

NOW THEREFORE, a conditional use is granted, subject to compliance with the terms and conditions hereinafter stated, that the Premises may be used for the purpose of the expansion and operation of an aerosol product storage area within the existing Rust-Oleum Corporation manufacturing facility.

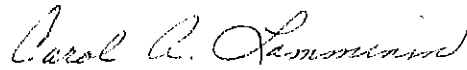
9. Obtaining building (remodel) and zoning permits from the Village's Community Development Department.
10. Building and Zoning Permit fees shall be tripled because work was completed prior to obtaining Village permits.
11. Any other requirements as set forth by the Village staff or Plan Comm as a part of the Site and Operational Plan review and approval.

Granted by the action of the Village Board of the Village of Pleasant Prairie, the 11th day of November, 1992.



Thomas W. Terwall
Village President

Attest:



Carol A. Lamminen
Village Clerk

Original filed in the Community Development Department of the Village of Pleasant Prairie.

Conditional Use Grant 92-009
Rust-Oleum Corporation

Page 5 of 20

Receipt of a True Copy of this instrument on behalf of the petitioner
acknowledged this 20 day of November, 1992.

Jane M. Romanowski

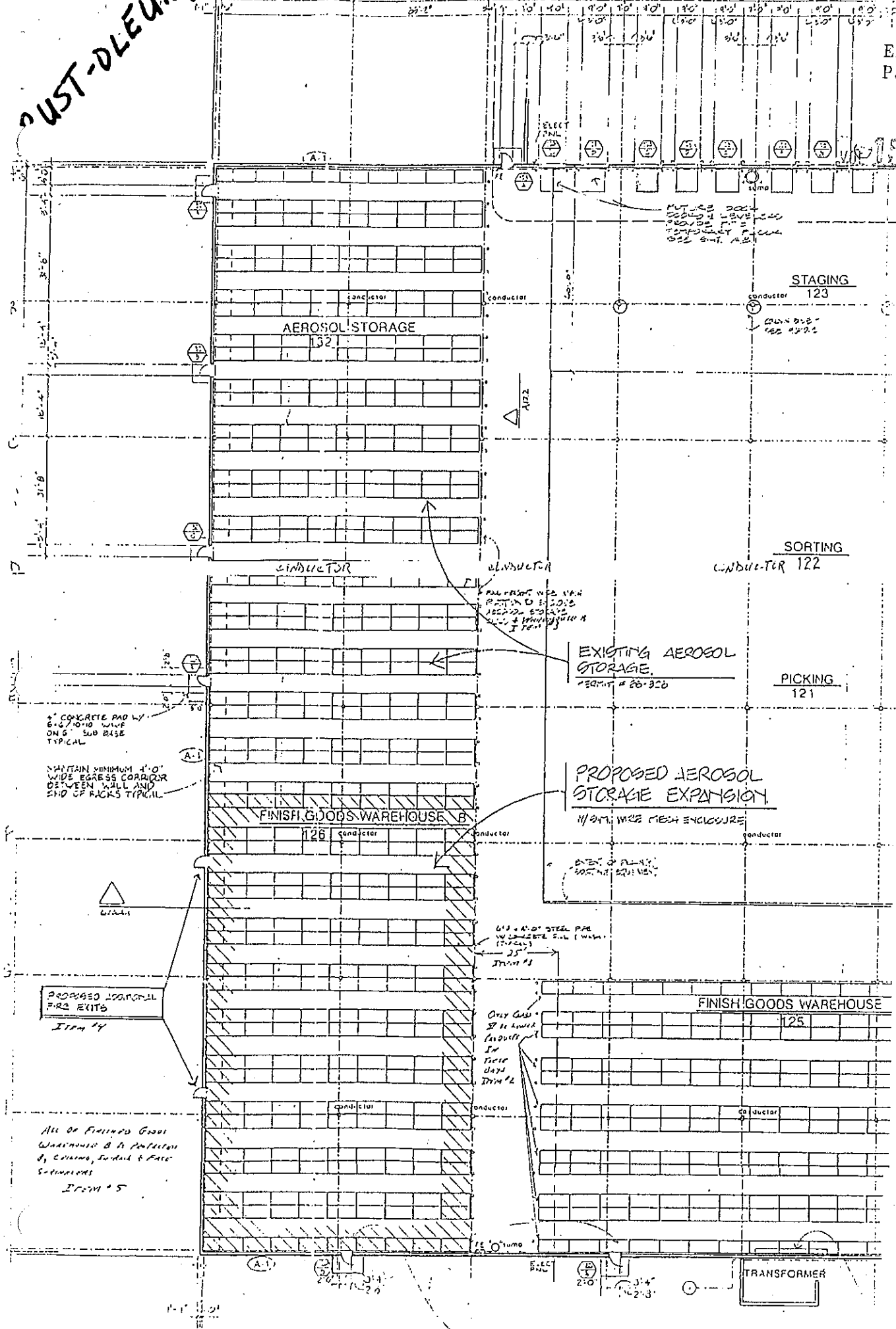
This document is to be returned to:

Village of Pleasant Prairie
9915 39th Avenue
P.O. Box 89
Pleasant Prairie, Wisconsin 53158-0089

CONDUSGR.116

JUST-DLEUM

1519 PAGE 512



1ST FLOOR PLAN - WAREHOUSE



RUST-OLEUM CORPORATION

8105 Fergusson Drive • Pleasant Prairie, Wisconsin 53158-0769
Tel.: (414) 947-7220

Attachment #1

February 6, 1992

Ms. Jean M. Werbie
Village Planner & Zoning Administrator
9915-39th. Avenue
Pleasant Prairie, Wisconsin 53258-0089

RE: Expansion of aerosol product storage in the Rust-Oleum
warehouse.

Dear Ms. Werbie:

As requested in your Operational Plan Approval Application and Checklist I am providing a written narrative of our operational plan. I will address each of the 19 questions in the order presented on your form.

- 1) Rust-Oleum warehouse aerosol product storage expansion.
- 2) Rust-Oleum Corporation 8105 Fergusson Drive Pleasant Prairie, WI
- 3) Louis C. Noto
Engineering Manager
Rust-Oleum Corporation
- 4) February 6, 1992
- 5) Not Applicable
- 6) In order of completion: Increase sprinkler protection in expansion area, install chain link wire mesh barriers at aisle end of existing racks, install 3 new fire exits on outside wall adjacent to this storage area, install fire pull boxes, exit lights and security system at these doors. Where possible, all equipment is to duplicate equivalent equipment already in place as to style, model and appearance.
- 7) Attached
- 8) None
- 9) The entire facility is used for Research and Development, storage of components, manufacture and storage of paint products. The specific area under consideration is

presently used for storage of non-aerosol paint products products and we seek to improve fire protection in said area to allow storage of packaged aerosol products.

- 10) Normal operating hours would be 6:00AM to 10:30PM Monday thru Friday.
- 11) 125
- 12) Expansion of this storage area will reduce truck traffic to and from the facility by 3 to 5 trucks per day. At this time product must be trucked from this facility to an outside warehouse for storage and then returned to this facility at a later date for distribution to our customers resulting in additional truck traffic.
- 13) Packaged and palletized aerosol paint products.
- 14) Not Applicable
- 15) Electronic security as used throughout the facility.
- 16) In-rack sprinkler system as installed in adjacent aerosol storage area. Accessibility for fire fighters and their equipment will be identical to that for the adjacent aerosol storage area and with additional fire doors.
- 17) No change from original facility plan.
- 18) None
- 19) Attached copies of petition for variance submitted to and approved by Wisconsin Department of Industry, Labor and Human Relations for the original aerosol storage area, copies of estimates form all contractors involved in this project, drawings of proposed changes to sprinkler system and building interior and exterior modifications.

I believe I have answered all applicable points from your check list, if not please let me know. My telephone number is 947-6740

Very truly yours,

Rust-Oleum Corporation

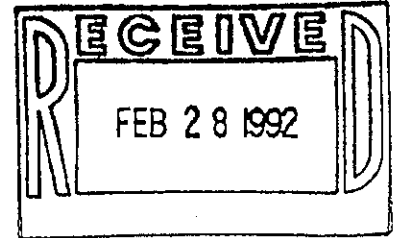


Louis C. Noto
Engineering Manager

**RUST-OLEUM
CORPORATION**8105 Fergusson Drive • Pleasant Prairie, Wisconsin 53158-0769
Tel.: (414) 947-7220

February 28, 1992

COPY



Ms. Jean M. Werbie
Village Planner & Zoning Administrator
9915-39th. Avenue
Pleasant Prairie, Wisconsin 53158-0089

Dear Ms. Werbie:

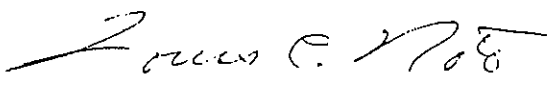
We are seeking a Conditional Use Permit as part of a plan to expand our aerosol storage capacity. It is our intention to reproduce the conditions described in our original petition for variance as well as address any new or additional requirements which may be applicable. The following information describes how we intend to meet said requirements to expand our finished goods warehouse aerosol storage area by 10,664 sq.ft.

- 1) Addition of face sprinklers at all levels and bays of the rack system in accordance with state, local, NFPA 13 and NFPA 30B regulations.
- 2) Provide three (3) additional fire exits direct to grade with spacing as agreed upon in the original petition.
- 3) Reduce the number of sides of aerosol storage exposure to the adjacent warehouse from two to one and eliminate the need for a variance to separate stored aerosols from the adjacent stock with a wire mesh fence rather than a masonry wall.
- 4) Provide wire mesh end partitions as well as any additional equipment determined necessary to protect adjacent areas of the warehouse from fire hazards in the expanded storage area.

I have enclosed a copy of the original petition for variance as well as the checklist, responses and drawings submitted for the Operational Plan Approval Application to your office on 2/7/92.

Very truly yours,

Rust-Oleum Corporation



Louis C. Noto
Engineering Manager



SAFETY & BUILDINGS DIVISION

201 E. Washington Avenue
P.O. Box 7969
Madison, Wisconsin 53707

October 10, 1988

File Number E-10983

Attachment #3

Petition No. 1-88-00328

Mark Levine
Rust-Oleum Corporation
11 Hawthorne Parkway
Vernon Hills, IL 60061Designer: Howard Needles Tammen
Bergendoff
11270 West Park Place
Milwaukee, WI 53224

Dear Mr. Levine:

Re: Manufacturing/Warehouse/Office
Highway "T" - Highway "H"
Pleasant Prairie, Kenosha CountyYour petition for variance of section ILHR 54.14 (1)(a) and (2),
1986 Wisconsin Building Code, has been reviewed.

The rule being petitioned requires the following:

Except as provided in par. (b), all fuel-fired heating boilers and furnaces, power boilers, fuel rooms and breeching, storage vaults for paints, oils, and similar combustibles and other similar hazards in a building shall be isolated from the rest of the building by at least a 2-hour fire-resistive enclosure as specified in ss. ILHR 51.04 to 51.049; except that in buildings not more than two stories in height and having a floor area of not more than 3,000 square feet per floor, a 1-hour fire-resistive enclosure as specified in ss. ILHR 51.04 to 51.049, or better, shall be provided.

All openings shall be protected with self-closing fire-resistive doors as specified in s. ILHR 51.047.

The variance requested was to allow the omission of the 2-hour enclosure for an aerosol can storage area and to allow the substitution of deluge water curtains in lieu of fire-resistive door assemblies for conveyor openings in 2-hour isolation enclosure.

Considered were your statements as follows:

1. The proposed building contains an area of 9,600 square feet within the finished goods warehouse which is designated for the storage of paint in aerosol cans. The cans are contained on pallets which will be stacked four high (total height of 22 feet 5 inches on racks).
2. This area is considered a hazardous area due to the nature of aerosol products, and therefore requires a 2-hour separation from the rest of the warehouse area.



Mark Levine
October 10, 1988
Page 2

201 E. Washington Avenue
P.O. Box 7859
Madison, Wisconsin 53707

3. Fork trucks must access these racks through the aisles from the warehouse floor. This would require nine 6 foot wide by 12 feet high openings in the fire wall, each which would require a separate fire door. These openings would interfere with fork truck operations and create a greater potential for accidents. The fire wall would also greatly reduce visibility into the area. The large number of openings would also tend to negate the purpose of the fire wall.
4. The paint manufacturing operation utilizes a conveyor system to transport packaged paint products in closed containers from the manufacturing/filling area to the finished goods warehouse. The proposed location of the 2-hour fire wall enclosing the manufacturing area was designed for two primary reasons:
 - a. To maximize the separation of packaged finished goods from the manufacturing area.
 - b. To increase fork truck access to the palletizers located at the end of the conveyors and minimize fork truck traffic within the manufacturing area.
5. It is, therefore, necessary for the conveyors to penetrate the 2-hour fire wall. Since this is a continuous machine and operation, it is not feasible to protect the opening with a fire door, which would be obstructed by the conveyor apparatus.
6. The aerosol storage area is located in an exterior corner of the building so that only two sides are exposed to the adjacent warehouse. Since one hazard associated with aerosol storage is the potential for rocketing or exploding cans in fires, this location will greatly reduce the potential for cans to effect adjacent rack areas. *now only*
7. The aerosol storage area will be enclosed with a full-height (floor to roof deck) wire mesh partition to separate it from the adjacent racks to the north. The partition will also fully cover the ends of the racks between aisles on the west side. This further reduces the area open to the warehouse.
8. The aerosol storage area will be completely protected by an automatic sprinkler system, including ceiling sprinklers and in-rack sprinklers at each level, in accordance with Factory Mutual 7-296 - Storage of Aerosol Products.
9. A letter (attached) from Verlan, Ltd., Rust-Oleum's insurance carrier, demonstrates that past experience in other paint manufacturing and warehouse facilities has shown that the proper sprinkler protection is much more effective in controlling aerosol fires than fire walls. This sprinkler system will be continuously monitored and tested.



Mark Levine
October 10, 1988
Page 3

10. The aerosol storage area may be exited within a maximum travel distance of 50 feet. The aisles can be exited to the east through three exit doors and to the west through the main warehouse aisle leading to additional standard exits to grade. The fire department will be able to access the area through four exterior doors - three within aerosol storage and one immediately adjacent.
11. The wire mesh partition will allow the fire department to fight a fire from outside the aerosol storage area whereas a solid wall would require firefighters to enter the area.
12. The wire mesh partition will increase visibility into the area to monitor activities and help provide early detection of potential hazards.
13. All fork trucks operating in the warehouse will be EE rated. In addition, all fork trucks will be automatically guided by an in-floor wiring system.
14. The conveyor openings will be protected on both sides by a deluge water curtain sprinkler system designed in accordance with NFPA 13. The system will be activated by a smoke and heat detection system of both sides of the opening.
15. The size of the conveyor openings is relatively small (four openings 4 feet wide by 4 feet high, two future openings 4 feet wide by 4 feet high) and account for only 2% of the wall area. All other openings in the fire wall will be protected with approved 1-1/2-hour rated fire door assemblies.
16. Both sides of the fire wall are completely protected by an automatic sprinkler system.
17. The fire alarm system in the plant is designed to automatically shut down all filling, packaging and conveyor machinery when activated.
18. The manufacturing area enclosed by the 2-hour fire wall is provided with a ventilation system to maintain six air changes per hour. This will prevent any hazardous fumes associated with the manufacturing operation from building up to dangerous levels or entering the warehouse area.
19. It is Rust-Oleum's feeling, as well as Verian, Ltd.'s, that the design proposed for the aerosol storage area will provide superior protection of the building and a safer condition for occupants than a 2-hour fire wall. The best protection for aerosol fires is early detection and suppression. The wire mesh partition will contain aerosol cans from entering other rack storage areas. In addition, a very short distance is required to exit or access the area.



Mark Levine
October 10, 1988
Page 4

20. Addressing s. ILHR 54.14 (2) at Manufacturing:

A properly designed deluge water curtain has been shown to provide adequate protection of openings in fire walls. Along with the other design features discussed, we feel that the proposed design provides a superior degree of safety compared with the alternative of fire shutters in this situation. In addition, the projection of conveyors through the fire wall will provide a safer operating plant by maximizing the separation of the manufacturing area from the warehouse.

21. We would also like to reference the following petitions for variance previously reviewed and conditionally approved by the Department for similar building conditions:

File No. E-78163	Petition No. 87-172
File No. E-8694	Petition No. 85-207
File No. E-29580	Petition No. 87-089
File No. E-1422	Petition No. 87-060
File No. E-47637	Petition No. 87-077
File No. E-109294	Petition No. 87-119

The following comments were made in the petition analysis:

1. The intent of the rule being petitioned is limit the possible spread of fire from a potentially hazardous source to other portions of a building.
2. The Pleasant Prairie Fire Department recommends the approval of this petition request.
3. Relative to the conveyor openings, the Department has accepted the equivalency of deluge curtains for fire door assemblies to protect such openings, under petitions 87-77 and 87-83; therefore, this issue of the petition can be accepted by precedence.
4. From the plans it is not evident that the hazard posed by the aerosol can storage is significantly different than that posed by the adjacent spaces and functions.
5. The enclosure of the aerosol can storage area was called for during the preliminary design review as a means of recognizing different maximum exit distances.
6. Flammable aerosols are liquids in pressurized containers which are likely to rupture under fire exposure conditions spreading fire as the containers rocket.
7. The wire enclosure should help to prevent the rocketing and thereby spread fire to other parts of the building.



Mark Levine
October 10, 1988
Page 5

201 E. Washington Avenue
P.O. Box 7969
Madison, Wisconsin 53707

8. The sprinkler system in accordance with Factory Mutual should limit the potential for a fire occurring in the aerosol can storage area.

Departmental Action: Approval.

This approval is granted with the understanding that all of the petitioner's statements and any conditions of approval cited above will be carried out.

Prepared by: James D. Junot/RLB
James Quast, Architect
Code and Variance Consultant
(508) 265-9292

Reviewed by: Ronald Lewis Buchholz
Ronald Lewis Buchholz, Architect
Assistant Director, Office of Division Codes and Application

Departmental Signature: Richard L. Meyer Date: 10/2/88
Richard L. Meyer, Architect
Director, Office of Division Codes and Application

JG:2984e

Enc.

cc: R-2 Waldburger (414) 521-5065 Thursday
Building Inspector, Pleasant Prairie
Pleasant Prairie Fire Department

VOL 1559 PAGE 551

Name of Owner Mark Levine	Building Occupancy or Use Manuf/Warehouse/Office	Agent, Architect or Engineering Firm HNTB
Company Must-Oleum Corporation	Tenant Name, if any	Street & No. 11270 W. Park Place
Street & No. 11 Hawthorne Parkway	Building Location, Street & No. Hwy "T" - Hwy "H"	City Milwaukee, WI
City Vernon Hills, IL	State & Zip 60061	State & Zip 53224
City Vernon Hills, IL	State & Zip 60061	City Pleasant Prairie, Kenosha
Phone 312-367-7700	Plan Number(s) IF KNOWN 88-09-0109-C	Phone 414-359-2300
		Name of Contact Person Richard Toyne

21810 134

1. Rule ILHR 54.14 of the Wisconsin Administrative code cannot be entirely satisfied because:

See Exhibit A attached

3410.00
499081
Public Petition

2. In lieu of complying exactly with the rule, the following alternative is proposed as a means of providing an equivalent degree of safety:

See Exhibit B attached

3. Supporting arguments are:

See Exhibit C attached

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 SEP 30 1988
 OFFICE OF DIVISION
 RULES AND APPLICATIONS

VERIFICATION BY OWNER - PETITION IS VALID ONLY IF NOTARIZED

For Fee Information See ILHR 69.15 or Contact The Department at 16031-267-7840

NOTE: Petitioner must be building owner. Tenants, agents, designers, contractors, attorneys, etc. may not sign petition unless a Power of Attorney is submitted with the Petition.

Richard Manning

(NAME of PETITIONER Please type/print)

being duly sworn, I state as petitioner; that I have read

the foregoing petition, that I believe it to be true and I have significant ownership rights in the subject building.

Richard Manning
 Signature of Owner
 Subscribed and sworn to me this date: 9-28-88
Lake County, Wisconsin
Adriana A. Kavours
 Notary Public
 My commission expires: Jan. 10, 1989

OFFICE USE ONLY		
Date Received 9-30-88	Amount Paid \$40.00	Receipt No. 40099031
Department Action <u>[Signature]</u>		
Office of the Secretary <u>[Signature]</u>		Date 10/12/88

EXHIBIT A

Certain aspects of ILHR 54.14 cannot be entirely satisfied at two different areas of the proposed building as described below:

1. Addressing ILHR 54.14 at Aerosol Storage:

The proposed building contains an area of 9,600 square feet within the finished goods warehouse which is designated for the storage of paint in aerosol cans. The cans are contained on pallets which will be stacked four high (total height of 22'-6") on racks.

This area is considered a hazardous area due to the nature of aerosol products, and therefore requires a two-hour separation from the rest of the warehouse area.

Fork trucks must access these racks through the aisles from the warehouse floor. This would require nine 6 foot wide by 12 feet high openings in the fire wall, each which would require a separate fire door. These openings would interfere with fork truck operations and create a greater potential for accidents. The fire wall would also greatly reduce visibility into the area. The large number of openings would also tend to negate the purpose of the fire wall.

2. Addressing ILHR 54.14(2) at Manufacturing:

The paint manufacturing operation utilizes a conveyor system to transport packaged paint products in closed containers from the manufacturing/filling area to the finished goods warehouse. The proposed location of the two-hour fire wall enclosing the manufacturing area was designed for two primary reasons:

1. To maximize the separation of packaged finished goods from the manufacturing area.
2. To increase fork truck access to the palletizers located at the end of the conveyors and minimize fork truck traffic within the manufacturing area.

It is, therefore, necessary for the conveyors to penetrate the two hour fire wall. Since this is a continuous machine and operation, it is not feasible to protect the opening with a fire door, which would be obstructed by the conveyor apparatus.

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ORDS AND APPLICATIONS

EXHIBIT B

In lieu of complying exactly with the rule, the following alternatives are proposed as a means of providing an equivalent degree of safety:

1. Addressing ILHR 54.14 at Aerosol Storage:

- A. The aerosol storage area is located in an exterior corner of the building so that only two sides are exposed to the adjacent warehouse. Since one hazard associated with aerosol storage is the potential for rocketing or exploding cans in fires, this location will greatly reduce the potential for cans to effect adjacent rack areas.
- B. The aerosol storage area will be enclosed with a full-height (floor to roof deck) wire mesh partition to separate it from the adjacent racks to the north. The partition will also fully cover the ends of the racks between aisles on the west side. This further reduces the area open to the warehouse.
- C. The aerosol storage area will be completely protected by an automatic sprinkler system, including ceiling sprinklers and in-rack sprinklers at each level, in accordance with Factory Mutual 7-296 - Storage of Aerosol Products.

A letter (attached) from Verlan, Ltd., Rust-Oleum's insurance carrier, demonstrates that past experience in other paint manufacturing and warehouse facilities has shown that the proper sprinkler protection is much more effective in controlling aerosol fires than fire walls. This sprinkler system will be continuously monitored and tested.

- D. The aerosol storage area may be exited within a maximum travel distance of 50 feet. The aisles can be exited to the east through three exit doors and to the west through the main warehouse aisle leading to additional standard exits to grade. The fire department will be able to access the area through four exterior doors - three within aerosol storage and one immediately adjacent.
- E. The wire mesh partition will allow the fire department to fight a fire from outside the aerosol storage area whereas a solid wall would require firefighters to enter the area.
- F. The wire mesh partition will increase visibility into the area to monitor activities and help provide early detection of potential hazards.
- G. All fork trucks operating in the warehouse will be EE rated. In addition, all fork trucks will be automatically guided by an in-floor wiring system.

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2. Addressing ILHR 54.14(2) at Manufacturing:

- A. The conveyor openings will be protected on both sides by a deluge water curtain sprinkler system designed in accordance with NFPA 13. The system will be activated by a smoke and heat detection system on both sides of the opening.
- B. The size of the conveyor openings is relatively small (4 openings 4'-0" wide by 4'-0" high, 2 future openings 4'-0" wide by 4'-0" high) and account for only 2% of the wall area. All other openings in the fire wall will be protected with approved 1-1/2 hour rated fire door assemblies.
- C. Both sides of the fire wall are completely protected by an automatic sprinkler system.
- D. The fire alarm system in the plant is designed to automatically shut down all filling, packaging and conveyor machinery when activated.
- E. The manufacturing area enclosed by the two hour fire wall is provided with a ventilation system to maintain six air changes per hour. This will prevent any hazardous fumes associated with the manufacturing operation from building up to dangerous levels or entering the warehouse area.

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OFFICE OF DIVISION
CODES AND APPLICATIONS

1. Addressing ILHR 54.14 at Aerosol Storage:

It is Rust-Oleum's feeling, as well as Verlan, Ltd.'s, that the design proposed for the aerosol storage area will provide superior protection of the building and a safer condition for occupants than a two-hour fire wall. The best protection for aerosol fires is early detection and suppression. The wire mesh partition will contain aerosol cans from entering other rack storage areas. In addition, a very short distance is required to exit or access the area.

2. Addressing ILHR 54.14(2) at Manufacturing:

A properly designed deluge water curtain has been shown to provide adequate protection of openings in fire walls. Along with the other design features discussed, we feel that the proposed design provides a superior degree of safety compared with the alternative of fire shutters in this situation. In addition, the projection of conveyors through the fire wall will provide a safer operating plant by maximizing the separation of the manufacturing area from the warehouse.

We would also like to reference the following petitions for variance previously reviewed and conditionally approved by the Department for similar building conditions:

File No. E-76163	Petition No. 87-172
File No. E-8694	Petition No. 85-207
File No. E-29580	Petition No. 87-089
File No. E-1422	Petition No. 87-060
File No. E-47637	Petition No. 87-077
File No. E-109294	Petition No. 87-119

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OFFICE OF DIVISION
CODES AND APPLICATIONS

Name of Owner Mr. Levine	Building Occupancy or Use Manuf/Warehouse/Office	Agent, Architect or Engineering Firm HNTB
Company Rust-Oleum Corporation	Tenant Name, if any	Street & No. 11270 W. Park Place
Street & No. 11 Hawthorne Parkway	Building Location, Street & No. Hwy "T" - Hwy "H"	City Milwaukee, WI
City Vernon Hills, IL	State & Zip 60061	State & Zip 53224
City Pleasant Prairie,	County Kenosha	Phone 414-359-2300

1. I have read the petition for variance of rule: 54.14

2. I recommend (Check appropriate box)

Denial	Approval XXX	Conditional Approval	No Comment
--------	-----------------	----------------------	------------

3. Explanation for Recommendation:

In my judgement the variances that HNTB is requesting on behalf of the Rust-Oleum Corporation are workable as alternatives to the DILHR code.

If desired, Fire Departments may indicate "No Comment" on non-fire safety issues such as sanitary, energy conservation, structural, barrier free environments, etc.

4. I find no conflict with local rules and regulations
 I find that the petition is in conflict with local rules and regulations

Explanation

The Town of Pleasant Prairie has adopted the DILHR code as our minimum fire prevention code. Pleasant Prairie has not made any enhancements to the "basic" code, therefore there are no additional local regulations which address the variances requested by Rust-Oleum.

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OFFICE OF DIVISION
CODES AND APPLICATIONS

Signature of Fire Chief: Paul G. Guilbert, Jr., Pleasant Prairie F & R Date: 09/28/93



**VILLAGE OF PLEASANT PRAIRIE
CONDITIONAL USE GRANT**

NO. 95-017

Before the Village Board of the Village of Pleasant Prairie, Kenosha County, Wisconsin, in regard to the property located at **8105 Fergusson Drive**, identified as Tax Parcel No. **92-4-122-212-0355-0**, in U.S. Public Land Survey Section 21, Township 1 North, Range 22 East, Kenosha County, State of Wisconsin.

Legal Description:

CSM 1203 in Lakeview Corporate Park and a part of the Northwest One-Quarter of U. S. Public Land Survey Section 21, Township 1 North, Range 22 East in the Village of Pleasant Prairie, Kenosha County, Wisconsin.

WHEREAS, the Zoning Code and Zoning District Map of the Village of Pleasant Prairie, pursuant to State Statute, provide that the premises may not be used of right for the purpose hereinafter described but that upon petition such use may be approved by the Village of Pleasant Prairie as a Conditional Use Grant in particular circumstances as defined by the standards in the Zoning Ordinance; and

WHEREAS, such petition having been made, and public hearing held thereon, and the Village Board of the Village of Pleasant Prairie having determined that by reason of the particular nature, character and circumstances of the proposed use, and of the specific and contemporary conditions, grant of such use upon the terms and conditions hereinafter prescribed would be consistent with the requirements of the Zoning Ordinance;

NOW THEREFORE, a conditional use is granted, subject to compliance with the terms and conditions hereinafter stated, that the property may be developed according to the approved plans for Rust-Oleum Corporation to construct a 480 square foot precast concrete building. The new structure is proposed to be used in the recovery of paint and propellant from returned/rejected aerosol containers of Rust-Oleum product.

The **CONDITIONS** of this Grant are:

1. Subject to the attached Fire Chief's Comments.
2. Two sets of Registered Architect or Engineer signed and sealed plans should be submitted to the Village Building Inspector for review and issuance of building/zoning permits.

3. Signed and sealed pre-cast plans should be submitted to the Village Building Inspector prior to their installation.
4. Emergency lighting per the State Code is required in the building.
5. Heat Loss and Ventilation Design for Building is needed per ILHR Chapter 64.
6. Any alterations, additions or changes to the project plans shall be approved by the Village and WisPark Corporation.
7. Any conditions of the Conditional Use Grant shall apply to the owners, agents or employees of the property.
8. Construction and operation of the use granted shall be in strict conformity to the approved site, building and operational plans filed in connection with the petition for this permit.
9. The Conditional Use Grant shall become effective upon the execution and recording by the Village for the Owners and Tenants of the Premises of an acceptance hereof in such form as to constitute an effective covenant running with the land.
10. The Conditional Use Grant shall be void unless proper execution (signatures and recording) of the conditional use grant, pursuant to the Building Code and Zoning Ordinance of the Village, for appropriate Building, Zoning and Occupancy Permits in conformity to this Grant, is made within six (6) months of the date hereof.
11. The Conditional Use Grant is subject to amendment and termination in accordance with the provisions of the Zoning Ordinance of the Village.
12. Construction and operation of the use granted shall be in strict conformity to the approved site, building and operational plans filed in connection with the petition for this permit.

Granted by the action of the Village Board of the Village of Pleasant Prairie, the 6th day of November, 1995.

Attest:

John P. Steinbrink
Village President

Jane M. Romanowski
Village Clerk

Signed:
Owner _____
Mark Levine
Rust-Oleum Corporation

ACKNOWLEDGMENT
STATE OF _____)
SS
_____ COUNTY)

Personally came before me this _____ day of _____, 1995, the above named _____, to me known to be the person(s) who executed the foregoing instrument and acknowledge the same.

Notary Public, _____ County, _____.
My Commission expires: _____.

THIS INSTRUMENT WAS DRAFTED BY:
Peggy L. Keuler
Assistant Village Planner and
Assistant Zoning Administrator

This document is to be returned to:
Village of Pleasant Prairie
9915 39th Avenue
Pleasant Prairie, Wisconsin 53158-0089

TO: JEAN WERBIE
FROM: PAUL GUILBERT JR., CHIEF
RE: RUST OLEUM AEROSOL RECOVERY BUILDING

I HAVE REVIEWED THE SITE PLANS FOR RUST OLEUM THAT WERE RECEIVED BY YOU ON SEPTEMBER 21, 1995.

The proposed facility is to be used as an aerosol recovery building. The size of the structure is 480 square feet.

The design firm, Pierce Engineering, Inc., has indicated on the plans we reviewed that the building will be constructed in accordance with but not limited to: NFPA 30, 30b, 70-NEC, and DILHR 10, 54 and 69. They indicated that the building will be protected by a wet pipe fire sprinkler system. The sprinkler system will be installed in accordance with NFPA 13 and 30b.

The design firm has also indicated the following:

- a. Fire alarm pull stations will be provided.
- b. Automatic smoke detectors will be provided.
- c. Heat detectors will be provided.
- d. Fire extinguishers will be provided.

The following should be noted:

The fire sprinkler system will be reviewed in consideration of Village Ordinance, 5.16, automatic fire sprinklers. The fire protection contractor providing the sprinklers should review the ordinance prior to submitting the drawings.

A permit is required before work begins and will be issued only after a satisfactory review of the system is performed.

Annunciator Panel: All fire alarms originating from the aerosol recovery building shall be identified on the annunciator panel found at the main entrance to Rust Oleum. The alarms shall be identified in a manner that will provide the firefighters on scene with the most accurate information, or example:

Aerosol Recovery Building:

- Sprinkler water flow
- Heat/Smoke detector
- Pull station

All life safety and fire protection shall be in place prior to this new building being occupied.



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Exhibit 6

DOCUMENT NUMBER
1050202
CONDITIONAL USE PERMIT
RECORDED
at Kenosha County, Kenosha, WI 53140
Louise I. Principec, Register of Deeds
on 2/26/1997 at 2:41 PM
970007154
REGDRENZ
18.00
PATC

**VILLAGE OF PLEASANT PRAIRIE
CONDITIONAL USE GRANT NO. 96-01**

Before the Village Board of the Village of Pleasant Prairie, Kenosha County, Wisconsin, in regard to the property located at **8105 Fergusson Drive**, and located in U.S. Public Land Survey Section 21, Township 1 North, Range 22 East, Kenosha County, State of Wisconsin.

Return Document to:
Village of Pleasant Prairie
P.O. Box 905
Pleasant Prairie, WI 53158

Parcel #:
92-4-122-212-0355-0

Legal Description:

CSM 1203 in Lakeview Corporate Park and a part of the Northwest One-Quarter of U. S. Public Land Survey Section 21, Township 1 North, Range 22 East in the Village of Pleasant Prairie, Kenosha County, Wisconsin.

WHEREAS, the Zoning Code and Zoning District Map of the Village of Pleasant Prairie, pursuant to State Statute, provide that the premises may not be used of right for the purpose hereinafter described but that upon petition such use may be approved by the Village of Pleasant Prairie as a Conditional Use Grant in particular circumstances as defined by the standards in the Zoning Ordinance; and

WHEREAS, such petition having been made, and public hearing held thereon, and the Village Board of the Village of Pleasant Prairie having determined that by reason of the particular nature, character and circumstances of the proposed use, and of the specific and contemporary conditions, grant of such use upon the terms and conditions hereinafter prescribed would be consistent with the requirements of the Zoning Ordinance;

NOW THEREFORE, a conditional use is granted, subject to compliance with the terms and conditions hereinafter stated, that the property may be developed according to the approved plans for Rust-Oleum Corporation to construct a 564 square foot structure to house equipment used to inject propellant into aerosol cans of Rust-Oleum paint. The **CONDITIONS** of this Grant include:

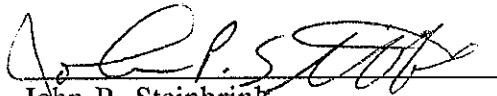
1. Subject to the attached Fire Chief's comments.
2. Subject to State approval for Building and HVAC Plans and providing two (2) copies of the State approved plans and the approval letter.

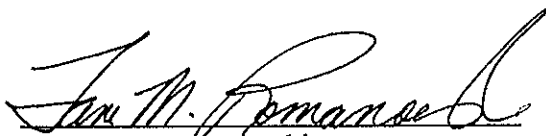
68

3. Building permits shall be obtained from the Community Development Department and Sprinkler permits should be obtained through the Fire & Rescue Department.
4. The Conditional Use Grant shall become effective upon the execution and recording by the Village for the Owners of the Premises of an acceptance hereof in such form as to constitute an effective covenant running with the land.
5. The Conditional Use Grant shall be void unless proper execution (signatures and recording) of the conditional use grant, pursuant to the Building Code and Zoning Ordinance of the Village, for appropriate Building, Zoning and Occupancy Permits in conformity to this Grant, is made within six (6) months of the date hereof.
6. The Conditional Use Grant is subject to amendment and termination in accordance with the provisions of the Zoning Ordinance of the Village.
7. Construction and operation of the use granted shall be in strict conformity to the approved site, building and operational plans filed in connection with the petition for this permit.
8. Any alterations, additions or changes to the project plans shall be approved by the Village and WisPark Corporation.
9. Any conditions of the Conditional Use Grant shall apply to the owners, agents or employees of the property.

Granted by the action of the Village Board of the Village of Pleasant Prairie, the 1st day of April, 1996.

Attest:


John P. Steinbrink
Village President

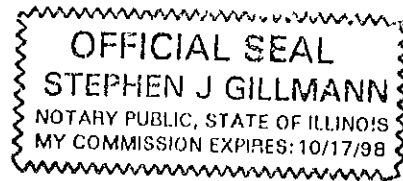

Jane M. Romanowski
Village Clerk

Signed: William C. Whiting
Owner ~~Mark Levine~~ William C. Whiting ^{man}
Rust-Oleum Corporation

ACKNOWLEDGMENT
STATE OF Illinois)
SS
Lake COUNTY)

Personally came before me this 11 day of April, 1996, the above named William C. Whiting, to me known to be the person(s) who executed the foregoing instrument and acknowledge the same.

Stephen J. Gillmann
Notary Public, LAKE County, IL.
My Commission expires: 10/17/98.



THIS INSTRUMENT WAS DRAFTED BY:
Peggy L. Keuler
Assistant Village Planner and
Assistant Zoning Administrator

This document is to be returned to:
Village of Pleasant Prairie
9915 39th Avenue
Pleasant Prairie, Wisconsin 53158-0089

MEMORANDUM

TO: Jean Werbie, Director
Community Development Department
Village of Pleasant Prairie

FROM: Paul G. Guilbert Jr., Chief
Pleasant Prairie Fire & Rescue

RE: Rust-Oleum Corp. New Aerosol Gas House
8105 95th Street

DATE: February 22, 1996

The Rust-Oleum Corp., 8105 95th Street, has proposed to build an additional room to fill aerosol cans. This addition will be located immediately west of the current aerosol filling room and five feet (north) remote of the existing main building.

The owner has committed to build this room in accordance with the following conditions:

1. All materials methods and means utilized to construct this facility shall conform to all applicable codes and standards suitable for the intended use of the facility, including but not limited to the following:
NFPA 30, NFPA 30(B), NFPA 70-NEC, DILHR 10, DILHR 54, DILHR 69
2. Provide and install ten pound capacity UL rated dry chemical type cast steel tank fire extinguishers for Class A, B, and C fires at locations designated by local authority.
3. A wet pipe automatic sprinklers shall be installed in accordance with all applicable codes and guidelines suitable for the use of the facility, including NFPA 13 and NFPA 30B, Section 3-9. Tap existing fire sprinkler loop and locate riser where shown on plan. Complete all necessary testing upon completion of work.
4. Provide fire alarm pull stations, horns, strobes, automatic smoke detectors, heat detectors, etc., as required by code, extended from the existing buildings fire alarm system.

5. We have met with representatives of Rust-Oleum, Pleasant Prairie regarding this project. In addition to the protection identified above, an explosion detector, using ultraviolet flame detectors in combination with thermal detectors will be installed in the new 'gas house'. In the event an incipient explosion is sensed, the detectors send a signal causing the suppressant (fine water fog) to be charged.

Rust-Oleum believes this should prevent or minimize the damage from such an explosion. We feel that Rust-Oleum is providing an above adequate level of protection with this system.

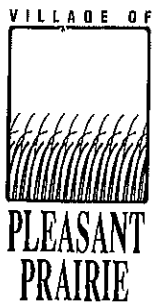
Plan review, Permits and Fees:

The plans for both the fire protection underground and aboveground must be submitted for review. A satisfactory review must be completed before permits will be issued.

Permits must be obtained for all underground mains that are used as part of the fire protection system, in addition to the aboveground sprinkler system. Permits must be obtained from the Fire & Rescue Department, prior to installing the underground fire mains and aboveground sprinkler protection.

The fee for review of the fire protection systems is due after we have reviewed the plans and before we will issue a permit. Work on the fire protection underground or aboveground cannot begin until a permit has been issued.

Fees also apply to the review of the annunciator panel, pull stations as well as smoke and or heat detection.



COPY

**VILLAGE OF PLEASANT PRAIRIE
CONDITIONAL USE GRANT NO. 03-03**

Before the Village of Pleasant Prairie Plan Commission,
Kenosha County, Wisconsin, in regard to the property
located at 8105 95th Street

Return to:
Village of Pleasant Prairie
9915 39th Avenue
Pleasant Prairie, WI 53158

Parcel Number:
92-4-122-212-0355-0

Legal Description:

See Attached for Legal Description


DOCUMENT NUMBER
1328698
RECORDED
At Kenosha County, Kenosha, WI 53140
Louise I. Principe, Register of Deeds
on 5/20/2003 at 7:59AM
30628464 \$29.00
KARP REGDEED3

29

WHEREAS, the Zoning Code and Zoning District Map of the Village of Pleasant Prairie, pursuant to State Statute, provides that the premises may not be used of right for the purpose hereinafter described but that upon petition such use may be approved by the Village of Pleasant Prairie as a Conditional Use in particular circumstances as defined by the standards in the Zoning Ordinance; and

WHEREAS, such petition having been made the installation of thermal oxidizer and the interior relocation of the maintenance shop at Rust-Oleum Corporation as described in **Exhibit 1** located at 8105 95th Street in LakeView Corporate Park, and public hearing held thereon, and the Village Plan Commission having determined that by reason of the particular nature, character and circumstances of the proposed use, and of the specific and contemporary conditions, grant of such use upon the terms and conditions hereinafter prescribed would be consistent with the requirements of the Zoning Ordinance. Specifically, based upon the information presented at the public hearing the project meets the following standards for granting a Conditional Use Permit including Site and Operational Plan for the specified project in that the project:

- does not impede the traffic patterns on the site or cause traffic congestion or traffic circulation problems and the traffic patterns on the site do not hinder, harm or distract the provisions of public services;
- does not impair an adequate supply of light and air to the adjacent properties;
- does not increase danger of fire--in so far as the danger of fire does not exceed the capabilities of the Village Fire and Rescue Department as shown in the **Exhibit 2**—comments dated December 17, 2002 and January 7, 2003;



- does not create storm water flooding or drainage, create obnoxious odors, problems or otherwise endanger the public health, safety or welfare;
- has no existing identified hazard, danger, harm, noxiousness, offensiveness, nuisance or other adversity or inconsistency that would endanger the public's health, safety or welfare related to the proposed use;
- the proposed and applied for use on this particular parcel is not inherently inconsistent with either the M-2, Heavy Manufacturing District in which it is located or the adjoining Zoning Districts or the industrial neighborhood; and
- the proposed and applied for use will comply with all applicable Village ordinance requirements and all other applicable Federal, State or local requirements relating to land use, buildings, development control, land division, environmental protection, sewer service, water service, storm water management, streets and highways and fire protection.

NOW THEREFORE, a Conditional Use Permit and including Site and Operational Plan approval is granted, subject to compliance with the terms and conditions hereinafter stated for the installation of thermal oxidizer and the interior relocation of the maintenance shop at Rust-Oleum Corporation on said property:

1. Compliance with the attached Village Fire & Rescue Chief's comments dated December 17, 2002 and January 7, 2003 (See Exhibit 2).
2. Comm 61.31 may require the Building and HVAC plans to be reviewed by the Department of Commerce. Comm 82.20 requires that the Plumbing plans also be reviewed by the Department of Commerce. Verify with the architect whether the plans need Dept. of Commerce review. All Building plans shall be designed in compliance with the Wisconsin Enrolled Commercial Building Code, and may need to be State Approved prior to submitting for building permits from the Village of Pleasant Prairie.
3. Article 700 of the National Electric Code and the Pleasant Prairie Fire & Rescue Department require that the exit and emergency lighting be on easily identifiable local lighting circuit(s), separate circuit(s) or other pre-approved circuit(s), so that when tested will not cause disruption or inconvenience.
4. This building is proposed as being protected by an automatic fire sprinkler system, which shall be reviewed and approved by the Village of Pleasant Prairie Fire & Rescue Department. All work requires Fire & Rescue Department review, approval, inspection and permit. In addition, the selection, location, installation and maintenance, of fire extinguishers, fire suppression and/or detection devices, and/or fire alarms require Fire & Rescue approval. Contact the Chief of the Pleasant Prairie Fire & Rescue Department at 262-694-8027.
5. Although State submittal is unnecessary for Lighting plans, the Village of Pleasant Prairie requires complete Lighting Plans to be submitted with the Electrical Permit application to assure compliance with Comm 63 energy requirements.
6. The owner/contractor shall obtain permits for Building, Plumbing, HVAC and Electrical from the Village prior to beginning work.
7. If the water main is to serve both domestic and fire protection combined, the plans will need Comm approval and Village Fire & Rescue Department approval prior to obtaining permits or commencing work.

8. Per Comm 61.50 (4). The architect(s)/professional engineer(s) shall submit to the State the compliance statement(s) (SBD 9720), covering Building, HVAC and Lighting, prior to the final inspection. A copy of the compliance statement(s) shall be submitted the Village prior to the building being occupied.
9. A copy of the approved plans and letters must be on site during the construction process and to complete the final inspection for occupancy. **Occupancy will not be permitted in absence of these items.**
10. **The installation of a replacement thermal oxidizer shall be considered as a maintenance issue. A commercial electrical permit is required.**
11. **A Commercial application and related materials shall be submitted to the Village for review and issuance of required permits.**
12. For purposes of drawing a building permit, a site and operational plan approval shall be effective for a period of 180 days from the date of written notification of the decision to the applicant. If permits are not issued within said 180 days the Site and Operational Plan approval shall be void.
13. No building permit shall be issued by the Community Development Department until site and operational plan approval has been granted, and until all conditions precedent set forth in the approval have been satisfied, and until the final plans have been fully signed as required. (Note that the Chief of the Village Fire & Rescue Department has review and approval authority with respect to matters relating to fire protection, independent of the Community Development Department, pursuant to Chapter 5 of the Village Municipal Code. In a situation where review of a signage plan and/or landscaping plan has been deferred pursuant to Subsection 12.11-05(g) of the Village Zoning Ordinance no permit relating to signage and/or landscaping, respectively, shall be issued until approval of the deferred plan has been granted, and until all conditions precedent set forth in such approval have been satisfied, and until the final plan has been fully signed as required by Subsection 12.11-05(h), of the Village Zoning Ordinance.
14. No changes to the exterior site or building conditions shall be made without the Village's approval. In addition, any addition, alteration, extension, expansion, repair or other proposed change in the approved operation shall be subject to the Village's Conditional Use procedures as if such use were being established anew.
15. The Conditional Use Grant shall become effective upon the execution and recording of said document and shall constitute an effective covenant running with the land.
16. The Conditional Use Grant is subject to amendment and termination in accordance with the provisions of the Village Zoning Ordinance.
17. Construction and operation of the use granted shall be in strict conformity to the approved plans filed in connection with the petition for this permit. Violations of these conditions may result in the revocation of the conditional use permit or zoning violation prosecution, or both.

Legal Description


Parcel 1 of CSM 1203, a re-division of a part of CSM 482, located in a part of the Northwest One Quarter of U.S. Public Land Survey Section 21 Township 1 North Range 22 East of the Fourth Principal Meridian lying and being in the Village of Pleasant Prairie, County of Kenosha, State of Wisconsin.

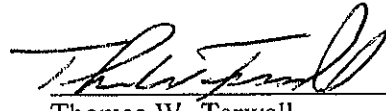
Commencing at the North $\frac{1}{4}$ corner of said Section 21, running thence S $2^{\circ} 49' 19''$ E and along the East line of said $\frac{1}{4}$ section 1303.24 feet to a point in the centerline of 95th Street (C.T.H. "T"); thence S $89^{\circ} 00' 44''$ W and along said centerline, 150.08 feet to the place of beginning of the following description;

Thence S $2^{\circ} 49' 19''$ E and parallel to the East line of said $\frac{1}{4}$ section, 1150.59 feet; thence S $89^{\circ} 00' 44''$ W and parallel to the centerline of 95th Street (C.T.H. "T"), 1135.22 feet; thence N $0^{\circ} 59' 16''$ West and at right angles to the aforesaid line, 1150.00 feet to a point in the centerline of said 95th Street; thence N $89^{\circ} 00' 44''$ E and along the centerline of said 95th Street, 1098.40 feet to the place of beginning.

Granted by the action of the Village of Pleasant Prairie Plan Commission the 10th day of February 2003.

ATTEST:

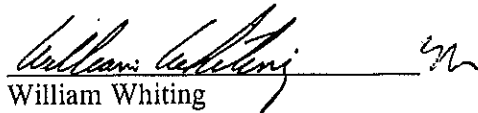

Donald Hackbart
Secretary


Thomas W. Terwall
Plan Commission Chairman

OWNER: Rust-Oleum Corporation



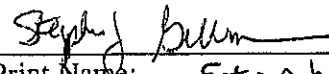



William Whiting
Senior Vice President

ACKNOWLEDGMENT

STATE OF ~~WISCONSIN~~ ILLINOIS
LAKE SS
~~KENOSHA~~ COUNTY)

Personally came before me this 27 day of February, 2003, the above named to me known to be the person (William Whiting, Senior Vice President) who executed the foregoing instrument and acknowledge the same.


Print Name: Stephen Gillmann
Notary Public, ~~Kenosha County, WI~~
My Commission expires: 10-17-06

THIS INSTRUMENT WAS DRAFTED BY:

Jean M. Werbie, Community Development Director
Village of Pleasant Prairie
9915 39th Avenue
Pleasant Prairie, Wisconsin 53158

Item 1: Thermal Oxidizer

Installation of a Thermal Oxidizer on a concrete pad located outside and adjacent to our warehouse building. This new installation replaces our existing volatile organic compound (VOC) emissions control system. Currently, passing our process exhaust ventilation through a carbon adsorption system controls our VOC emissions. This system is in operation and performing its design function. However, it will require major work in the near future to continue performing this function. It is therefore being replaced.

The Wisconsin Department of Natural Resources (WDNR) has been contacted by letter concerning this replacement. Subsequent telephone conversations confirmed that a State Operating or Construction Permit is not required. This system does not reduce our control of VOC emissions. The WDNR requires a twenty business day advance notice prior to performing a VOC destruction efficiency performance test. The test will be performed following installation and functional testing of the oxidizer. The tests are completed in accordance with Environmental Protection Agency test criteria.

No changes to the grading and drainage, exterior plant lighting, signage, or Industrial/Commercial waste survey are involved with this work. The equipment is skid mounted and to be installed on new concrete pad located in the back section of our property. The area is currently asphalt paved. This installation will not be visually unpleasant from any roadway or neighboring industrial properties. The oxidizer creates no odors. The oxidizer converts VOC air pollutants into carbon dioxide and water that become part of the total exhaust air flow from the plant. The natural gas burner and fuel train assemblies incorporate a fully approved gas valve/safety train. No additional employees will be added for operation of the new equipment. No change to the basic operation of the facility is involved.

Item 2: Relocation of the existing maintenance shop.

The maintenance shop will be moved to a more centralized location inside the building. The maintenance office and clean work area is a 20 foot x 40 foot fully sprinkled building within our warehouse. The work shop area also in the warehouse and adjacent to this office will be walled and steel fenced without a roof. All of the changes are located inside of our existing facility and have no effect on site grading and drainage, exterior plant lighting, signage, or Industrial/Commercial waste survey. The functions performed by maintenance will not change. No additional employees will be added as a result of this shop relocation.

The existing maintenance shop area vacated will be used for the production of water based paint products containing no VOCs. Two to three people may be added to our work force to support this operation. No change to our State Operating Permit is required.



Exhibit 2

VILLAGE STAFF MEMORANDUM

TO: Jean Werbie, Community Development Director

FROM: Paul G. Guilbert, Jr., Chief, Fire and Rescue Department

CC: Lt. Thomas Clark, Fire and Rescue Department

SUBJECT: Review of Rust-Oleum Office Addition

DATE: 17 December 2002

The facility is located at NE corner of 116th Street and 88th Avenue. The total square footage will be 250,366 sq. ft.

The Facility is classified under Wisconsin Administrative Code, Wisconsin Enrolled Commercial Building Code

The Fire and Rescue Department will be responsible for providing fire prevention inspections of this facility, twice annually.

The concerns of the Fire and Rescue Department are as follows:

1. The owner states the building will be fully protected by fire sprinklers, in accordance with NFPA 13.
2. **Stairway:** The underside of the stairway shall be protected by fire sprinklers or sealed off to prevent using as a storage space.
3. **Exit Distance:** Exit distance shall be maintained in accordance with current code.



VILLAGE STAFF MEMORANDUM

TO: Jean Werbie, Community Development Director

FROM: Paul G. Guilbert, Jr., Chief, Fire and Rescue Department

CC: Lt. Thomas Clark, Fire and Rescue Department

SUBJECT: Review of Rust-Oleum Thermal Oxidizer Project

DATE: 7 January 2003

The concerns of the Fire and Rescue Department are as follows:

1. **Installation:** The unit must be installed per all applicable codes, and Factory Mutual recommendations.
2. **Safety Devices:** All appropriate safety devices must be in place and tested, i.e. Excess Temperature Limit Controller
3. **Final Inspection:** The General Contractor shall provide the following documentation at the time the Final Inspection takes place and before a building occupancy certificate will be issued.
 - Copies of the test certificates.
 - The Pleasant Prairie Fire and Rescue Department shall have all information needed for our pre-fire plan.
4. **Occupancy:** All fire and life safety requirements must be in place prior start up of this equipment.

Fire and Rescue Department Review and Comments:

4. **Plan Review, Permits and Fees:** The plans for the fire protection underground, aboveground and fire alarm system must be submitted for review. The Village will use an independent fire safety consultant for the review of all fire protection plans submitted. A satisfactory review must be completed before any permits will be issued.
5. **The following Fees and Permits are generated directly from the Fire & Rescue Department.**

Bulk Water

Water Usage

Fire Protection Plans for Underground and Aboveground

Fire Alarm System Plans

Kitchen Hood System Plans

6. An invoice for permit fees will be issued upon achieving a satisfactory review. Work cannot begin until all permits have been issued. A typical review turnaround is three weeks.
7. **Required Licenses:** A Wisconsin licensed fire protection contractor and Wisconsin licensed sprinkler fitters must install underground fire mains and aboveground fire protection. Periodic inspections of the job site will be made by fire inspectors to assure compliance.
8. **Fire Extinguishers:** Shall meet NFPA 10 (Portable Fire Extinguishers) for the specific use of the building and be in sufficient number. Final approval, of fire extinguisher locations and quantity, will not be given until occupancy is taken, to see how a tenant furnishes the space. The company providing the fire extinguishers shall submit a letter to the Fire and Rescue Department stating the locations and size of the extinguishers are in compliance with NFPA 10.
9. **Emergency and Exit Lighting:** In addition to required Exit lighting, Emergency Lighting shall be provided. Combination units are acceptable and recommended. Both the Exit and Emergency Lighting shall have battery back-up. Exit and Emergency Lighting shall not be placed on electrical circuits that cannot be disturbed or interrupted, this is for test purposes. These circuits shall be clearly labeled.

10. Final Inspection: The General Contractor shall provide the following documentation at the time the Final Inspection takes place and before a building occupancy certificate will be issued.

- The fire protection contractor shall provide the owner with a letter (upon completion of the sprinkler work) stating the sprinkler system, or portion thereof, is "100% operational and built according to the design", Village Ordinance, 5.16(10).
- Copies of the fire sprinkler operational test certificates.
- The Pleasant Prairie Fire and Rescue Department shall have all information needed for our pre-fire plan prior to occupancy.

11. Occupancy: All fire and life safety requirements must be in place prior to this building being occupied.



Exhibit 8



DOCUMENT

1520438

RECORDED
At Kenosha County, Kenosha, WI 53140
Louise J. Princiolo, Register of Deeds
on 5/11/2007 at 2:15PM
70019977 \$27.00

JOES

REGDEED3

**VILLAGE OF PLEASANT PRAIRIE
CONDITIONAL USE GRANT NO. 07-01**

Before the Village of Pleasant Prairie Plan Commission,
Kenosha County, Wisconsin, in regard to the property
located at 8105 95th Street.

Return to:

Village of Pleasant Prairie
9915 39th Avenue
Pleasant Prairie, WI 53158

Tax Parcel Numbers:

92-4-122-212-0355

27

Legal Description: CSM #1203 located in a part of the Northwest One Quarter of U.S. Public Land Survey Section 21, Township 1 North, Range 22 East of the Fourth Principal Meridian, lying and being the Village of Pleasant Prairie, Kenosha County, Wisconsin.

WHEREAS, the Zoning Code and Zoning District Map of the Village of Pleasant Prairie, pursuant to State Statute, provides that the premises may not be used of right for the purpose hereinafter described but that upon petition such use may be approved by the Village of Pleasant Prairie as a Conditional Use in particular circumstances as defined by the standards in the Zoning Ordinance; and

WHEREAS, such petition having been made for the construction of an addition to the Rust-Oleum facility, and public hearing held thereon, and the Village Plan Commission having determined that by reason of the particular nature, character and circumstances of the proposed use, and of the specific and contemporary conditions, grant of such use upon the terms and conditions hereinafter prescribed would be consistent with the requirements of the Zoning Ordinance. Specifically, based upon the information presented at the public hearing the project meets the following standards for the granting a Conditional Use Permit for the specified project in that the project:

- does not impede the traffic patterns on the site or cause traffic congestion or traffic circulation problems and the traffic patterns on the site do not hinder, harm or distract the provisions of public services;
- does not impair an adequate supply of light and air to the adjacent properties;
- does not increase danger of fire--in so far as the danger of fire does not exceed the capabilities of the Village Fire & Rescue Department as shown in the attached comments dated March 16, 2007 from the Village Fire Chief;
- does not create storm water flooding or drainage, create obnoxious odors, problems or otherwise endanger the public health, safety or welfare;
- has no existing identified hazard, danger, harm, noxiousness, offensiveness, nuisance or other adversity or inconsistency that would endanger the public's health, safety or welfare related to the proposed use;
- the proposed and applied for use on this particular parcel is not inherently inconsistent with either the M-2 - Heavy Manufacturing District in which it is located

- or the surrounding industrially zoned districts and surrounding neighborhood; and
- the proposed and applied for use will comply with all applicable Village ordinance requirements and all other applicable federal, state or local requirements relating to land use, buildings, development control, land division, environmental protection, sewer, water, and storm water services, streets and highways and fire protection.

NOW THEREFORE, a Conditional Use Permit is granted, subject to compliance with the terms and conditions hereinafter stated for the construction of a 3,320 square foot addition to be used for testing new products with proper temperature and humidity controls, and to re-route the emergency access roadway to accommodate the addition:

1. Continued compliance with all previously approved, valid Conditional Use Permits pertaining to this property as on file with the Village.
2. Compliance with the **attached** Village Fire & Rescue Department Chief's comments dated March 16, 2007.
3. **Subject to the following comments from the Village Building Inspector:**
 - a. All building, plumbing, and HVAC plans will need to be designed to the Wisconsin Enrolled Commercial Building Code and be State Approved prior to submitting (2 sets) for building permits from the Village of Pleasant Prairie.
 - b. As of September 1, 2000 Lighting plans are no longer reviewed at the state level. However, the Village will continue to review plans. The Lighting Worksheets L-1 through L-5 are required for municipal level review.
 - c. Comm 52.24 requires that this building be provided with a separate room or designated space within or adjacent to the building for the separation, temporary storage and collection of recyclable materials likely to be generated by the building occupants/ operations.
 - d. Halls, corridors, stairways, passageways, work aisles and other means of egress shall have emergency lighting and exit lighting per Article 700 of the NEC, Comm 16.46, 51.15(5), and 55.11. The Village Fire and Rescue Department should be contacted for further information and requirements. Contact Chief Paul Guilbert at 262-694-8027.
 - e. Complete erosion control measures shall be installed per Wisconsin Construction Site Best Management Practice Handbook and be inspected within 24 hours of any land disturbing activity.
 - f. This parcel and building must comply with all requirements of Comm 69 Barrier-Free Design.
 - g. The architect(s)/ professional engineer(s) shall submit, to the Village and State, the compliance statement, Form SBD 9720, **prior to the final inspection with the Village Buildings and Fire departments.**
 - h. Building plans will need to show detail on fire stopping of all penetrations through fire rated walls and fire separation walls as required by emergency rule that took affect on January 28, 1998.
 - i. Sprinkler plans are required to be submitted to, and reviewed by the Village Fire and Rescue Department.
 - j. Any and all fire alarm installations require plan review and permit from the Village of Pleasant Prairie Fire and Rescue Department.
 - k. This plan was approved by the Village Engineer to discharge the roof storm water to the adjacent surface.

4. No changes shall be made without the Village's approval. In addition, any addition, alteration, extension, expansion or other proposed change in the approved operation shall be subject to the Village's Conditional Use procedures as if such use were being established anew.
5. Construction and operation of the use granted shall be in strict conformity to the approved plans filed in connection with the petition for this permit. Violations of these conditions may result in the revocation of the conditional use permit or zoning violation prosecution, or both.
6. All plans shall conform to applicable Village ordinance requirements, and to all other applicable local, state and federal requirements relating to land use, buildings, development control, land division, environmental protection, sewer service, water service, storm water management, streets and highways and fire protection; and in the event of conflicting requirements or standards, the most restrictive shall apply.
7. No use shall be conducted in such a way as to constitute a public or private nuisance or to violate any of the performance standards set out in Section 12.12 of the Village Zoning Ordinance.
8. All buildings, structures, site improvements and sites shall be maintained in a safe, structurally sound, neat, well-cared-for and attractive condition.
9. The Conditional Use Grant shall become effective upon the execution and recording of said document and shall constitute an effective covenant running with the land. The Conditional Use Grant is subject to amendment and termination in accordance with the provisions of the Village Zoning Ordinance. Construction and operation of the use granted shall be in strict conformity to the approved plans filed in connection with the petition for this permit. Violations of these conditions may result in the revocation of the conditional use permit or zoning violation prosecution, or both.
10. If building permits are not issued within said 180 days the Site and Operational Plan approval said approval shall be void.

Granted by the action of the Village of Pleasant Prairie Plan Commission this 9th day of April 2007.




Thomas W. Terwall
Plan Commission Chairman

ATTEST:



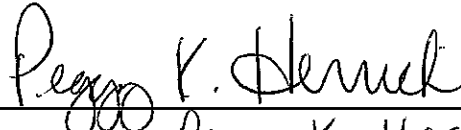
Donald Hackbarth
Secretary

OWNERS: Rust-Oleum Corporation


Herman Bacchus
Title: VICE PRESIDENT

ACKNOWLEDGMENT
STATE OF WISCONSIN)
SS
KENOSHA COUNTY)

Personally came before me this 12th day of April, 2007, the above named signatory to me known to be the person (**Herman Bacchus**) who executed the foregoing instrument and acknowledge the same.



Print Name: Peggy K. Herrick
Notary Public, Kenosha County, State of WI
My Commission expires: 2-7-10

THIS INSTRUMENT WAS DRAFTED BY:

Jean M. Werbie, Community Development Director
Village of Pleasant Prairie
9915 39th Avenue
Pleasant Prairie, Wisconsin 53158

-VILLAGE STAFF MEMORANDUM

TO: Jean Werbie, Community Development Director
FROM: Paul G. Guilbert, Jr., Chief, Fire & Rescue Department
CC: Lt. Thomas Clark, Fire & Rescue Department

SUBJECT: Review of the Site and Operational Plan for an addition to the Rust-Oleum Building, 8105 95th Street.

DATE: March 16, 2007

Rust-Oleum currently manufactures and warehouses paint at the facility identified above. This is a review of the Site and Operational Plan for the proposed addition of 3,320 square feet that be attached to the southeast corner of the existing building. The new area will be used for the further research and development of concrete type coatings. Rust-Oleum has indicated that the existing fire suppression system will be extended to include this addition.

The Facility is classified under Wisconsin Administrative Code, Wisconsin Enrolled Commercial Building Code.

The Fire & Rescue Department will be responsible for providing fire prevention inspections of this facility, twice annually. The concerns of the Fire & Rescue Department are as follows:

1. **Exit distance**, the addition will be to include an existing exterior exit door. **The addition shall not adversely effect the exit requirements of the existing building.**
2. **Fire Lane:** The existing fire lane will be moved slightly to the east, it is proposed that the width will remain as is, 30 feet.
3. **Fire Suppression Systems:** Fire suppression systems applicable to the products being handled within this area, shall be installed. It is proposed that both solid and water based products will be found within this area.
4. **Compliance:** A letter shall be submitted to the Fire & Rescue Department prior to receiving a building permit, stating that the project will comply with all requirements addressed within this document.
5. The building shall be constructed in accordance with the State of Wisconsin, COMM. 61, The IBC as Modified by Chapter COMM 62, The IECC as Modified by Chapter COMM 63, The IMC as Modified by Chapter COMM 64, The IFC as Modified by Chapter COMM 65, and in particular those items that pertain to fire protection and life safety.

- 6. In the event a conflict in code(s) is identified, or a conflict with the insurance carrier criteria occurs, the more stringent shall apply. In the event this conflicts with any codes adopted by the State of Wisconsin, the owner must petition the State directly for a variance. The Owner must demonstrate that they will provide materials or design equivalent to the code or that they will exceed the code when petitioning the State.

Upon review of the plans submitted, we have the following concerns:

- Fire hydrants: Are currently in place and may be affected by the relocation of the fire lane, if this is the case the spacing shall remain as is. Fire hydrants shall always be visible and accessible, in particular in any area where trailer trucks will be parked or staged.
- Truck staging shall not decrease the width of the fire lanes.

7. Fire and Rescue Department Review and Comments:

A. Site and Operational Permits

- | | |
|-------------------------|------------------|
| 1. Site accessibility | Shown |
| 2. Fire hydrant spacing | Not shown |

B. Conditional Use and Operational

- | | |
|--------------------------------|------------------|
| 1. Fire alarm pull stations | Not shown |
| 2. Emergency and Exit Lighting | Not shown |
| 3. Fire extinguishers | Not shown |

- 8. **Plan Review, Permits and Fees:** The plans for the fire protection underground (when applicable), aboveground and fire alarm system shall be submitted for review a minimum of four (4) weeks before installation is scheduled to begin. The Village will use an independent fire safety consultant for the review of all fire protection plans submitted. A satisfactory review must be completed before any permits will be issued and before construction can begin.

9. The following information must be submitted with the sprinkler plans for review:

- Building height:
- Number of stories/floors:
- Mezzanines:
- Clear space:
- Elevators:
- Hazard class:
- Commodity:
- Maximum storage height:

Square footage, office space:
Square footage, Manufacturing including maintenance and equipment:
Square footage, receiving space:
Square footage, shipping space:
Square footage, warehouse space:
Exterior storage:
Fire protection:

10. The following Fees and Permits are generated directly from the Fire & Rescue Department.

- Bulk Water
- Water Usage
- Fire Protection Plans for Underground and Aboveground
- Fire Alarm System Plans
- Kitchen Hood Systems Plans

An invoice for permit fees will be issued upon achieving a satisfactory review. Work cannot begin until all permits have been issued. A typical review turnaround is four weeks.

11. Required Licenses: A Wisconsin licensed fire protection contractor and Wisconsin licensed sprinkler fitters must install underground fire mains and aboveground fire protection. Periodic inspections of the job site will be made by fire inspectors to assure compliance.

12. Pre-Construction Meeting: A pre-construction meeting shall take place with the general contractor, the fire protection contractor, the Fire & Rescue Department and any other sub-contractor prior to the installation of any underground fire protection. The purpose of this meeting is to assure that the requirements of the State of Wisconsin that only a Wisconsin licensed sprinkler fitter shall perform the installation of all devices, etc. All parties will be asked to initial this document and or permit. Any violation of the installing requirements will be reported in writing to the State of Wisconsin Department of Commerce.

13. Site Access: The current fire lane will remain.

- a. All exterior exit pathways as well as access to the Sprinkler Riser Room shall have a hard surface, leading to a hard surface.
- c. All exterior personnel doors shall be exit to a hard surface and continue that pathway to a larger paved surface.

14. Sprinkler System: The addition will be equipped with an "automatic fire

sprinkler system". The systems shall be designed and constructed to the current edition of NFPA 13, Automatic Fire Sprinklers and the Village of Pleasant Prairie Ordinance 180-16, Automatic Fire Sprinklers.

- **Storage:** The Owner must be aware of the restrictions that apply to the storage of pallets, cardboard, finished products, etc. Maximum height, width and aisle ways must be maintained and will be enforced. The same concerns apply to the storage of large quantities of combustibles (plastics, plastic wrap and cardboard) such as those used in packaging and storage.
15. **Plan Review (Underground):** A review of the underground drawings is required along with the fire protection drawings before a permit will be issued by the Fire & Rescue Department. Underground plans shall be submitted a minimum of four (4) weeks before installation begins.
 16. **Fire Hydrants:** Are currently in place and shall remain at the current spacing. The distance from the finished grade line to the lowest discharge shall be no less than 18 inches and no more than 23 inches and of sufficient height where typical snow fall or snow removal operations will not obstruct access.
 17. **Strobe Light:** In the event a new sprinkler riser is constructed, a strobe light shall be provided for that riser and installed vertically above the sprinkler water flow bell. The strobe light shall operate for a sprinkler water flow. The lens color shall be RED. The strobe light shall meet Village specifications as found in section 180-16 K of the Sprinkler Ordinance.
 18. **Fire Alarm System:** The system shall be extended to the new addition and shall include as a minimum pull stations and audiovisual devices.
 - a. **Pull Stations and Audiovisual Alarms:** Shall be installed per ADA requirements.
 - b. **Smoke and Heat Detection:** Shall be installed as required.
 - c. **Tamper Switches:** Tamper switches shall be placed on all sprinkler valves and be identified on the annunciator panel.
 19. **Fire Detection/Suppression:** Systems shall be applicable to the addition.
 20. **Knox Box:** One (1) Knox Box shall be provided for the building. The Knox Box shall be Model 4400. Two sets of all keys (Master, fire alarm pull station, annunciator, elevator, etc.) shall be placed within the box, as well as a copy of the pre-fire plan.
 21. **Fire Extinguishers:** Shall meet NFPA 10 (Portable Fire Extinguishers)

for the specific use of the building and be in sufficient number. Final approval, of fire extinguisher locations and quantity, will not be given until occupancy is taken, to see how a tenant furnishes the space. The company providing the fire extinguishers shall submit a letter to the Fire & Rescue Department stating the locations and size of the extinguishers are in compliance with NFPA 10.

- 22. Emergency and Exit Lighting:** Exit and Emergency Lighting shall be provided and shall have battery backup. Combination units are acceptable and recommended. An Emergency Generator eliminates the need for battery backup. Exit and Emergency Lighting shall not be placed on electrical circuits that cannot be disturbed or interrupted, this is for test purposes. These circuits shall be clearly labeled. The Fire & Rescue Department will evaluate this lighting prior to occupancy during the evening hours after sunset.
- 23. Final Inspection:** The General Contractor shall provide the following documentation at the time the Final Inspection takes place and before a building occupancy certificate will be issued.
- a. A Fire & Rescue Department final occupancy inspection fee will apply to this project.
 - b. The fire protection contractor shall provide the owner with a letter (upon completion of the sprinkler work) stating the sprinkler system, or portion thereof, is "100% operational and built according to the design", Village Ordinance, 180-16 N.
 - c. Copies of the fire protection underground flushing documents, if applicable.
 - d. Copies of the underground and fire sprinkler hydrostatic test certificates.
 - e. Copies of the fire sprinkler operational test certificates.
 - f. Copies of the fire alarm test documents.
 - g. Copies of other test documents such as, hood/duct, smoke, etc...
 - h. All information needed for our pre-fire plan prior to occupancy.
 - i. Provide two- (2) CD's, one for the property owner and one for the Fire & Rescue Department. The disks shall include all Floor plans and fire protection plans for the building in an as-built condition. The disks shall be in AutoCAD rev 14 format.
 - j. Maps of the fire alarm and fire sprinkler system shall be placed in the fire pump room, near the fire alarm control panel, the maps shall be hung on the wall, with a waterproof covering and accessible to firefighters wearing bulky clothes and equipment.
- 24. Occupancy:** All fire and life safety requirements must be in place prior to any building being occupied.



**VILLAGE OF PLEASANT PRAIRIE
CONDITIONAL USE GRANT NO. 12-07**

Before the Village of Pleasant Prairie Plan Commission,
Kenosha County, Wisconsin, in regard to the property
located at 8105 95th Street.



DOCUMENT
1697943

RECORDED
At Kenosha County, Kenosha WI 53140
JoEllyn H. Storz, Register of Deeds
March 25, 2013 2:33 PM
\$38.00
Pages 6

Return to:

Village of Pleasant Prairie
9915 39th Avenue
Pleasant Prairie, WI 53158

Tax Parcel Number:

92-4-122-212-0355

Legal Description: CSM 1203 (document # 803842) located in the Northwest One Quarter of U.S. Land Survey Section 21, Township 1 North, Range 22 East in the Fourth Principal Meridian, lying and being in the Village of Pleasant Prairie, Kenosha County Wisconsin.

WHEREAS, the Zoning Code and Zoning District Map of the Village of Pleasant Prairie, pursuant to State Statute, provides that the premises may not be used of right for the purpose hereinafter described but that upon petition such use may be approved by the Village of Pleasant Prairie as a Conditional Use Grant in particular circumstances as defined by the standards in the Zoning Ordinance; and

WHEREAS, such petition having been made to install a new aerosol spray-paint filling equipment that includes the installation of a 192 square foot pre-fabricated structure that will house the required equipment that adds propellant to the cans outside in the rear of the facility and public hearing held thereon, and the Village Plan Commission having determined that by reason of the particular nature, character and circumstances of the proposed use, and of the specific and contemporary conditions, that the grant of such use upon the terms and conditions hereinafter prescribed would be consistent with the requirements of the Zoning Ordinance. Specifically, based upon the information presented at the public hearing, and in particular the memorandum from the Village Fire & Rescue Department, the project meets the following standards for granting a Conditional Use Permit in that the project/use:

- The project does not impede the traffic patterns on the site or cause traffic congestion or traffic circulation problems and the traffic patterns on the site do not hinder, harm or distract the provisions of public services.
- The project does not impair an adequate supply of light and air to the adjacent properties.
- The project does not increase danger of fire.
- The project does not create storm water flooding or drainage, create obnoxious odors, problems or otherwise endanger the public health, safety or welfare.
- There are no existing identified hazard, danger, harm, noxiousness, offensiveness, nuisance or other adversity or inconsistency that would endanger the public's health, safety or welfare related to the proposed use.

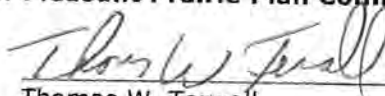
- The proposed and applied for use on this particular parcel is not inherently inconsistent with the Manufacturing Districts in which it is located or the adjoining zoning districts and land uses.

NOW THEREFORE, a Conditional Use Permit is granted, subject to compliance with the terms and conditions hereinafter stated to install a new aerosol spray-paint filling equipment which includes the installation of a 192 square foot pre-fabricated structure that will house the required equipment that adds propellant to the cans outside in the rear of the facility located on said property.


1. Continued compliance with all previously approved, valid Conditional Use Permits pertaining to this property recorded at the Kenosha County Register of Deeds Office.
2. Compliance with the **attached** Village Fire & Rescue Department Chief's comments dated October 3, 2012.
3. Compliance with the existing Wisconsin Department of Natural Resources Air Quality Permit.
4. The following the Village Building Inspector comments:
 - a. All building, plumbing, lighting and HVAC plans will need to be designed to the IBC Codes, prior to submitting (4 sets) for building permits from the Village of Pleasant Prairie. Since the total cubic footage of the accessory structure is less than 100,000 cubic ft. this can be a Municipal review. All sub-contractors will be required to apply for permits.
 - b. Halls, corridors, stairways, passageways, work aisles and other means of egress from factories, offices and mercantile buildings shall have emergency lighting and exit lighting per Article 700 of the NEC, SPS 316.46. The Village Fire & Rescue Department must be contacted for further information and requirements. Contact Fire & Rescue Chief Doug McElmury at 262-694-8027.
 - c. The electrical contractor will be required to be licensed by the Village of Pleasant Prairie. The electrical contractor shall obtain a permit from the Village prior to beginning work. All contractors must be licensed or registered with the State of Wisconsin.
 - d. Any sprinkler plans and any fire alarm installations are required to be submitted to, and reviewed by the Village Fire & Rescue Department.
 - e. The architect(s)/ professional engineer(s) shall submit, to the Village and State, the compliance statement, Form SBD 9720, prior to the final inspection with the Village Building Inspection and Fire & Rescue Departments.
5. Construction and operation of the use granted shall be in strict conformity to the approved plans filed in connection with the petition for this permit. Violations of these conditions may result in the revocation of the conditional use permit or zoning violation prosecution, or both.
6. The property owner shall comply with all provisions of the Conditional Use Permit and Site & Operational Plan submittal, including compliance with the Village Performance Standards.
7. Operation of the use granted herein shall be in strict conformity to both plans and documents filed and approved in connection with the petition for Site and Operational Plan approval. Any violation of these conditions may result in the revocation of the approval or zoning violation prosecution, or both.

- 8. No use shall be conducted in such a way as to constitute a public or private nuisance or to violate any of the performance standards set out in Section 420-38 of the Village Zoning Ordinance.
- 9. All plans and the proposed and applied for use shall conform to applicable Village Ordinance requirements, and to all other applicable local, County, State and Federal requirements relating to land use, buildings, development control, land division, environmental protection, sewer service, water service, storm water management, noise, streets and highways and fire protection; and in the event of conflicting requirements or standards, the most restrictive shall apply.
- 10. This Conditional Use Grant shall become effective upon the execution and recording of said document and shall constitute an effective covenant running with the land.
- 11. The Conditional Use Grant is subject to amendment and termination in accordance with the provisions of the Village General Zoning and Floodplain/Shoreland Zoning Ordinance.

Granted by the action of the Village of Pleasant Prairie Plan Commission the 8th day of October 2012.


 Thomas W. Terwall
 Plan Commission Chairman

ATTEST:


 Donald Hackbart
 Secretary

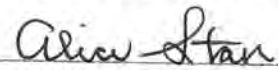
OWNER: RUST-OLEUM CORPORATION


 Bill Whiting
 Executive Vice President

ACKNOWLEDGMENT

STATE OF ILLINOIS
 SS
LAKE COUNTY)

This instrument was acknowledged before me in VERNON HILLS (city) 3
ILLINOIS (state), on this 7 day of FEBRUARY, 2012 by **Bill Whiting, Executive Vice President on behalf of Rust-Oleum Corporation.**


 Print Name: ALICE STARR
 Notary Public, LAKE County, LAKE COUNTY
 My Commission Expires: OCT. 3, 2015 IL.

THIS INSTRUMENT WAS DRAFTED BY:

Jean M. Werbie-Harris
 Community Development Director
 Village of Pleasant Prairie
 9915 39th Avenue
 Pleasant Prairie, Wisconsin 53158





Page 4
Office of the Village
Fire & Rescue Chief
Doug McElmury

VILLAGE STAFF MEMORANDUM

TO: Jean Werbie-Harris, Community Development Director
FROM: Doug McElmury, Chief Fire & Rescue Department
CC: Lt. Thomas Clark, Fire & Rescue Department
Peggy Herrick, Assistant Planner, Community Development
SUBJECT: Review of the Site and Operational Plan for the Rust-Oleum Spray Paint Filling Addition
DATE: October 3, 2012

This is a review of the Site and Operational Plan to install an aerosol spray paint filling room. The proposed addition is 192 square feet. The building is located at 8105 95th Street.

The Fire & Rescue Department will be responsible for providing fire prevention inspections of this facility, twice annually. The concerns of the Fire & Rescue Department are as follows:

1. **Distribution of Comments:** *the person who obtains the building permit to all Contractors and Subcontractors affected by this document shall distribute Copies of these comments. This document outlines critical times and deadlines. All recipients of this document need to become familiar with the contents.*
2. **Compliance:** A letter shall be submitted to the Fire & Rescue Department prior to receiving a building permit, stating that the project will comply with all requirements addressed within this document.
3. In the event a conflict in code(s) is identified, or a conflict with the insurance carrier criteria occurs, the more stringent shall apply. In the event this conflicts with any codes adopted by the State of Wisconsin, the owner must petition the State directly for a variance. The Owner must demonstrate that they will provide materials or design equivalent to the code or that they will exceed the code when petitioning the State and or Village when applicable.

Upon review of the plans submitted, we have the following concerns:

- This is a review of the Final Site and Operational plan, however, it is understood, that typical and customary fire protection features have not been shown on the plans, dated: September 6, 2012.
- Fire safety system plans, such as fire sprinkler and fire alarm plans, may need to be submitted to the State of Wisconsin Department of Safety and Professional Services and also to this fire department for review. No installation of any fire protection system is allowed until a satisfactory review is obtained from both departments.

The Fire & Rescue Department will be responsible for providing fire prevention inspections of this facility, twice annually. The concerns of the Fire & Rescue Department are as follows:

4. **Fire Suppression Systems:** Fire suppression systems applicable to the products being handled within this area, shall be installed.
5. **Plan Review, Permits and Fees:** The plans for the fire protection aboveground and fire alarm system shall be submitted for review a minimum of four (4) weeks before installation is scheduled to begin. The Village will use an independent fire safety consultant for the review of all fire protection plans submitted. A satisfactory review must be completed before any permits will be issued and before construction can begin.
6. **The following information must be submitted with the sprinkler plans for review:**
 - Building height:
 - Hazard class:
 - Commodity:
 - Fire protection:
7. **Sprinkler System:** The addition will be equipped with an "automatic fire sprinkler system". The systems shall be designed and constructed to the current edition of NFPA 13, Automatic Fire Sprinklers and the Village of Pleasant Prairie Ordinance 180-16, Automatic Fire Sprinklers.
 - **Storage:** The Owner must be aware of the restrictions that apply to the storage of pallets, cardboard, finished products, etc. Maximum height, width and aisle ways must be maintained and will be enforced.
8. **Fire Alarm System:** The system shall be extended to the new addition and shall include as a minimum pull stations and audiovisual devices.
 - a. **Pull Stations and Audiovisual Alarms:** Shall be installed per ADA requirements.
 - b. **Smoke and Heat Detection:** Shall be installed as required.
 - c. **Tamper Switches:** Tamper switches shall be placed on all sprinkler valves and be identified on the annunciator panel.
9. **Fire Detection/Suppression:** Systems shall be applicable to the addition.

10. **Fire Extinguishers:** Shall meet NFPA 10 (Portable Fire Extinguishers) for the specific use of the building and be in sufficient number. Final approval, of fire extinguisher locations and quantity, will not be given until occupancy is taken, to see how a tenant furnishes the space. The company providing the fire extinguishers shall submit a letter to the Fire & Rescue Department stating the locations and size of the extinguishers are in compliance with NFPA 10.
11. **Emergency and Exit Lighting:** Exit and Emergency Lighting shall be provided and shall have battery backup. Combination units are acceptable and recommended. An Emergency Generator eliminates the need for battery backup. Exit and Emergency Lighting shall not be placed on electrical circuits that cannot be disturbed or interrupted, this is for test purposes. These circuits shall be clearly labeled. The Fire & Rescue Department will evaluate this lighting prior to occupancy during the evening hours after sunset.
12. **Final Inspection:** The General Contractor shall provide the following documentation at the time the Final Inspection takes place and before a building occupancy certificate will be issued.
 - a. The fire protection contractor shall provide the owner with a letter (upon completion of the sprinkler work) stating the sprinkler system, or portion thereof, is "100% operational and built according to the design", Village Ordinance, 180-16 N.
 - b. Copies of the fire sprinkler hydrostatic test certificates.
 - c. Copies of the fire sprinkler operational test certificates.
 - d. Copies of the fire alarm test documents.
 - e. Copies of other test documents such as, hood/duct, smoke, etc...
 - f. The Pleasant Prairie Fire and Rescue Department shall have all information needed for our pre-fire plan prior to occupancy.
 - g. Provide two- (2) CD's, one for the property owner and one for the Fire & Rescue Department. The disks shall include all Floor plans and fire protection plans for the building in an as-built condition.
 - h. Occupancy inspection fee and re-inspection fee will be assessed at the final inspection in accordance with ordinance 180-17.
13. **Occupancy:** All fire and life safety requirements must be in place prior to any building being occupied.

- B. **PUBLIC HEARING AND CONSIDERATION OF A CONDITIONAL USE PERMIT INCLUDING SITE AND OPERATIONAL PLAN** for the request of William Whitting, on behalf of Rust-Oleum Corporation for the proposed acetone bulk tank expansion that includes the installation of two storage tanks, a tanker unloading pad, a utility room and a pump room that will be located outside on a concrete pad in the rear of the facility located at 8105 95th Street.

Recommendation:

Village staff recommends approval of Conditional Use Permit including Site and Operational Plans subject to the comments and conditions of the Village Staff Report of September 9, 2013.

VILLAGE STAFF REPORT OF SEPTEMBER 9, 2013

CONDITIONAL USE PERMIT INCLUDING SITE AND OPERATIONAL PLAN for the request of William Whitting, on behalf of Rust-Oleum Corporation for the proposed acetone bulk tank expansion that includes the installation of two storage tanks, a tanker unloading pad, a utility room and a pump room that will be located outside on a concrete pad in the rear of the facility located at 8105 95th Street.

PUBLIC HEARING COMMENTS:

As a part of the hearing record, the Village staff has compiled a listing of findings, exhibits and conclusions regarding the petitioner's request as presented and described below:

Findings of Fact

1. The petitioner is requesting a Conditional Use Permit including Site and Operational Plans for the proposed acetone bulk tank expansion that includes the installation of two storage tanks, a tanker unloading pad, a utility room and a pump room that will be located outside on a concrete pad in the rear of the facility located at 8105 95th Street. (See **Exhibits 1 and 2**).
2. The property is identified as CSM #1203 located in a part of U.S. Public Land Survey Section 21, Township 1 North, Range 22 East in the Village of Pleasant Prairie and further identified as Tax Parcel Number 92-4-122-212-0355.
3. Pursuant to the application (See **Exhibit 1**):
 - a. Rust-Oleum Corporation operates a paint manufacturing facility that produces a variety of both water-based and solvent-based coatings. The plant consists of several main production lines and the bulk raw material storage tank farm is used for liquid solvent and resin storage. The powder-based raw materials such as color pigments are stored in the receiving warehouse portion of the plant. The raw materials are mixed together in process tanks of varying sizes to produce finished paint product. The finished product is then filled and packaged on the plant's filling production lines. The finished product can be filled into half-pint cans, quart cans, 1-gallon cans, 5-gallon pails, or aerosol spray cans.
 - b. As a result of increased aerosol spray-paint production; Rust-Oleum has determined the need for additional acetone storage capacity in order to reduce the risk associated with "just-in-time" deliveries to the existing 12,000-gallon acetone storage tank T-116. A usage of 50,000-60,000 gallons per day of acetone is anticipated within the next five (5) years. Rust-Oleum has determined the most efficient and least costly storage arrangement to include the installation of two (2) new 30,000-gallon capacity aboveground storage tanks outside the existing plant. The tanks will be vertical, single-walled carbon steel tanks with a flat bottom and slight coned top. They will be 13'1" in diameter, 30'0" in straight side height and will be fabricated in accordance with UL 142. Railings will be approximately 3', which is 6" higher than the top of the tank. The existing building height is 32'0" above grade so the tank height will be very close to matching existing building height.
 - c. The storage tanks will sit on top of concrete pedestals within a poured concrete secondary containment system that is designed to hold 125% of the capacity of the largest tank. All joints will have chemical resistant water-stops

and will be sealed with chemical resistant caulk. There will be a drain at one end with a post indicator valve that will allow drainage of rainwater from the containment after it is tested by Rust-Oleum in accordance with their existing operating procedures. There will be a new tanker unloading area consisting of a concrete pad with the same chemical resistant water-stops and chemical caulking sealant. The tanker unloading pad will be separated from the tank farm containment with a dike wall and drain valve and it will be sized to hold 100% of the delivery vehicle capacity per State Code requirements. Drainage from the tanker unloading pad will be routed through the tank farm drainage system for storm water removal only. The tank farm will be located 84 feet from the existing plant and approximately 215 feet from the nearest property line. Standard hours of operation will be 24 hours a day, 7 days a week.

- d. Adjacent to the secondary containment structure, there will be a small pump room and a small utility room. The pump room will be used to house up to five (5) unloading and transfer pumps. It will be unheated, ventilated with 1 CFM supply and exhaust per Code, and will also be equipped with fire protection. The Utility Room will be heated and unventilated, equipped with fire protection, and will be used for the incoming fire protection piping and for the electrical power supply and control panel. The height of the pump room and utility room will be 14'-10" above grade. There will be seven (7) pipe support stanchions between the Pump Room and the existing plant with two (2) 3" carbon steel pipes for acetone, room for two (2) future pipelines, and **conduits for controls and power supply, and a 2½"-3" pipe for the dry pipe sprinkler system.** Piping and conduits will be painted white along with the pipe stanchions so that they blend in and closely match the existing building.
- e. The size of the existing facility including the new charging room is 253,192 square feet. The new Tank Farm secondary containment structure is 2,448 square feet. The Pump Room is 322 square feet and the Utility Room is 140 square feet.
- f. The facility standard hours of operation are 24 hours per day, broken into four (4) shifts, seven (7) days per week. Deliveries can occur during any of these hours of operation and will increase from two (2) deliveries per day for Acetone, up to four (4) to five (5) deliveries per day when full production is achieved.
- g. Start-up of the acetone bulk tank expansion is anticipated at the end of November, 2013. There are currently 230 full-time employees for the entire facility. Additional staff is not anticipated for this project.
- h. The maximum number of employees in the entire plant at any given time including all of the 1st shift R&D employees and all of the production staff at shift change is about 170 employees.
- i. Acetone deliveries will increase from an average of two (2) deliveries per day to a maximum of four (4) to five (5) deliveries per day.
- j. No additional parking spaces will be required. As there will be no significant change in their operations, the vehicular traffic of any type to and from the facility will be unchanged.
- k. Security for the new buildings and tank farm will be incorporated into our existing automated fire alarm system that protects the existing building and the entire property is surrounded by a six (6) foot high chain-linked fence and security cameras monitor the entrances and critical interior operations.

- h. As previously discussed, Rust-Oleum proposes to install new aerosol spray-paint can filling equipment that includes the installation of a 320 square foot pre-fabricated structure that will be located outside on a concrete pad in the rear of the facility located at 8105 95th Street. The structure will house the required equipment that adds propellant to the cans.
6. Notices were sent to adjacent property owners via regular mail on August 13, 2013 and notices were published in the Kenosha News on August 26, and September 2, 2013.
7. The petitioner was e-mailed a copy of this memo on September 6, 2013.
8. According to the Article XVIII of the Village Zoning Ordinance, the Plan Commission shall not approve a Conditional Use Permit unless they find after viewing the findings of fact, the application and related materials that the project as planned, will not violate the intent and purpose of all Village Ordinance and meets the minimum standards for granting of a Conditional Use Permit. Furthermore, the Plan Commission shall not approve any site and operational plan application without finding in the decision that the application, coupled with satisfaction of any conditions of approval, will comply with all applicable Village ordinance requirements and all other applicable Federal, State or local requirements relating to land use, buildings, development control, land division, environmental protection, sewer service, water service, noise, storm water management, streets and highways and fire protection.

Village Staff Conclusions and Recommendation: (to be read out loud)

The Village staff has determined that based upon the foregoing information presented in the application, at the public hearing and the memorandum from the Fire & Rescue Department that the project meets the following standards for granting a Conditional Use Permit and Site and Operational Plan approval in that the project:

- The project does not impede the traffic patterns on the site or cause traffic congestion or traffic circulation problems and the traffic patterns on the site do not hinder, harm or distract the provisions of public services.
- The project does not impair an adequate supply of light and air to the adjacent properties.
- The project does not increase danger of fire, in so far as the danger of fire does not exceed the capabilities of the Village Fire & Rescue Department provided the comments of the September 5, 2013 memo from the Village Fire & Rescue Department are satisfied.
- The project does not create storm water flooding or drainage, create obnoxious odors, problems or otherwise endanger the public health, safety or welfare.
- There are no existing identified hazard, danger, harm, noxiousness, offensiveness, **nuisance or other adversity or inconsistency that would endanger the public's health, safety or welfare** related to the proposed use.
- The proposed and applied for use on this particular parcel is not inherently inconsistent with the M-2, General Manufacturing District in which it is located or the adjoining zoning districts and land uses.

Based on the foregoing information, the Village staff recommends that if the Plan Commission determines that the petitioner has met the specific standards for granting of a Conditional Use Permit and Site and Operational Plan approval as

specified above; then approval of the Conditional Use Permit and Site and Operational Plan shall be approved subject to the following conditions:

1. Prior to issuance of permits, written approval from LakeView Corporate Park Business Owners Association shall be submitted to ensure compliance with the Protective Covenants and Development Standards of LakeView Corporate Park prior to issuance of building permits.
2. Continued compliance with all previously approved and valid Conditional Use Permits that were recorded at the Kenosha County Register of Deeds Office for this property is required. **(Refer to Exhibits 3-9).**
3. The plans have been reviewed for conformance with the Village Ordinances and generally accepted engineering practices and Village policies. Although the data has been reviewed, the design engineer is responsible for the thoroughness and accuracy of plans and supplemental data and for their compliance with all state and local codes, ordinances, and procedures. Modifications to the plans, etc. may be required should errors or changed conditions be found at a future date. **The following changes shall be made to the Site and Operational Plans. Three (3) revised plans along with notations explaining how each of the items below has been addressed shall be submitted for final staff review and approval prior to issuance of the required permit:**
 - a. The proposed spot grade at the downstream end of the swale appears misprinted (683.32 vs. existing grade 682.23).
 - b. The relocated hydrant location on the civil plans sheet (Sheet 1) is different than the architectural sheet (A-1). Correct the plans so they coincide with each other. Fire Department approval for the relocated fire hydrant location shall be obtained.
 - c. Pursuant to the plans, it appears that the acetone storage tank farm containment system will consist of concrete curb surrounding the tank farm. Plan Sheet S-1 (Sheet 6 of 25) indicates cross-section details labeled B S-3 and A S-3, however, the two details (2) within the plan set appear to be missing. What material is the railing/wall constructed of that surrounds the tank farm? Please clarify.
 - d. The exterior color of the acetone storage tanks, surrounding tank farm wall and pump room/utility room building shall be complementary to the colors of the existing building and surrounding facilities. Note on the Plans.
 - e. Compliance with the attached Village Fire & Rescue Department Chief's comments dated September 5, 2013. **Note that Condition #2 also requires that a letter be submitted to the Fire & Rescue Department prior to receiving a building permit, stating that the project will comply with all requirements addressed within the September 5, 2013 Fire & Rescue memorandum. A copy of this letter shall also be provided to the Community Development Department.**
4. The following comments are from the Village Building Inspector:
 - a. All building, plumbing, lighting and HVAC plans will need to be designed to the IBC Codes, prior to submitting (4 sets) for building permits from the Village of Pleasant Prairie. Since the total cubic footage of the accessory structure is less than 100,000 cubic ft. this can be a Municipal review. All sub-contractors will be required to apply for permits.

- b. Halls, corridors, stairways, passageways, work aisles and other means of egress from factories, offices and mercantile buildings shall have emergency lighting and exit lighting per Article 700 of the NEC, SPS 316.46. The Village Fire & Rescue Department should be contacted for further information and requirements. Contact Fire & Rescue Chief Doug McElmury at 262-694-8027.
 - c. The electrical contractor will be required to be licensed by the Village of Pleasant Prairie. The electrical contractor shall obtain a permit from the Village prior to beginning work. All contractors must be licensed or registered with the State of Wisconsin.
 - d. Any Sprinkler plans and any fire alarm installations are required to be submitted to, and reviewed by the Village Fire & Rescue Department.
 - e. The architect(s)/ professional engineer(s) shall submit, to the Village and State, the compliance statement, Form SBD 9720, prior to the final inspection with the Village Building Inspection and Fire & Rescue Departments.
5. In the future, Rust-Oleum will need to apply for and receive additional permits for any proposed installation and use of the 3rd or "future" acetone storage tank.
 6. **Upon approval of the Village will prepare the required Conditional Use Grant Document to be executed by the property owner prior to issuance of the required permits. After the document is executed, it shall be recorded at the Kenosha County Register of Deeds office at the owner's expense.**
 7. This Conditional Use Grant shall become effective upon the execution and recording of said document and shall constitute an effective covenant running with the land.
 8. Construction and operation of the use granted shall be in strict conformity to the approved plans filed in connection with the petition for this permit. Violations of these conditions may result in the revocation of the conditional use permit or zoning violation prosecution, or both.
 9. All required permits shall be obtained from the Village prior to commencing work.
 10. The property owner/lessee shall comply with all provisions of the Conditional Use Permit and Site & Operational Plan submittal, including compliance with the Village Performance Standards.
 11. Operation of the use granted herein shall be in strict conformity to both plans and documents filed and approved in connection with the petition for Site and Operational Plan approval. Any violation of these conditions may result in the revocation of the approval or zoning violation prosecution, or both.
 12. No use shall be conducted in such a way as to constitute a public or private nuisance or to violate any of the performance standards set out in Section 420-38 of the Village Zoning Ordinance.
 13. The Conditional Use Grant is subject to amendment and termination in accordance with the provisions of the Village General Zoning and Floodplain/Shoreland Zoning Ordinance.
 14. All plans and the proposed and applied for use shall conform to applicable Village Ordinance requirements, and to all other applicable local, County, State and Federal requirements relating to land use, buildings, development control, land division, environmental protection, sewer service, water service, storm water management, noise, streets and highways and fire protection; and in the event of conflicting requirements or standards, the most restrictive shall apply.

15. If building permits are not issued within said 180 days the Site and Operational Plan approval said approval shall be void.



Office of the Village
Fire & Rescue Chief
Doug McElmury

VILLAGE STAFF MEMORANDUM

TO: Jean Werbie-Harris, Community Development Director
FROM: Doug McElmury, Chief Fire & Rescue Department
CC: Lt. Thomas Clark, Fire & Rescue Department
Peggy Herrick, Assistant Planner, Community Development
SUBJECT: Review of the Site and Operational Plan for the Rust-Oleum Acetone Bulk Tank Expansion and Piping
DATE: 05 September 2013

This is a review of the Site and Operational Plan to install two 30,000 gallon above ground storage tanks, a secondary containment dike, a tanker unloading pad, a utility room and a pump room. The building is located at 8105 95th Street.

The Fire & Rescue Department will be responsible for providing fire prevention inspections of this facility, twice annually. The concerns of the Fire & Rescue Department are as follows:

1. **Distribution of Comments:** *the person who obtains the building permit to all Contractors and Subcontractors affected by this document shall distribute Copies of these comments. This document outlines critical times and deadlines. All recipients of this document need to become familiar with the contents.*
2. **Compliance:** A letter shall be submitted to the Fire & Rescue Department prior to receiving a building permit, stating that the project will comply with all requirements addressed within this document.
3. In the event a conflict in code(s) is identified, or a conflict with the insurance carrier criteria occurs, the more stringent shall apply. In the event this conflicts with any codes adopted by the State of Wisconsin, the owner must petition the State directly for a variance. The Owner must demonstrate that they will provide materials or design equivalent to the code or that they will exceed the code when petitioning the State and or Village when applicable.

Upon review of the plans submitted, we have the following concerns:

- This is a review of the conceptual plan, including drawings FP-1 and S-1 updated 8/9/13 however, it is understood, that typical and customary fire protection features have not been shown on the plans.
- Fire safety system plans, such as fire sprinkler and fire alarm plans, may need to be submitted to the State of Wisconsin Department of Safety and Professional Services and also to this fire department for review. No installation of any fire protection system is allowed until a satisfactory review is obtained from both departments.

The Fire & Rescue Department will be responsible for providing fire prevention inspections of this facility, twice annually. The concerns of the Fire & Rescue Department are as follows:

4. **Bulk Storage Tanks:** Plans for the bulk storage tank installation shall be submitted to the Fire & Rescue Department and the State of WI for review. The installation shall comply with all applicable NFPA, State of WI and Village of Pleasant Prairie codes, statutes and ordinances. Village tank permit fees shall apply to this project.
5. **Fire Suppression Systems:** Fire suppression systems applicable to the products being handled within this area, shall be installed.
6. **Plan Review, Permits and Fees:** The plans for the fire protection underground and aboveground and fire alarm system shall be submitted for review a minimum of four (4) weeks before installation is scheduled to begin. The Village will use an independent fire safety consultant for the review of all fire protection plans submitted. A satisfactory review must be completed before any permits will be issued and before construction can begin.
7. **The following information must be submitted with the sprinkler plans for review:**
 - Building height:
 - Hazard class:
 - Commodity:
 - Fire protection:
8. **Sprinkler System:** The utility room and pump room will be equipped with an “automatic fire sprinkler system”. The systems shall be designed and constructed to the current edition of NFPA 13, Automatic Fire Sprinklers and the Village of Pleasant Prairie Ordinance 180-16, Automatic Fire Sprinklers. Fire protection systems shall be installed in the containment areas if the Village’s independent fire safety consultant determines that they are required.
 - **Storage:** The Owner must be aware of the restrictions that apply to the storage of pallets, cardboard, finished products, etc. Maximum height, width and aisle ways must be maintained and will be enforced.
9. **Fire Alarm System:** The system shall be extended to the new addition and shall include as a minimum pull stations and audiovisual devices.
 - a. **Pull Stations and Audiovisual Alarms:** Shall be installed per ADA requirements.

- b. **Smoke and Heat Detection:** Shall be installed as required.
- c. **Tamper Switches:** Tamper switches shall be placed on all sprinkler valves and be identified on the annunciator panel.

10. **Fire Detection/Suppression:** Systems shall be applicable to the addition.

11. **Fire Extinguishers:** Shall meet NFPA 10 (Portable Fire Extinguishers) for the specific use of the building and be in sufficient number. Final approval, of fire extinguisher locations and quantity, will not be given until occupancy is taken, to see how a tenant furnishes the space. The company providing the fire extinguishers shall submit a letter to the Fire & Rescue Department stating the locations and size of the extinguishers are in compliance with NFPA 10.

12. **Emergency and Exit Lighting:** Exit and Emergency Lighting shall be provided and shall have battery backup. Combination units are acceptable and recommended. An Emergency Generator eliminates the need for battery backup. Exit and Emergency Lighting shall not be placed on electrical circuits that cannot be disturbed or interrupted, this is for test purposes. These circuits shall be clearly labeled. The Fire & Rescue Department will evaluate this lighting prior to occupancy during the evening hours after sunset.

13. **Final Inspection:** The General Contractor shall provide the following documentation at the time the Final Inspection takes place and before a building occupancy certificate will be issued.

- a. The fire protection contractor shall provide the owner with a letter (upon completion of the sprinkler work) stating the sprinkler system, or portion thereof, is "100% operational and built according to the design", Village Ordinance, 180-16 N.
- b. Copies of the fire sprinkler hydrostatic test certificates.
- c. Copies of the fire sprinkler operational test certificates.
- d. Copies of the fire alarm test documents.
- e. Copies of other test documents such as, hood/duct, smoke, etc...
- f. The Pleasant Prairie Fire and Rescue Department shall have all information needed for our pre-fire plan prior to occupancy.
- g. Provide two- (2) CD's, one for the property owner and one for the Fire & Rescue Department. The disks shall include all Floor plans and fire protection plans for the building in an as-built condition.
- h. Occupancy inspection fee and re-inspection fee will be assessed at the final inspection in accordance with ordinance 180-17.

14. **Occupancy:** All fire and life safety requirements must be in place prior to any building being occupied.



**VILLAGE OF PLEASANT PRAIRIE
SITE AND OPERATIONAL PLAN
AND CONDITIONAL USE PERMIT ZONING APPLICATION**

USE THIS FORM FOR:
Tenants/Use changes proposing to occupy 50% or more of an existing commercial/industrial building.

To construct a **new** or addition to principal or accessory structure.

Use requires a Conditional Use Permit.

FOR OFFICE USE ONLY	
Application Filed on	8/9 20 13
Preliminary Determination of Completeness on:	8/9 20 13
Revised Plans Submitted:	20
<input checked="" type="checkbox"/> Public Hearing Required: Hearing Date:	9/9 20 13
Published on:	and 20 Notices sent on: 20
Approved by <input type="checkbox"/> Plan Commission on	20
<input type="checkbox"/> Zoning Administrator on	20
Denied by <input type="checkbox"/> Plan Commission on	20
<input type="checkbox"/> Zoning Administrator on	20

SECTION 1: GENERAL INFORMATION

NAME OF BUSINESS: RUST-OLEUM CORPORATION

SITE ADDRESS: 8105 95TH STREET, PLEASANT PRAIRIE, WI 53158

BRIEF PROJECT DESCRIPTION: ACETONE BULK TANK EXPANSION INCLUDING INSTALLATION OF TWO 30,000 GALLON ABOVEGROUND STORAGE TANKS, A SECONDARY CONTAINMENT DIKE, A TANKER UNLOADING PAD, A UTILITY ROOM AND A PUMP ROOM.

PROPOSED NUMBER OF FULL TIME EMPLOYEES: 230 FULL TIME

PROPOSED NUMBER OF PART-TIME EMPLOYEES: 30 PART TIME

SITE SIZE: 253,000 sq. ft. 5.81 acres

PROPOSED BUILDING SIZE: 322+140 sq.ft. **HEIGHT:** 14'-10' ft.

PROPOSED ADDITION SIZE: _____ sq.ft. **HEIGHT:** _____ ft.

LEGAL DESCRIPTION: CSM #1203 LOCATED IN A PART OF THE NW ONE QUARTER OF U.S. PUBLIC LAND SURVEY SECTION 21, TOWNSHIP 1 NORTH, RANGE 22 EAST OF THE FOURTH PRINCIPAL MERIDIAN, LYING & BEING THE VILLAGE OF PLEASANT

TAX PARCEL NUMBER(S): 92-4-122-212-0355

CURRENT ZONING CLASSIFICATION(S) OF THE PROPERTY: M2

1. Is a zoning map amendment proposed with this project? Yes No
 - If yes, proposed Zoning Classification(s): _____
2. Is a zoning text amendment proposed with this project? Yes No
 - If yes, provide a copy of the proposed text amendment with this application

3. If property is zoned M-1 or M-2, indicate the Occupancy Type pursuant to the Use and Occupancy Classification specified in Chapter 3 of the 2006 International Building Code (2006 IBC). Include all that apply and associated square footage for each classification:

- Factory Group F-1 (Moderate-hazard) 253,000 sq ft
- Factory Group F-2 (Low-hazard) _____ sq ft
- Storage Group S-1 (Moderate-hazard) _____ sq ft
- Storage Group S-2 (Low-hazard) _____ sq ft
- Business Group B _____ sq ft
- High-Hazard Group H* _____ sq ft
- Other _____ sq ft
- Other _____ sq ft

**If Use and Occupancy Classification is High-Hazard Group H please provide a detailed written narrative that explains the specific use, quantity of storage and handling of the high hazard materials along with appropriate MSSD sheets with this application.*

PUBLIC SERVICES:

1. Is the property serviced by Public Sanitary Sewer? YES NO
 - If no, the closest public sewer is located at _____
2. Is the property serviced by Public Water? YES NO
 - If no, the closest public water is located at _____
3. Maximum number of gallons/minute of water expected to be used per day is: NO CHANGE

THIS APPLICATION IS FOR A: (check one)

- Preliminary Site and Operational Plan:** An applicant may apply for preliminary site and operational plan approval in connection with an erosion control permit application for early mass grading, or in connection with an early foundation permit, or for other good cause shown
- New Site and Operational Plan**
- Amendment to an existing Site and Operational Plan**
 - Date of initial site and operational plan approval: _____
 - Date of each approved amendment: _____

SECTION 2: EXISTING USES AND BUILDINGS ON THE SITE

Are there any existing buildings on the site? YES NO

- If yes, provide an attachment that explains the current uses on the property and current uses in each building and if the use(s) is proposed to continue; and the gross floor area and height of each building.
- If no, what is the current use of the property? _____

SECTION 3: PHOTOGRAPHS

Standard-sized photographs (not Polaroid) showing all aspects of the site (e.g. locations of proposed improvements, bodies of navigable water, wetlands, wooded areas, etc.) and of the exterior of structures or other site improvements, together with a statement regarding each photograph, which includes the date the photograph was taken, the location from which it was taken, the direction in which the camera was pointed, and a description of what is shown in the photograph. With respect to all existing signs, the applicant shall file photographs of all existing signs and shall specify in the written statement accompanying each such photograph and show the dimensions of such sign. Digital images are acceptable.

SECTION 4: CONDITIONAL USE

1. **Does the proposed project require a Conditional Use Permit?** YES NO
 - **If no** then skip to Section 5.
 - **If yes**, then continue with this Section.
2. **Are you amending an existing Conditional Use Permit?** YES NO
 - **If yes**, provide a copy of the Conditional Use Grant Document you are proposing to amend.
 - **If no**, continue with this Section.
3. If you answered **YES** to either question 1 or 2 above then this application shall include information as to how the proposed project will not impair an adequate supply of light and air to adjacent properties; increase danger of fire; cause traffic congestion or traffic circulation problems; create storm water flooding or drainage; create obnoxious odors, problems or otherwise endanger the public health, safety or welfare; will not hinder, harm or distract the provision of public services; and that the proposed project is not inherently inconsistent with either the district in which it is located or adjoining districts or neighborhoods as required pursuant to the Village Zoning Ordinance.

SECTION 5: NON-CONFORMING USE

1. **Is any use on the site a nonconforming use?** YES NO
 - **If no**, then skip to Section 7.
 - **If yes**, then continue with this section.
2. If you answered **YES** to question 1 above, prima facie proof of each element of legal nonconforming use status shall be submitted to the Village with this application (i.e. that the nonconforming use was legal in its inception, that the use was active and actual and not merely casual, occasional, incidental or accessory when it became nonconforming, that the use has been continuous with no gap of 12 or more consecutive months since it became nonconforming, that no building or structure housing the nonconforming use has been structurally repaired or altered to the extent of fifty (50) percent or more of its assessed value since the use became nonconforming, and that the use has not been changed in nature or physically extended or expanded since becoming nonconforming).

SECTION 6: PERFORMANCE STANDARDS

Pursuant to the Village Zoning Ordinance, any application for a permit under this ordinance or any use subject to the regulations and standards set forth in the Village Zoning Ordinance shall be accompanied by a sworn statement by the owner of the subject property that said property and use will be operated in accordance with the performance standards set forth in Section 420-38 of the Village Ordinance. Continued compliance with the regulations and standards is required. Violations of such standards shall be remedied as required by the Village Zoning Ordinance.

No land or building in any district shall be operated in such a manner so as to create any dangerous, injurious, noxious or otherwise objectionable fire, explosive or other hazard; noise or vibration, smoke, dust, dirt or other form of air pollution; water pollution; electrical, radioactive or other disturbances; glare; or other substance, condition or element (referred to herein as "dangerous or objectionable elements") in such amount as to adversely affect the surrounding area or premises; provided that any use permitted by this ordinance may be undertaken and maintained if it conforms to the regulations of this subsection limiting dangerous and objectionable elements at the specified point or points of the determination of their existence.

The Village may require additional information be submitted to ensure that the Village Performance Standards are being met.

SECTION 7: PLAN COMPONENTS

The application shall include a list of all documents, materials or information that are attached to and a part of the application form. Submit eight (8) full-sized and one (1) set reduced to 11" x 17" of all plans and other attachments shall be included as part of this application, except if a component has been waived or deferred in writing by the Village Zoning Administrator. **For specific details related to each of the required information and plans see the attachment entitled "*Plan Components and Related Standards*" in Section 420-57 of the Village Zoning Ordinance.**

- Application—Applicant, Site, Use, Project and Plan Information
- Application fee
- Operational plan
- Title sheet
- Survey
- Site plan
- Grading and drainage plan
- Building and fire protection plans
- Lighting plan
- Landscape and open space plan
- Signage plan TANK SIGNAGE
- Industrial/commercial waste survey N/A
- Performance standards compliance
- Additional requirements, as determined by the Village Zoning Administrator, other appropriate Village staff members, or the Village Plan Commission, as appropriate.

Two or more plans may be combined, provided that all of the information submitted on the combined plan is clearly legible, but in no case shall the combined plans fail to show any of the information required for each individual plan as described below, unless such information is waived or deferred pursuant to the Zoning Ordinance.

SECTION 8: SIGNATURES

I,(We), hereby certify that all the above statements and all attachments submitted herewith are true and correct to the best of my knowledge. In addition I, (we) understand the requirements and procedures for Site and Operational Plan/Conditional Use Permit approval.

PROPERTY OWNER:
RUST-OLEUM CORPORATION
 Name: BY: WILLIAM WHITING
 (Please Print)
 Signature: [Signature]
 Address: 11 HAWTHORN PKWY
VERNON HILLS IL 60061
 (City) (State) (Zip)
 Phone: 847-362-7700
 Fax: 847-800-2300
 E-mail: WHITING@RUSTOLEUM.COM
 Date JULY 31, 2013

APPLICANT:
 Name: _____
 (Please Print)
 Signature: _____
 Address: _____

 (City) (State) (Zip)
 Phone: _____
 Fax: _____
 E-mail: _____
 Date: _____

Is the applicant the owner of the property? YES NO

If no, then either proof of the applicant's legal interest in the subject real property (e.g. accepted offer to purchase, lease, etc., which may be appropriately redacted to preserve confidential information) or written authorization signed by the owner for the applicant to act as the owner's agent in connection with the application shall be included with the application.

DEVELOPER (if Applicable)
 Name: _____
 (Please Print)
 Signature: _____
 Address: _____

 (City) (State) (Zip)
 Phone: _____
 Fax: _____
 E-mail: _____
 Date _____

USER OR OCCUPANT OF SITE:
 Name: _____
 (Please Print)
 Signature: _____
 Address: _____

 (City) (State) (Zip)
 Phone: _____
 Fax: _____
 E-mail: _____
 Date: _____

ACETONE BULK TANK EXPANSION OPERATIONAL PLAN

(1) Operational plan requirements. The applicant shall prepare and file as part of the application for site and operational plan approval an operational plan which shall include at least the following information or materials:

(a) A detailed narrative description of the operations, processes and functions of the existing and proposed uses to be conducted in or on the real property constituting the site, together with any diagrams, maps, charts or other visual aids that are helpful in understanding the operations and any potential adverse impacts on neighboring properties.

(b) A detailed description of the proposed project or activity giving rise to the need for site and operational plan approval and a detailed explanation of how such project or activity relates to the site and to the existing or proposed operations to be conducted in or on the real property constituting the site.

Rust-Oleum Corporation operates a paint manufacturing facility located in the Lakeview Corporate Industrial Park at 8105 95th Street in Pleasant Prairie, Wisconsin. The facility produces a variety of both water-based and solvent-based coatings. The plant consists of several main production areas described as follows: The bulk raw material storage tank farm is used for liquid solvent and resin storage. The powder-based raw materials such as color pigments are stored in the receiving warehouse portion of the plant. The raw materials are mixed together in process tanks of varying sizes to produce finished paint product. The finished product is then filled and packaged on the plant's filling production lines. The finished product can be filled into half pint cans, quart cans, 1-gallon cans, 5-gallon pails, or aerosol spray cans.

As a result of increased aerosol spray-paint production, Rust-Oleum has determined the need for additional Acetone storage capacity in order to reduce the risk associated with "just-in-time" deliveries to the existing 12,000-gallon Acetone storage tank T-116. A usage of 50,000-60,000 gallons per day of Acetone is anticipated within the next five (5) years. Rust-Oleum has determined the most efficient and least costly storage arrangement to include the installation of two (2) new 30,000-gallon capacity aboveground storage tanks outside the existing plant. The tanks will be vertical, single-walled carbon steel tanks with a flat bottom and slight coned top. They will be 13'-1" in diameter and 30'-0" in straight side height and will be fabricated in accordance with UL 142. Railings will be approximately 3'-6" higher than the top of the tank. The existing building height is 32'-0" above grade so the tanks will be very close to matching existing building heights.

The storage tanks will sit on top of concrete pedestals within a poured concrete secondary containment system. All joints will have chemical resistant water-stops and will be sealed with chemical resistant caulk. There will be a drain at one end with a post indicator valve that will allow drainage of rainwater from the containment after it is tested by Rust-Oleum in accordance with their existing operating procedures. There will be a new tanker unloading area consisting of a concrete pad with the same chemical resistant water-stops and chemical caulking sealant. The tanker unloading pad will be pitched into the secondary containment structure to provide spill control for the delivery vehicle per State Code requirements. The tank farm will be located 84 feet from the existing plant and approximately 215 feet from the nearest property line.

Adjacent to the secondary containment structure, there will be a small Pump Room and a small Utility Room. The Pump Room will be used to house up to five (5) unloading and transfer pumps. It will be unheated, ventilated with 1 CFM supply and exhaust per Code, and will also be equipped with fire protection. The Utility Room will be heated and unventilated, equipped with fire protection, and will be used for the sprinkler riser and for the electrical power supply and control panel. The height of the Pump Room and Utility Room will be 14'-10" above grade. There will be seven (7) pipe support stanchions between the Pump Room and the existing plant with two (2) 3" carbon steel pipes for Acetone, room for two (2) future pipelines, and conduits for controls and power supply. Piping and conduits will be painted white along with the pipe stanchions so that they blend in with the existing building.

ACETONE BULK TANK EXPANSION OPERATIONAL PLAN

(c) Gross floor area of the existing building(s) and/or proposed addition.

The size of the existing facility including the new Charging Room is 253,192 square feet. The new Tank Farm secondary containment structure is 2,448 square feet. The Pump Room is 322 square feet and the Utility Room is 140 square feet.

(d) Anticipated hours of operation, hours open to the public, and hours of deliveries or shipments.

The facility is not open to the public. The facility standard hours of operation are 24 hours per day, broken into four (4) shifts, seven (7) days per week. Deliveries can occur during any of these hours of operation and will increase from two (2) deliveries per day for Acetone, up to four (4) to five (5) deliveries per day when full production is achieved.

(e) Anticipated startup and total number of full- and part-time employees.

(f) Anticipated number of shifts and the anticipated number of employees per shift.

Start-up of the Acetone Bulk Tank Expansion is anticipated at the end of November, 2013. There are currently 230 full-time employees for the entire facility. Additional staff is not anticipated for this project.

(g) Anticipated maximum number of employees on site at any time of the day.

The most employees in the entire plant at any given time would include all of 1st shift R&D employees and all production staff at shift change between 1st and 2nd shift, which totals 155 employees.

(h) Number of anticipated students, participants or persons to be gathered in places of assembly, if applicable.

Not applicable.

(i) Number of parking spaces required per this chapter and the method used to calculate such number.

(j) Number of existing and proposed on-site parking spaces to be provided (conventional spaces and handicapped spaces to be stated separately).

(k) Anticipated daily average and maximum potential number of automobile trips to and from the site (excluding trucks).

No additional parking spaces will be required for this project.

(l) Anticipated daily average and maximum potential number of truck trips to and from the site.

Acetone deliveries will increase from an average of two (2) deliveries per day to a maximum of four (4) to (5) deliveries per day.

(m) Types of goods and materials to be made, used or stored on site.

Acetone is used in paint production as described in Item 1a & 1b.

ACETONE BULK TANK EXPANSION OPERATIONAL PLAN

(n) Types of equipment or machinery to be used on site.

No additional machinery is anticipated for this project. There will be two (2) stationary aboveground storage tanks. There will be an unloading pump for transferring Acetone from the tanker truck to the storage tanks. There will also be a transfer pump (with redundant backup pump) for transferring Acetone from the new storage tanks T-201 & T-202 to the existing T-116 Acetone storage tank inside the building. Existing unloading connections for T-116 will remain in place if direct unloading to the existing T-116 Acetone tank is required.

(o) Types of solid or liquid waste materials which will require disposal.

(p) Method of handling, storing and disposing of solid or liquid waste materials.

There will be no new waste streams from this new Acetone Bulk Tank Farm.

(q) Methods of providing site and building security other than the Village Police Department.

Security for the new buildings and tank farm will be incorporated into the existing automated fire alarm system that protects existing buildings. The facility is also surrounded by a 6'-0" high chain-linked fence and gates that prevent public access at entrance locations. Security cameras are also monitored at entrances and critical interior operations.

(r) Description of the methods to be used to maintain all buildings, structures, site improvements and sites in a safe, structurally sound, neat, well cared for and attractive condition.

Maintenance of the new equipment and buildings will be incorporated into the systems and operations used to maintain existing buildings and landscaping.

(s) Description of potential adverse impacts to neighboring properties or public facilities and measures to be taken to eliminate or minimize such adverse impacts.

Rust-Oleum is confident that there will be no adverse impacts to neighboring properties and/or public facilities. Rust-Oleum has sound safety and environmental procedures in place to mitigate the impact of any unforeseen issue. All setbacks from property lines and other important buildings are within State and NFPA 30 Code requirements and therefore there is no anticipated increase in risk of fire, impairment of light and air to adjacent properties, the creation of obnoxious odors, or other dangers to public health.

(t) A list of all local, county, state and federal permits or approvals required for the project or activity giving rise to the need for site and operational plan approval and copies of such permits and approvals that have been obtained.

Rust-Oleum is in full compliance with all Federal, State and Local operating permits and approvals. The facility currently has a Registration Operation Permit (ROP) for air emissions with the WDNR. As long as Rust-Oleum continues to meet the requirements of this permit, changes can be made at the facility without notification of the WDNR.

To the best of our knowledge, this project is consistent with the district in which it is located, adjoining districts, and neighborhoods, pursuant to the Village Zoning Ordinance.

ACETONE BULK TANK EXPANSION OPERATIONAL PLAN

(2) Operational plan standards. In addition to any other applicable requirements or standards specified in this chapter, the following requirements or standards shall apply to the operational plan:

(a) No use shall be conducted in such a way as to constitute a public or private nuisance.

The equipment will not be operated in a manner that will cause a public or private nuisance.

(b) No use shall be conducted in such a way as to violate any of the performance standards set out in § 420-38 of this chapter.

Rust-Oleum will not use or operate the Bulk Storage Tank System that would cause a violation to 420-38 of this Chapter.

(c) (reserved)

(d) No owner, occupant or user of real property shall conduct a use so intensively that there is inadequate provision of on-site parking spaces and/or loading spaces to accommodate the needs of such use.

No additional parking spaces will be required for this project.

(e) All buildings, structures, site improvements and sites shall be maintained in a safe, structurally sound, neat, well cared for and attractive condition.

All new buildings and the storage tanks will be painted white to match the existing facility. Ladders and railings for the tanks will be painted safety yellow in order to comply with OSHA requirements.

(f) Within a building, any provision of live entertainment in connection with a business or club use involving the selling or service of alcoholic beverages shall comply with the following restrictions:

[1] Live entertainment shall be provided only on a raised platform that is not less than 23 inches higher than the elevation of the surrounding floor surfaces where customers, members or their guests are sitting, standing or dancing;

[2] Customers, members or their guests shall at all times be separated from the raised platform on which live entertainment is being provided by a distance of not less than four feet and a physical barrier to mark and enforce such separation distance; and

[3] There shall be no touching of any kind between entertainers and customers, members or their guests.

Not applicable.

(g) No proposed new or expanded use shall be permitted to create or significantly exacerbate unsafe traffic conditions on any street or highway in the Village.

There are no changes planned for the entrances to the Rust-Oleum facility, therefore, we do not anticipate any unsafe traffic conditions on Village streets or highways.

(h) Indoor pyrotechnic displays are prohibited. Not applicable.

RUST-OLEUM ACETONE STORAGE TANKS SIGNAGE REQUIREMENTS

ACETONE TANK T-201



**FLAMMABLE -
KEEP FIRE AWAY**

ACETONE TANK T-202



**FLAMMABLE -
KEEP FIRE AWAY**

NOTES:

1. Flammable - Keep Fire Away signage must be a minimum of 5" high letters with a 1" stroke.
2. NFPA 704 Hazard Placard must be visible from 100 feet away (10" x 10" minimum).

August 8, 2013

Village of Pleasant Prairie Planning Commission
9915 39th Ave
Pleasant Prairie, WI 53158

Subject: Addendum to Site and Operational Plan and Conditional Use Permit Zoning Application – Acetone Bulk Tank Expansion Project

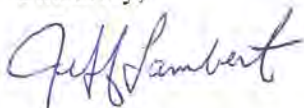
The following is submitted per Section 4, Paragraph 3 and Section 6 of the Village of Pleasant Prairie Site and Operational Plan and Conditional Use Permit Zoning Application:

In reference to the Acetone Bulk Tank Expansion Project, we are confident that there will be no adverse impacts to neighboring properties or public facilities. There are no anticipated increases in risk of fire, impairment of light and air to adjacent properties, the creation of obnoxious odors, or other dangers to public health. We do have rigorous safety and environmental procedures in place to mitigate the impact of any unforeseen issue. We are in full compliance with all Federal, State and Local operating permits and approvals. This initiative does not require any revisions.

The Rust-Oleum Pleasant Prairie property and its use will be operated in accordance with the performance standards set forth in Section 420-38 of the village Ordinance. To the best of our knowledge, this project is consistent with the district in which it is located, adjoining districts, and neighborhoods, pursuant to the Village Zoning Ordinance.

Please contact me if you require any additional information or clarifications to that which is presented herein.

Sincerely,



Jeff Lambert
8105 95th Street
Pleasant Prairie, WI 53158
262-947-6740 (office)
262-947-8262 (fax)
jlambert@rustoleum.com

8105 95th St, Pleasant Prairie, Kenosha, Wisconsin 53158 8105 95th St, Pleasant Prairie, WI 53158, USA

8105 95th St, Pleasant Praire, Kenosha, Wisconsin 53158

PROJECT
LOCATION

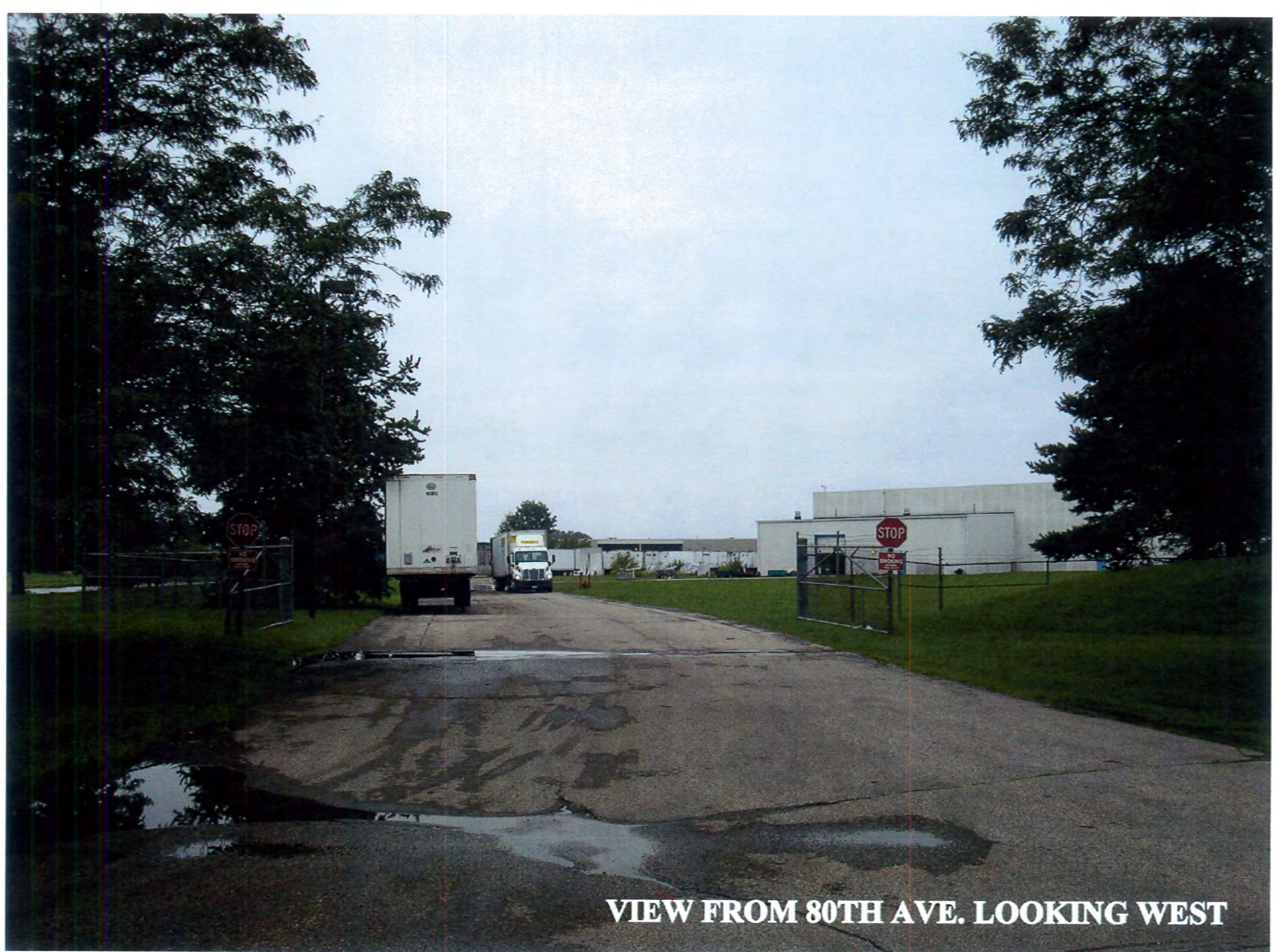
80th Ave

Google earth

© 2013 Google

Google earth





VIEW FROM 80TH AVE. LOOKING WEST



EMCO
SHIPPING & RECEIVING
EAST ENTRANCE ONLY

VIEW FROM 95TH ST. AT NEIGHBORING FACILITY

Fwd: Rust-Oleum Pleasant Prairie Manufacturing Facility

Mike Wendling

to:

Jeff Lambert

08/09/2013 02:00 PM

Hide Details

From: Mike Wendling/PP/RO_Notes

To: Jeff Lambert/PP/RO_Notes

Sent from my iPhone

Begin forwarded message:


From: "Hart, Kristin L - DNR" <Kristin.Hart@wisconsin.gov>
Date: July 29, 2013, 6:12:02 PM EDT
To: "Mike Wendling" <MWendling@rustoleum.com>
Cc: "Cauwels, Ted C - DNR" <Ted.Cauwels@wisconsin.gov>
Subject: RE: Rust-Oleum Pleasant Prairie Manufacturing Facility

Mike,

You are correct. First, the Registration Permit allows facilities to add and construction equipment as long as the facility will remain qualified for Registration Permit coverage after the project is completed. And second, acetone is not considered a VOC so emissions of VOC from your facility will not be affected by your plan to add acetone storage tanks. You reported emissions of just over 13.5 tons of VOC for 2012 which is well below the Registration Permit emission cap of 25 tons of VOC. This project can proceed under your current permit.

Is an email sufficient or does the city need a letter on letterhead?

Kristin

 *Kristin Hart*

Wisconsin Department of Natural Resources
Bureau of Air Management
Air Permits and Stationary Source Modeling Section

From: Mike Wendling [<mailto:MWendling@rustoleum.com>]
Sent: Monday, July 29, 2013 4:01 PM
To: Hart, Kristin L - DNR
Subject: Rust-Oleum Pleasant Prairie Manufacturing Facility

Kristin,

The Rust-Oleum Manufacturing facility in Pleasant Prairie WI. (FID 230072040) is working with the village of Pleasant Prairie to get approval to add 2 30,000 gallon bulk Acetone tanks . The village of Pleasant Prairie has requested a letter from the DNR stating that our current air permit will cover the addition of these 2 tanks. Seeing that Acetone is not considered a VOC containing chemical by the Air regulations I do not see that these tanks will affect the compliance status of our Type A Registration permit. Can you please send me a letter stating that these tanks will not affect the compliance status of Rust-Oleum Air Permit. Below are some of the key details for the Site:

Rust-Oleum Corporation
8105 95th Street
Pleasant Prairie, WI 53158
FID#: 230072040
Permit #: 230072040-ROPA

If you have any questions or need any more details around this project please let me know.

Thanks,

Mike Wendling
EHS Manager
Rust-Oleum Corporation
Pleasant Prairie, WI
Office: 262.947.6853
Cell: 262.220.2018

The information transmitted is intended only for the person or entity to which is addressed and may contain confidential and / or privileged material. Any review, retransmission, dissemination or other use of, or taking of any action in reliance upon, this information by persons or entities other than the intended recipient is prohibited.

PLEASE NOTE THAT THE COMPANY DISCLAIMS ANY LIABILITY WHATSOEVER FOR ANY VIRUSES TRANSMITTED IN CONNECTION WITH THE E-MAIL OR ATTACHMENTS HERETO. ANY ATTACHMENT TO THE E-MAIL SHOULD BE SCANNED BY THE RECIPIENT FOR VIRUSES PRIOR TO OPENING SUCH ATTACHMENT.

State of Wisconsin
DEPARTMENT OF NATURAL RESOURCES
101 S. Webster Street
Box 7921
Madison WI 53707-7921

Scott Walker, Governor
Cathy Stepp, Secretary
Telephone 608-266-2621
Toll Free 1-888-936-7463
TTY Access via relay - 711



September 3, 2013

Mike Wendling
EHS Manager
Rust-Oleum Corporation
8105 95th St
Pleasant Prairie WI 53158

Subject: Confirmation of Tank Project Eligibility under Registration Permit

Dear Mr. Wendling:

On July 29, 2013, you sent me notification that the Rust-Oleum Manufacturing Facility in Pleasant Prairie, Wisconsin, (FID 230072040) is working with the village of Pleasant Prairie to get approval to add two 30,000 gallon bulk Acetone storage tanks. I can confirm that this project can proceed under your current Type A Registration Permit.

First, the air pollution control Type A Registration Permit allows facilities to add and modify equipment as long as the facility will remain qualified for Registration Permit coverage after the project is completed. Second, acetone is not considered a VOC so emissions of VOC from your facility will not be affected by your plan to add acetone storage tanks.

You reported emissions of just over 13.5 tons of VOC for 2012 which is well below the Registration Permit emission cap of 25 tons of VOC. Please continue to report your annual emissions to our air emissions inventory and perform the monitoring and recordkeeping to demonstrate that you remain qualified for this permit in the coming years.

Please contact me at 608-273-5605 or kristin.hart@wisconsin.gov if you have any further questions.

Sincerely,

A handwritten signature in black ink that reads 'Kristin Hart'.

Kristin Hart
Chief, Permits and Stationary Source Modeling Section
Air Management Program

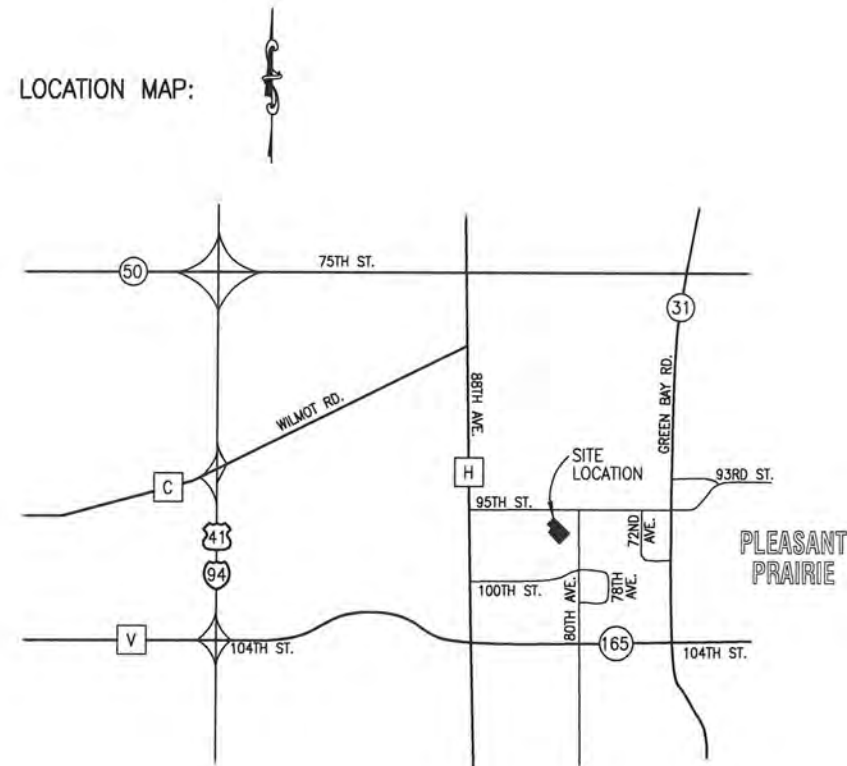
Cc: Ted Cauwels – SER/Air, Racine Service Center

ACETONE BULK TANK EXPANSION & PIPING SYSTEM

FOR

RUST-OLEUM

8105 95TH STREET
PLEASANT PRAIRIE, WI 53158



DRAWING INDEX:

SHEET NO.	DWG. NO.	REV. NO.	REV. DATE	TITLE
1	COVER	0	8/9/13	LOCATION MAPS & DRAWING INDEX
	C1.4	0	10/19/88	PLAT OF SURVEY (EXISTING FACILITY); BY HNTB
	2013.0075.01	0	7/19/13	GRADING & EROSION CONTROL PLAN; BY MNB
2	A-1	0	8/9/13	SITE PLAN AND LANDSCAPING NOTES
3	A-2	0	8/9/13	EXTERIOR ELEVATIONS
4	A-3	0	8/9/13	FLOOR PLAN
5	A-4	0	8/9/13	GENERAL NOTES AND SPECIFICATIONS
6	S-1	0	8/9/13	FOUNDATION PLAN & DETAILS
7	S-2	0	8/9/13	ROOF FRAMING & ROOFING PLANS
8	S-3	0	8/9/13	SECTIONS AND DETAILS
9	ST-1	0	8/9/13	T-201 & T-202 TANK FABRICATION DETAILS - SHT. 1 OF 2
10	ST-2	0	8/9/13	T-201 & T-202 TANK FABRICATION DETAILS - SHT. 2 OF 2
11	M-1	0	8/9/13	PROCESS & INSTRUMENTATION DIAGRAM
12	M-2	0	8/9/13	SPECIFICATIONS - SHT. 1 OF 2
13	M-3	0	8/9/13	SPECIFICATIONS - SHT. 2 OF 2
14	M-4	0	8/9/13	PARTIAL PIPING PLAN & DETAILS
15	M-5	0	8/9/13	PIPING ELEVATIONS
16	M-6	0	8/9/13	PIPING PLAN
17	FP-1	0	8/9/13	FIRE PROTECTION GENERAL REQUIREMENTS
18	P-1	0	8/9/13	PLUMBING PLAN
19	P-2	0	8/9/13	PLUMBING DETAILS & SPECIFICATIONS
20	H-1	0	8/9/13	HVAC PLAN
21	E-1	0	8/9/13	ELECTRICAL - SITE PLAN & FIXTURE SCHEDULE
22	E-2	0	8/9/13	ELECTRICAL - LIGHTING PLAN
23	E-3	0	8/9/13	ELECTRICAL - POWER PLAN
24	E-4	0	8/9/13	ELECTRICAL - FEEDER SCHEDULE, ONE-LINE & DETAIL
25	E-5	0	8/9/13	ELECTRICAL - SPECIFICATIONS

RECEIVED
AUG 9 - 2013
Village of Pleasant Prairie

**SPECTRUM
ENGINEERING
INCORPORATED**

262-783-7725
FAX 262-783-7726
19395 West Capitol Drive,
Brookfield, Wisconsin 53045

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NO.	DATE	BY	REVISION
0	8/9/13	J.M.N.	ISSUED FOR VILLAGE OF PLEASANT PRAIRIE REVIEW SUBMITTAL

DRAWN BY: S.A.M.
CHECKED BY: J.M.N.
DESIGNED BY: J.M. NOLL, P.E.
PROJECT MANAGER: J.M. NOLL, P.E.

RUST-OLEUM
8105 95TH STREET
PLEASANT PRAIRIE, WI 53158

ACETONE BULK TANK EXPANSION
TANK & PIPING SYSTEM ADDITION
LOCATION MAPS & DRAWING INDEX

DRAWING NUMBER:	COVER
DATE:	8/9/13
PROJECT NUMBER:	13165
SHEET NUMBER:	1 OF 25

HNTB
 ARCHITECTS ENGINEERS PLANNERS
 ONE PARK PLAZA, SUITE 500
 1570 WEST PARK PLACE
 MILWAUKEE, WISCONSIN 53224

RUST-OLEUM CORPORATION

WISPAK
 MANUFACTURING
 FACILITY

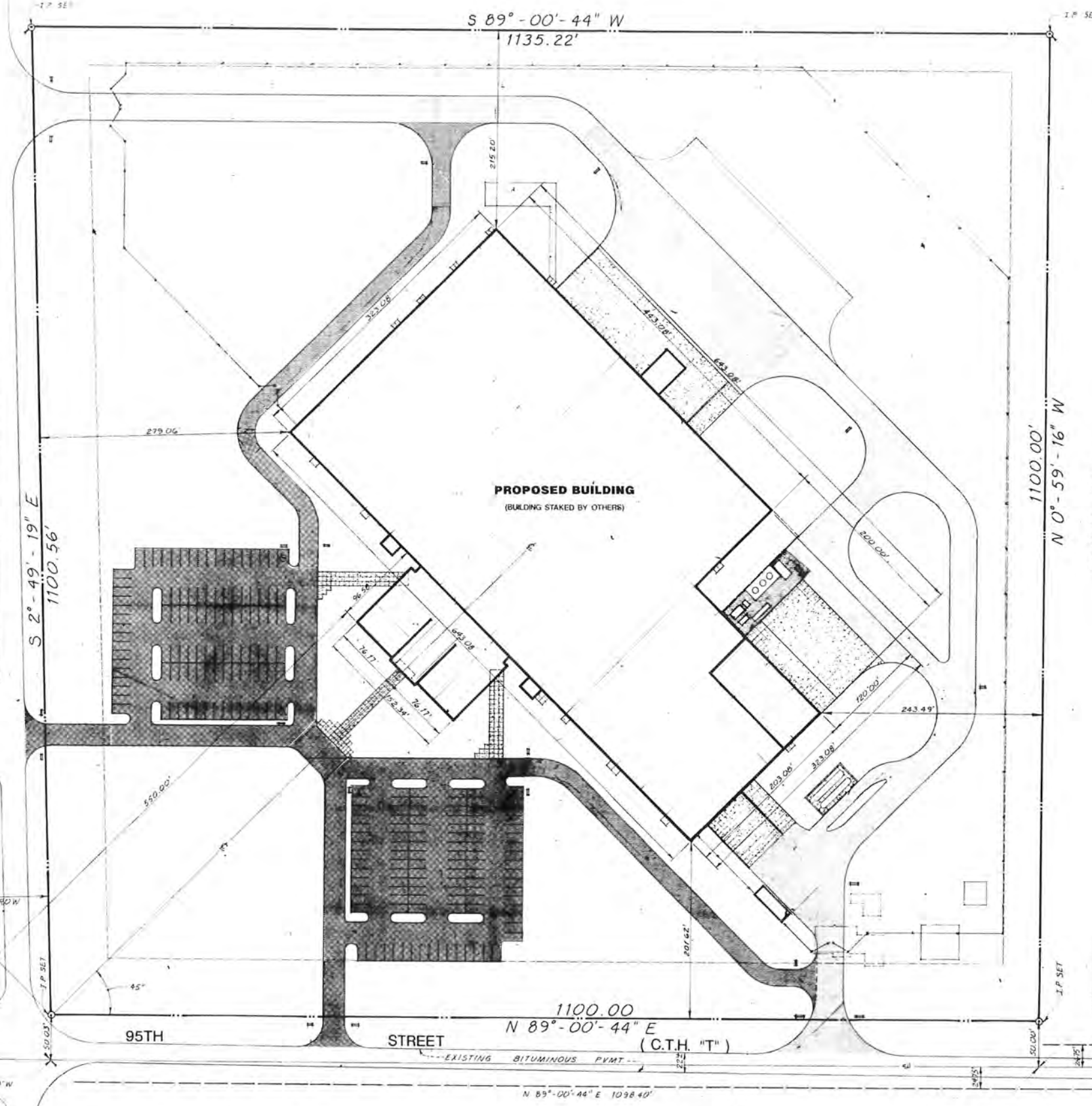
PLEASANT PRAIRIE
 WISCONSIN

SCALE: 1" = 50'-0"
 PROJECT NO: 12437
 DATE: OCT 19 1988
 DESIGNED BY: CCP
 DRAWN BY: CCP
 CHECKED BY: RKW
 REVISIONS:

PLAT OF SURVEY

C 1.4

(TOWER ROAD)
 AVENUE (TO BE DEDICATED)
 80TH



LEGAL DESCRIPTION
 Parcel 1 of Certified Survey Map No. 1203, recorded in Volume 1317, on page 626, as Document No. 805842, being a division of a part of Certified Survey Map No. 482 and Lands located in the NW 1/4 of Section 21, Town 1 North, Range 22 East, Town of Pleasant Prairie, Kenosha County, Wisconsin.

SURVEYOR'S CERTIFICATE
 STATE OF WISCONSIN
 COUNTY OF WAUKESHA
 I, HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY AND THE MAP HEREON IS A TRUE REPRESENTATION THEREOF, AND SHOWS THE SIZE AND LOCATION OF THE PROPERTY, ITS EXTERIOR BOUNDARIES, THE LOCATION AND DIMENSIONS OF ALL BUILDABLE STRUCTURES THEREON, EASEMENTS, APPROPRIATIONS, AND ADJACENTS, AND VISIBLE ENCROACHMENTS, IF ANY.
 THIS SURVEY IS MADE FOR THE EXCLUSIVE USE OF THE PRESENT OWNERS OF THE PROPERTY, AND ALSO THOSE WHO PURCHASE MORTGAGE OR GUARANTEE TITLE THEREIN, WITHIN ONE YEAR FROM THE DATE HEREOF.

DATE 9-19-88
 [Signature]

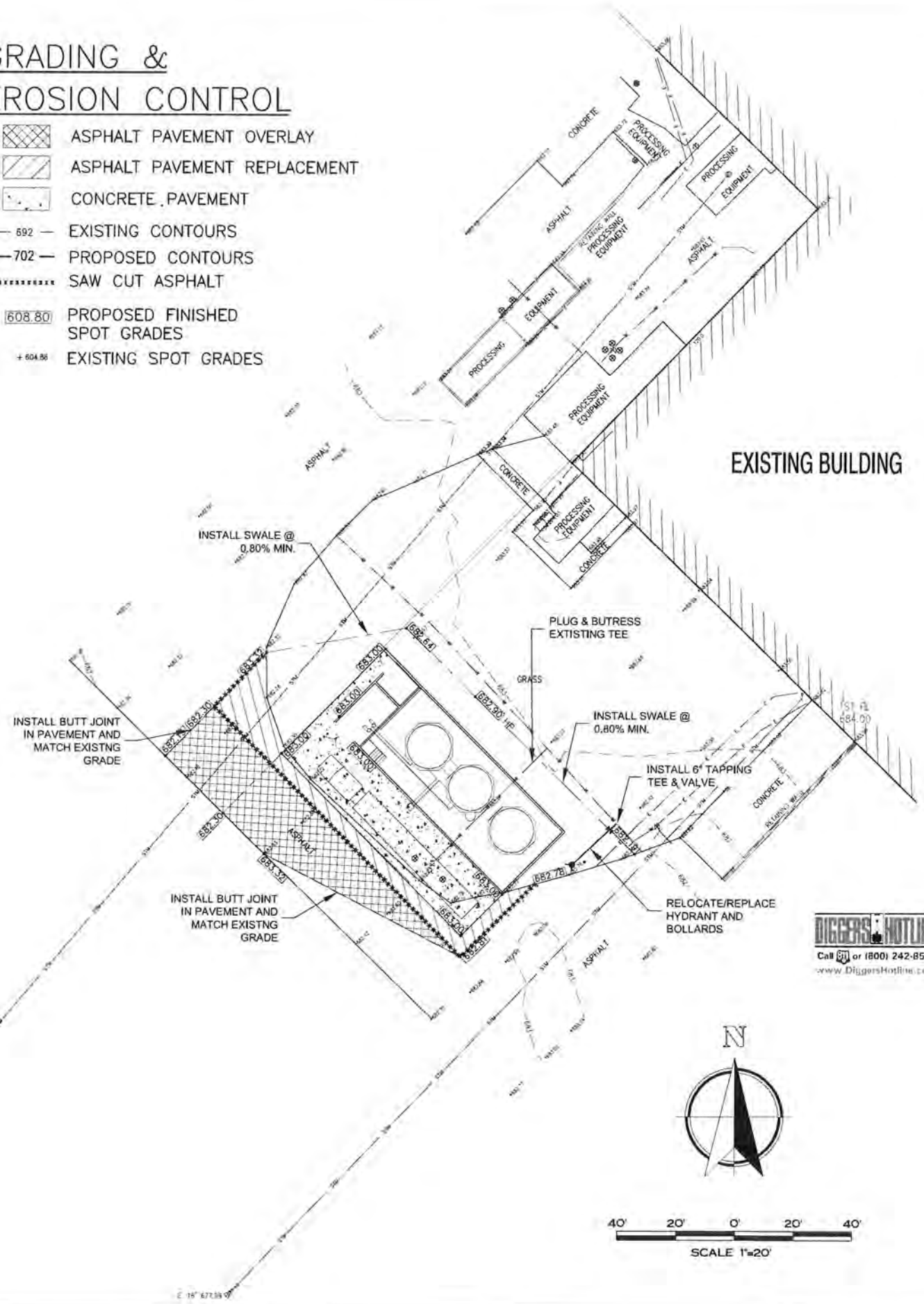


NE COR. OF NW 1/4 OF SECTION 21, T1N, R22E

1/4 NW 1/4 SEC 21-1-22

GRADING & EROSION CONTROL

- ASPHALT PAVEMENT OVERLAY
- ASPHALT PAVEMENT REPLACEMENT
- CONCRETE PAVEMENT
- 692 — EXISTING CONTOURS
- 702 — PROPOSED CONTOURS
- SAW CUT ASPHALT
- 608.80 PROPOSED FINISHED SPOT GRADES
- + 604.86 EXISTING SPOT GRADES



DIGGERS HOTLINE
 Call 608 or 1(800) 242-8511
 www.DiggersHotline.com



40' 20' 0' 20' 40'
 SCALE 1"=20'

GENERAL NOTES

EROSION CONTROL, EARTHWORK, SITE GRADING AND PAVEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "STATE OF WISCONSIN, STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION", 2010 EDITION, HEREIN REFERRED TO AS THE "STATE SPECIFICATIONS".

SITE GRADING & SUB-GRADE PREPARATION

ALL EXISTING TOPSOIL AND OTHER NON-STRUCTURAL MATERIAL WITHIN THE PROPOSED PAVEMENT SECTIONS AND STRUCTURAL FILL AREAS SHALL BE STRIPPED AND STOCKPILED AT A LOCATION DETERMINED BY THE CONTRACTOR AND OWNER.

EXCAVATE, GRADE & SHAPE SUBGRADE TO THE LINES AND GRADES SHOWN ON THE PLANS. SEE TYPICAL SECTIONS FOR PAVEMENT THICKNESS AND MATERIALS.

TEMPORARY SEEDING IS REQUIRED FOR ALL STOCKPILES AND OTHER EXPOSED LAND AREAS IF NOT UTILIZED WITHIN 30 DAYS. AT THE COMPLETION OF THE PAVEMENT WORK, RE-SPREAD SALVAGED TOPSOIL TO PROVIDE A MINIMUM SIX-INCH (6") LAYER IN ALL LANDSCAPE AND LAWN AREAS. ALL DISTURBED AREAS SHALL BE SEEDED, FERTILIZED AND MULCHED IN ACCORDANCE WITH SECTIONS 627, 629 AND 630 OF THE "STATE SPECIFICATIONS" OR RESTORED PER SPECIFIC DETAILS IN THE SITE LANDSCAPE PLAN.

AT THE COMPLETION OF THE PROJECT THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL ABANDONED, EXCESS, WASTE, STOCKPILED AND SPOIL MATERIAL IN ACCORDANCE WITH SECTION 205.3.12 OF THE "STATE SPECIFICATIONS". THIS WORK SHALL BE DONE AT THE CONTRACTOR'S EXPENSE.

PAVEMENT SPECIFICATIONS

DENSE AGGREGATE BASE COURSE SHALL MEET THE REQUIREMENTS OF SECTION 305 OF THE "STATE SPECIFICATIONS". THE COMPLETED BASE SHALL BE EITHER TEN (10") OR SIX (6") INCHES TOTAL IN ACCORDANCE WITH THE "TYPICAL SECTIONS & CONSTRUCTION DETAILS" SHEET(S) OF THE PLAN SET AND SHALL BE CONSTRUCTED IN FOUR-INCH (4") LIFTS ACCORDING TO SUBSECTION 305.3.2.2 OF THE "STATE SPECIFICATIONS".

ASPHALTIC CONCRETE PAVEMENT SHALL BE WISC DOT TYPE E-1.0 MEETING THE REQUIREMENTS OF SECTION 460 OF THE "STATE SPECIFICATIONS". PAVEMENT SHALL BE INSTALLED IN TWO (2) LIFTS IN ACCORDANCE WITH THE "TYPICAL SECTIONS & CONSTRUCTION DETAILS" SHEET(S) OF THE PLAN SET. A TACK COAT SHALL BE INSTALLED BETWEEN THE LOWER AND UPPER COURSES IN ACCORDANCE WITH SECTION 455.3.2 OF THE "STATE SPECIFICATIONS".

CONCRETE SHALL BE GRADE A-FA, AIR-ENTRAINED, AS SPECIFIED IN SUBSECTION 501.3.1 OF THE "STATE SPECIFICATIONS". ALL EXTERIOR CONCRETE SHALL BE "READY-MIXED" AND RECEIVE A BROOM FINISH. ALL CONCRETE WORK SHALL BE CURED IN ACCORDANCE WITH THE REQUIREMENTS OF SUBSECTION 415.3.16 OF THE "STATE SPECIFICATIONS".

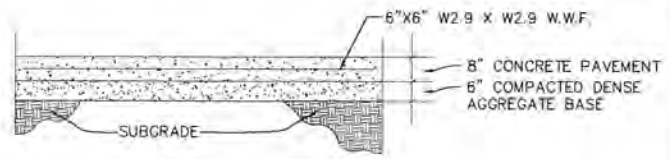
CONCRETE SHALL BE EIGHT INCHES (8") IN THICKNESS ON SIX INCHES (6") OF DENSE AGGREGATE BASE COURSE IN ACCORDANCE WITH THE "TYPICAL SECTIONS & CONSTRUCTION DETAILS" SHEET(S) OF THE PLAN SET.

CONTRACTION JOINTS (IF APPLICABLE) SHALL BE IN A GRID PATTERN NO GREATER THAN 10' X 10' OR PER THE ARCHITECTURAL PLANS.

EXPANSION JOINTS SHALL BE PLACED AS OUTLINED IN SUBSECTION 601.3.6 OF THE "STATE SPECIFICATIONS". FILLER MATERIAL FOR EXPANSION JOINTS SHALL BE 1/2" FIBER MATERIAL.

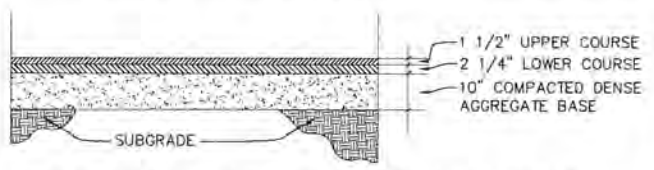
CONTRACTOR SHALL ADJUST AND/OR RECONSTRUCT ALL UTILITY COVERS (SUCH AS MANHOLES, VALVE BOXES, ETC.) TO MATCH THE FINISHED GRADES OF THE AREA AFFECTED BY THE CONSTRUCTION.

- 14" PAVEMENT SECTION (TYPICAL)
- 8" CONCRETE PAVEMENT (PER SECTION 415 OF THE "STATE SPECIFICATIONS")
 - * ALL CONCRETE SHALL BE GRADE A-FA, AIR-ENTRAINED, 6-BAG MIX WITH A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 3,500 PSI.
 - 6" COMPACTED DENSE AGGREGATE BASE
 - * 1 1/4" GRADATION (PER SECTION 305.2.2.1 OF THE "STATE SPECIFICATIONS")
 - * BASE COURSE SHALL EXTEND A MINIMUM OF 12 INCHES BEYOND THE EDGE OF CONCRETE.



CONCRETE PAVEMENT SECTION
 NOT TO SCALE

- 14" PAVEMENT SECTION (TYPICAL)
- 4" HMA PAVEMENT, WISDOT, TYPE E-1.0
 - * 1 1/2" THICK UPPER COURSE (9.5 mm GRADATION), PG 64-22 OR PG 58-28
 - * 2 1/2" THICK LOWER COURSE (19.0 mm GRADATION), PG 64-22 OR PG 58-28
 - 10" COMPACTED DENSE AGGREGATE BASE
 - * 1 1/4" GRADATION (PER SECTION 305.2.2.1 OF THE "STATE SPECIFICATIONS")
 - * BASE COURSE SHALL EXTEND A MINIMUM OF 12 INCHES BEYOND THE EDGE OF PAVEMENT OR BACK OF CURB.



ASPHALT PAVEMENT SECTION
 NOT TO SCALE

EXISTING UTILITY DATA

STM 1
 RM 683.88
 E 15° NE 680.16
 E 8° NW 679.98
 E 15° SW 679.98

UTILITY NOTE

THE EXACT LOCATION OF UNDERGROUND STRUCTURES OR FACILITIES SHOWN ON THE PLANS ARE BASED ON AVAILABLE RECORDS AT THE TIME OF PREPARATION AND ARE NOT GUARANTEED TO BE COMPLETE OR CORRECT. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL UTILITIES 72 HOURS PRIOR TO CONSTRUCTION TO DETERMINE THE EXACT LOCATION OF ALL FACILITIES AND TO PROVIDE ADEQUATE PROTECTION DURING THE COURSE OF THE WORK.



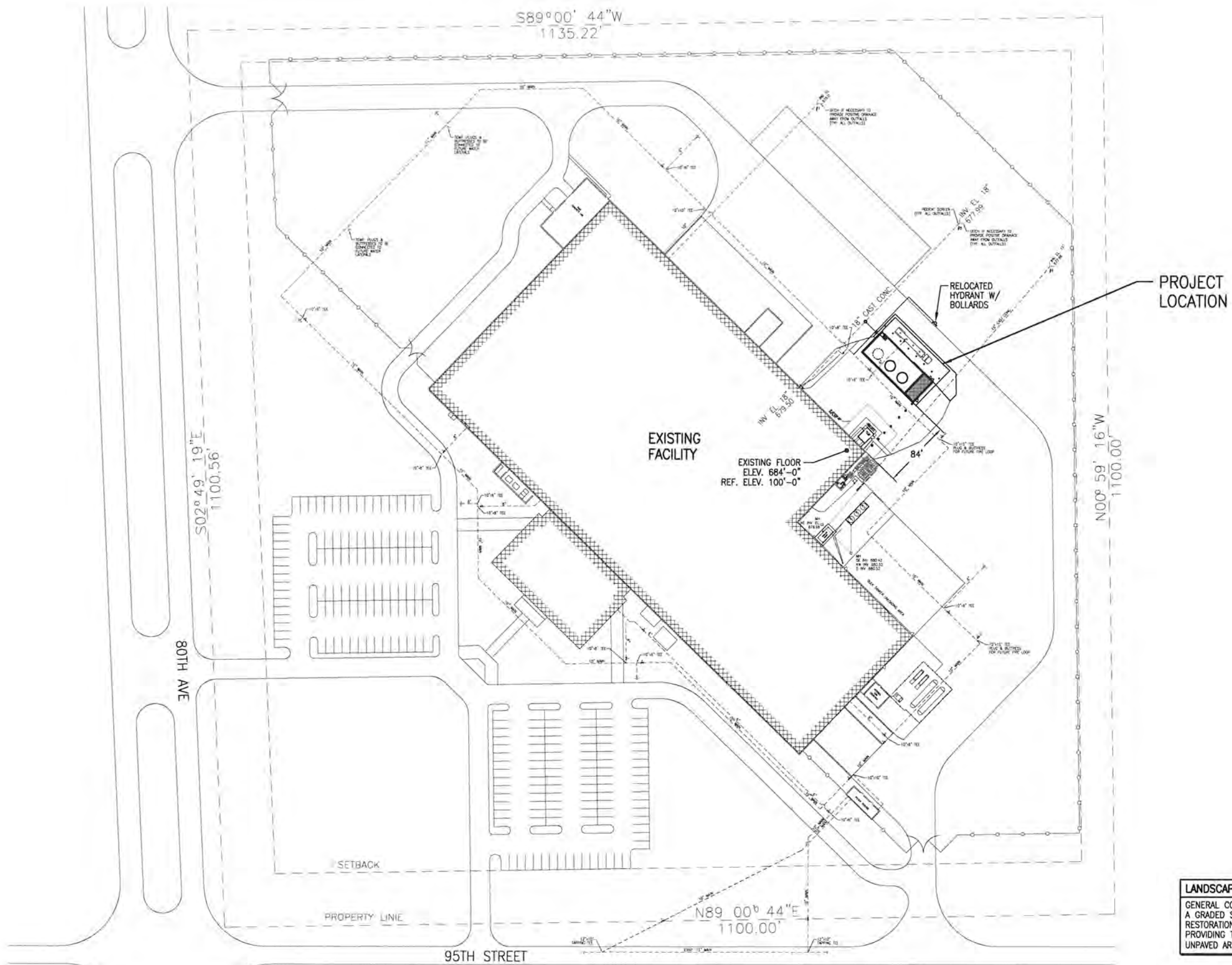
Nielsen Madsen & Barber S.C.
 Civil Engineers and Land Surveyors
 1458 Horizon Blvd, Suite 200, Racine, WI 53406
 Tele: (262)634-5588 Fax: (262)634-5024
 Website www.nmbssc.net

**RUST-OLEUM PLANT
 GRADING & EROSION
 CONTROL PLAN**
 FOR
BANE-NELSON, INC
 VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN

NO.	DATE	BY	REVISION

PROJ. MGR: MBM
 DRAFTED: ALI
 DATE: 7-19-2013
 CHECKED: MBM
 DATE: 7-19-2013
2013.0075.01
 SHEET
1 OF 1

3:28:09 PM
 Friday, July 19, 2013



PROJECT LOCATION

LANDSCAPING NOTE:
 GENERAL CONTRACTOR IS RESPONSIBLE FOR A GRADED SITE FOR PROPER DRAINAGE AND RESTORATION OF EXISTING ROADWAYS INCLUDING PROVIDING TOPSOIL AND GRASS SEEDING OF UNPAVED AREAS TO MATCH EXISTING CONDITIONS.

SITE PLAN
 SCALE: 1" = 60'-0"

SPECTRUM ENGINEERING INCORPORATED
 262-783-7725
 FAX 262-783-7726
 19395 West Capital Drive,
 Brookfield, Wisconsin 53045

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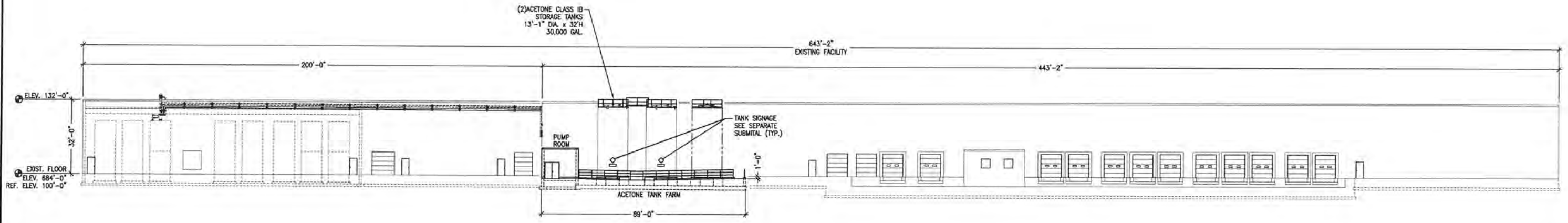
NO.	DATE	BY	REVISION
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DRAWN BY: S.A.M.	CHECKED BY: F.M.
DESIGNED BY: F. MOHSENIAN, P.E.	
PROJECT MANAGER: J.M. NOLL, P.E.	

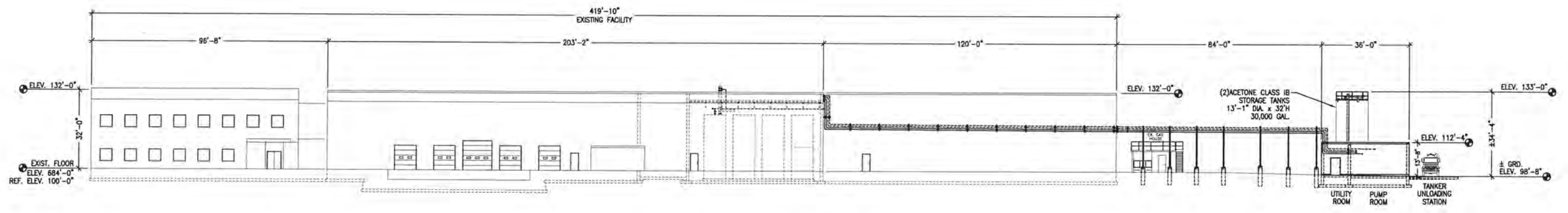
RUST-OLEUM
 8105 95TH STREET
 PLEASANT PRAIRIE, WI 53158

**ACETONE BULK TANK EXPANSION
 TANK & PIPING SYSTEM ADDITION
 SITE PLAN AND LANDSCAPING NOTES**

DRAWING NUMBER:	A-1
DATE:	8/9/13
PROJECT NUMBER:	13165
SHEET NUMBER:	2 OF 25



SOUTH ELEVATION
SCALE: 1" = 20'-0"



WEST ELEVATION
SCALE: 1" = 20'-0"

SPECTRUM ENGINEERING INCORPORATED

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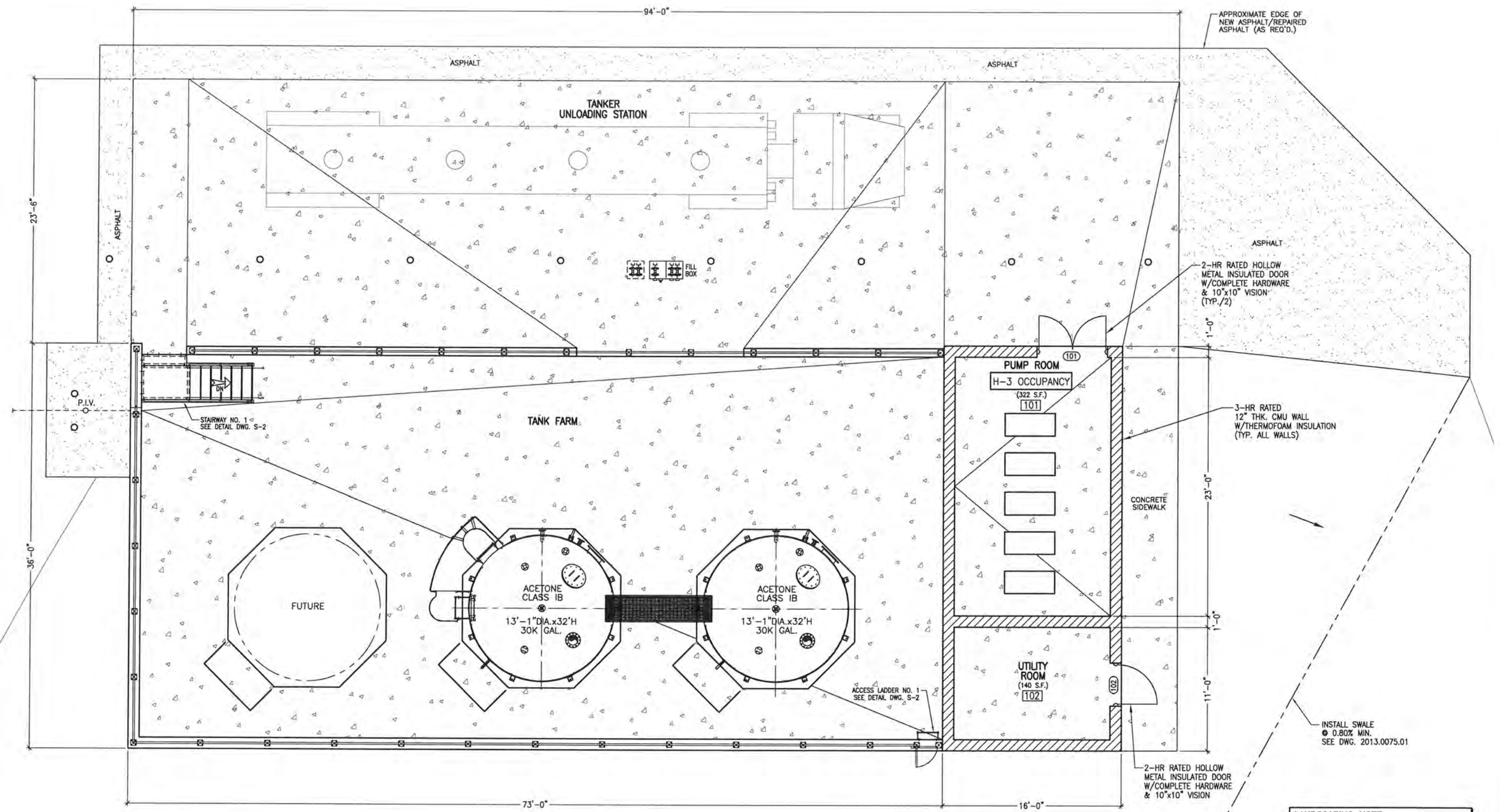
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DRAWN BY: S.A.M.	CHECKED BY: F.M.
DESIGNED BY: F. MOHSENIAN, P.E.	
PROJECT MANAGER: J.M. NOIL, P.E.	

RUST-OLEUM
8105 95TH STREET
PLEASANT PRAIRIE, WI 53158

**ACETONE BULK TANK EXPANSION
TANK & PIPING SYSTEM ADDITION
EXTERIOR ELEVATIONS**

DRAWING NUMBER:	A-2
DATE:	8/9/13
PROJECT NUMBER:	13165
SHEET NUMBER:	3 OF 25



FLOOR PLAN
SCALE: 1/4" = 1'-0"

LANDSCAPING NOTE:
GENERAL CONTRACTOR IS RESPONSIBLE FOR A GRADED SITE FOR PROPER DRAINAGE AND RESTORATION OF EXISTING ROADWAYS INCLUDING PROVIDING TOPSOIL AND GRASS SEEDING OF UNPAVED AREAS TO MATCH EXISTING CONDITIONS.

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PROJECT MANAGER: J.M. NOLL, P.E.

RUST-OLEUM
8105 95TH STREET
PLEASANT PRAIRIE, WI 53158

**ACETONE BULK TANK EXPANSION
TANK & PIPING SYSTEM ADDITION
FLOOR PLAN**

DRAWING NUMBER:	A-3
DATE:	8/9/13
PROJECT NUMBER:	13165
SHEET NUMBER:	4 OF 25

GENERAL NOTES

1.1 GENERAL REQUIREMENTS

- THE FOLLOWING GENERAL AND SPECIAL NOTES, GENERAL REQUIREMENTS, AND SPECIFICATIONS TOGETHER WITH THE DESIGN DRAWINGS AS LISTED ON THE TITLE PAGE, SHALL APPLY TO ALL CONTRACTORS, SUB-CONTRACTORS AND SUPPLIERS ENGAGED IN EXECUTION OF THE WORK SHOWN ON THESE PLANS.
- CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, TOOLS AND EQUIPMENT TO PURCHASE AND INSTALL ALL WORK RELATED TO THE CONSTRUCTION OF THE PROPOSED ACETONE BULK TANK EXPANSION FOR RUST-OLEUM CO. THIS WORK SHALL BE PROVIDED AS DETAILED ON THE PROJECT DRAWINGS, SPECIFICATIONS AND THE PROJECT SCOPE OF WORK, SUBJECT TO THE TERMS AND CONDITIONS SET FORTH IN THE INSTRUCTIONS TO BIDDERS AND CONTRACTS PROVIDED BY THE RUST-OLEUM PURCHASING DEPARTMENT. CONTRACTOR SHALL ALSO COMPLY WITH ALL APPLICABLE SAFETY AND HEALTH REQUIREMENTS WHEN CONDUCTING WORK ON THE PREMISES.
- WORK SHALL BE PROVIDED BY QUALIFIED EXPERIENCED CONTRACTORS IN COMPLIANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS AND WITH DUE REGARD FOR WORKER'S HEALTH AND SAFETY. CONTRACTORS CONDUCTING THE WORK SPECIFIED SHALL HOLD HARMLESS THE OWNER AND ENGINEER AGAINST ANY CLAIMS ARISING DUE TO NEGLIGENCE OF THE CONTRACTOR. CONTRACTOR SHALL BE RESPONSIBLE FOR HIRING, MAINTAINING, AND SUPERVISING HIS PERSONNEL AND ALL OTHER TRADES ASSOCIATED WITH HIS WORK.
- ALL CONSTRUCTION SHALL BE EXECUTED IN CONFORMANCE WITH THE FOLLOWING:
 - PLANS AND SPECIFICATIONS
 - STATE OF WISCONSIN BUILDING AND SAFETY CODES
 - GOVERNING LOCAL AND MUNICIPAL CODES
 - AMERICAN INSTITUTE OF STEEL CONSTRUCTION
 - AMERICAN SOCIETY OF TESTING MATERIALS SPECIFICATIONS
 - CONCRETE REINFORCING STEEL INSTITUTE
 - AMERICAN WELDING SOCIETY SPECIFICATION "A5S STRUCTURAL CODE"
 - STEEL DECK INSTITUTE
 - OSHA

CONTRACTOR SHALL ENSURE FAMILIARITY WITH THE ABOVE ITEMS.

CONTRACTOR SHALL PROVIDE ALL SURVEYING NECESSARY TO CHECK AND VERIFY GRADE ELEVATIONS, BUILDING AND COLUMN LOCATIONS, PROFILES AND ELEVATIONS OF STRUCTURES; AND TO IDENTIFY ANY INTERFERENCES WITH THE NEW WORK. ENGINEER SHALL BE NOTIFIED OF ANY INTERFERENCES BEFORE CONTRACTOR BEGINS WORK. CONTRACTOR SHALL VERIFY ALL PROFILES, HEIGHTS AND DIMENSIONS FOR THE PROJECT PRIOR TO FABRICATION OF ANY MATERIAL, AND INFORM THE ENGINEER OF ANY DISCREPANCIES OR MISSING INTERFERENCES.

CONTRACTOR SHALL COORDINATE WITH OWNER AND OTHER TRADES PRIOR TO PROVIDING OPENINGS IN WALLS, ROOFS, ETC. IN NO CASE SHALL STRUCTURAL ALTERATIONS OR WORK AFFECTING A STRUCTURAL MEMBER BE MADE, UNLESS APPROVED BY THE ENGINEER.

SHOP DRAWINGS - SUBMIT FIVE (5) BLUELINE PRINTS FOR APPROVAL ON SAME SIZE SHEETS AS DESIGN DRAWINGS. SEPARATE BAR LISTS WILL NOT BE ACCEPTED. ENGINEER'S APPROVAL DOES NOT RELIEVE THE CONTRACTOR OF ANY RESPONSIBILITY FOR CORRECTNESS, FIT OR SMOOTHNESS OF DETAILS. MANUFACTURER'S SPECIFICATIONS, CUT SHEETS, AND PRODUCT SAMPLES, COLOR CHIPS, ETC., SHALL ACCOMPANY SHOP DRAWING SUBMITTALS. ENGINEER'S REVIEW OF THE SHOP DRAWINGS IS REQUIRED PRIOR TO FABRICATION. CONTRACTOR MUST ALLOW 7 DAYS TURNAROUND FOR SHOP DRAWING REVIEW FOR EACH SUBMITTAL. SHOP DRAWINGS MUST CLEARLY SHOW DETAILS FOR ACCURATE PLACING OF REINFORCING STEEL, STRUCTURAL STEEL, ETC.

DUE TO CONSTRUCTION SCHEDULING CONSTRAINTS FOR THIS PROJECT, CONTRACTOR SHALL DEVELOP A DETAILED AND FORMAL CONSTRUCTION SCHEDULE AGREEABLE TO OWNER. CONSTRUCTION SCHEDULE MUST BE KEPT CURRENT BY THE CONTRACTOR AND SHALL BE REVIEWED WITH OWNER AT A WEEKLY PROGRESS MEETING TO BE HELD AT THE PROJECT SITE.

CONTRACTOR SHALL PROVIDE, ERECT, AND MAINTAIN FENCES, FLAGGING, GUARD LIGHTS, BARRICADES, WARNING SIGNS AND GUARDS AS NECESSARY TO PROTECT ALL PERSONNEL, MATERIAL, STORAGE, UTILITY PIPING, ELECTRICAL CONDUITS, BUILDINGS AND STRUCTURES. CONTRACTOR SHALL MAKE EVERY EFFORT TO LOCATE EXISTING UNDERGROUND UTILITIES IN THE AREA OF CONSTRUCTION WELL IN ADVANCE OF START OF CONCRETE WORK. ACCURATE INFORMATION OBTAINED BY THE CONTRACTOR'S SURVEY SHALL BE PROVIDED TO OWNER FOR THEIR ENGINEERING FILES. THIS INFORMATION SHALL INCLUDE TYPE OF UTILITY, SIZE AND MATERIAL OF PIPES OR CONDUITS, DEPTH BURIED, ROUTING, AND WHETHER OR NOT IT IS ABANDONED. ANY INTERFERENCE WITH THE NEW WORK MUST BE REPORTED TO THE ENGINEER FOR VARIANCE APPROVAL.

CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE CONSTRUCTION AND MATERIAL STORAGE SITE IN A CLEAN AND ORDERLY MANNER. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF ALL UNUSED MATERIALS FROM OWNER'S PROPERTY AT THE COMPLETION OF WORK.

1.2 DESIGN LOADS

ROOF SNOW LOAD	30 PSF + DRIFTING PER ASCE 7-98
ROOF DEAD LOAD	15 PSF + EQUIPMENT LOAD
ROOF COLLATERAL DEAD LOAD	10 PSF
STAIRWAYS	100 PSF
BASIC WIND SPEED	90 MPH
EXPOSURE	(ALL SITES) C
SEISMIC DESIGN PARAMETERS	SDS = .11
SEISMIC USE GROUP	II
SOIL BEARING CAPACITY	3,000 PSF - REFER TO GEOTECHNICAL REPORT PREPARED BY GILES ENGINEERING.

2.0 EARTHWORK

- ALSO REFER TO PROJECT REQUIREMENTS AND SPECIFICATIONS INDICATED ON CIVIL DRAWINGS.
- PROVIDE ALL SURVEYING AS NECESSARY TO LOCATE THE PROPOSED FACILITY AND VERIFY GRADE ELEVATIONS. ANY DISCREPANCIES MUST BE REVIEWED BY OWNER AND ENGINEER PRIOR TO EXCAVATION. BENCH MARKS AND LOCATING POINTS SHALL BE CAREFULLY MAINTAINED THROUGHOUT THE CONSTRUCTION.
 - EXCAVATE FOR STRUCTURES TO THE LINES AND GRADES SHOWN OR AS REQUIRED TO ACCOMPLISH THE CONSTRUCTION.
 - THE CONTRACTOR SHALL DESIGN, INSTALL, AND MAINTAIN ALL SHORING, SHEETING, BRACING AND SLUICING AS NECESSARY TO SUPPORT THE SIDES OF ALL EXCAVATIONS.
 - EXCAVATE UNSUITABLE MATERIALS, SUCH AS SOFT OR SPONGY EARTH, MUCK, MUD, ORGANIC MATTER, CLAY, ASHES, CAVES, Boulders AND CORNERS LARGER THAN 3-INCHES IN DIAMETER. THESE MATERIALS SHALL BE REMOVED AND REPLACED WITH GRANULAR FILL MATERIAL AS SPECIFIED HEREINAFTER.
 - ALL FINAL SUBGRADE SURFACES SHALL BE VISUALLY OBSERVED AND PLACED IN 8 INCH LIFTS/LAYERS AND PROOF ROLLED TO DETECT SOFT SPOTS. FILLING SOILS THAT MUST BE REMOVED AND REPLACED WITH GRANULAR FILL MATERIAL. THE GRANULAR FILL MATERIAL SHALL BE COMPACTED TO 95 PERCENT OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D1557.
 - ALL BACKFILL AND FILL MATERIALS SHALL MEET THE REQUIREMENTS FOR GRANULAR FILL AS SPECIFIED HEREINAFTER.
 - ALL BACKFILL AND FILL MATERIALS SHALL BE PLACED IN 8 INCH LIFTS/LAYERS AND COMPACTED TO 95 PERCENT OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D 1557.
 - BACKFILLING ON ONE SIDE OF A CONCRETE WALL SHALL NOT BE PERMITTED UNTIL THE CONCRETE HAS OBTAINED FULL DESIGN STRENGTH.
 - COMPACTED STRUCTURAL BASE MATERIAL SHALL BE PLACED UNDER ALL PAVING SLABS, WALLS, CURBS, STRUCTURES, AND OTHER AREAS TO A MINIMUM THICKNESS OF 8-INCHES, UNLESS OTHERWISE SHOWN. COMPACT TO NOT LESS THAN 95 PERCENT RELATIVE COMPACTION.
 - THE CONTRACTOR SHALL REPAIR ANY EXISTING STRUCTURES OR UTILITY SERVICE LINES WHICH ARE DAMAGED BY THE CONTRACTOR DURING EXCAVATING AND BACKFILLING, WITHOUT ANY ADDITIONAL COST TO THE OWNER.
 - STRUCTURAL BASE OR SUB-BASE: IMPORTED ONE-INCH OR SMALLER CRUSHED GRAVEL OR CRUSHED ROCK, FREE FROM DIRT, CLAY BALLS, AND ORGANIC MATERIAL, WELL GRADED FROM COARSE TO FINE, CONTAINING SUFFICIENT FINER MATERIAL FOR PROPER COMPACTION. GRANULAR FILL: DURABLE PARTICLES OF SAND AND GRAVEL MATERIAL THAT IS FREE OF ROOTS, ORGANIC MATTER, TRASH, DEBRIS, AND ROCKS WITH NO PARTICLES LARGER THAN 3-INCHES, RANGING FROM FINE TO COARSE IN A SUBSTANTIALLY UNIFORM DISTRIBUTION. SUFFICIENT FINER MATERIAL SHALL BE PRESENT TO FILL ALL THE VOIDS OF THE COARSE MATERIAL FOR PROPER COMPACTION.
 - PROVIDE ALL NECESSARY GRADING AND SHIPING FOR LANDSCAPING AND INSTALLATION OF SHRUBS BY OWNER.

3.0 CONCRETE

PROVIDE CAST-IN-PLACE CONCRETE WORK AS SHOWN ON CONTRACT DRAWINGS. SOIL BEARING PRESSURE, SUB BASE COMPACTION, SIZES AND LOCATIONS MUST BE VERIFIED PRIOR TO START OF FORM WORK. SERVICE OF A SOIL ENGINEER TO VERIFY BEARING CAPACITIES SHALL BE PROVIDED BY CONTRACTOR. CONTRACTOR SHALL PROVIDE CERTIFIED PERSONNEL TO CONDUCT CONCRETE SLUMP TEST AND PREPARE STANDARD TEST CYLINDERS. LABORATORY ANALYSIS FOR COMPRESSION TESTING SHALL BE PROVIDED BY CONTRACTOR. SLUMP TESTING AND PREPARATION OF CONCRETE CYLINDERS SHALL BE PROVIDED BY INDEPENDENT TESTING AGENCY HIRED BY CONCRETE CONTRACTOR.

1. ALL CAST-IN-PLACE CONCRETE SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 4000 PSI AND MEET THE FOLLOWING:

MINIMUM CEMENT CONTENT	-564 lbs. per cu. yd. (ASTM C150 TYPE I)
MAXIMUM WATER/CEMENT RATIO	-0.41
SUMP RANGE OF CONCRETE	-3 ± 1/2 INCHES
AIR ENTRAINING ADMIXTURE	-NONE

- ALL CONCRETE SHALL CONTAIN A WATER-REDUCING ADMIXTURE.
- WATER-REDUCING ADMIXTURE: ASTM C494, TYPE A OR D, WRA-75 BY W.R. GRACE COMPANY OR EQUAL.
- ALL REINFORCING STEEL SHALL CONFORM TO ASTM A615, GRADE 60, INCLUDING SUPPLEMENT S1.
- ALL REINFORCING STEEL SHALL BE DETAILED AND PLACED IN ACCORDANCE WITH THE AC-308 BUILDING CODE, LATEST EDITION AND "PLACING REINFORCING BARS," RECOMMENDED PRACTICES.
- ALL BENDS, UNLESS OTHERWISE SHOWN, SHALL BE A 90 DEGREE STANDARD HOOK AS DEFINED IN LATEST EDITION OF AC 318.
- ALL VERTICAL WALL REINFORCING BARS SHALL BE LAPPED WITH DONNELS OF THE SAME SIZE AND SPACING AS THE RESPECTIVE COLUMN AND WALL REINFORCING BARS.
- ALL REINFORCEMENT LAP SPACES, UNLESS OTHERWISE NOTED, SHALL CONFORM TO THE FOLLOWING TABLE.

BAR SIZE	10 OR SMALLER	LARGER
OR ID	TOP BAR - 45 DIA. MIN 2'-0" - 3'-8"	4'-9" - 6'-0" 7'-8" 8'-0"
OTHER BAR	32 DIA. MIN 1'-2" - 3'-8"	3'-8" 4'-1" 5'-0" 6'-0"

- * TOP BARS SHALL BE DEFINED AS ANY HORIZONTAL BARS PLACED SUCH THAT MORE THAN 1/2 OF FRESH CONCRETE IS CAST IN THE MEMBER BELOW THE BAR. IN ANY SINGLE POUR, HORIZONTAL WALL BARS ARE CONSIDERED TOP BARS.
- MINIMUM CONCRETE COVER ON TIES, STIRRUPS, AND MAIN BAR:
- A. CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH - 3 INCHES.
 - B. CONCRETE EXPOSED TO EARTH OR WEATHER - 2 INCHES FOR #8 BAR AND LARGER - 1-1/2 INCHES FOR #5 BAR AND SMALLER.

- ALL CONSTRUCTION AND CONTROL JOINTS IN CONCRETE SLABS ON GRADE SHALL BE LOCATED BY THE CONTRACTOR AND DETAILED AS SHOWN ON THE DRAWINGS. MAX SPACING OF JOINTS SHALL BE 12'-0" OR AS INDICATED ON DRAWINGS. ALL CONSTRUCTION JOINTS IN WALL AND GRADE BEAMS SHALL BE LOCATED BY THE CONTRACTOR AND DETAILED AS SHOWN ON THE DRAWINGS. LIMIT SPACING OF ALL CONSTRUCTION JOINTS TO 25 FT. OR LESS.
- REINFORCING STEEL BAR SUPPORTS SHALL BE OF PROPER TYPE FOR INTENDED USE. BAR SUPPORTS FOR REINFORCING PLACED ON GRADE SHALL BE MADE OF SMALL CONCRETE OR MASONRY BLOCKS OR CLASS 3 BAR SUPPORTS WITH EARTH-BEARING BASES (SAND PLATES). CLASS 1 PLASTIC PROTECTED BAR SUPPORTS SHALL BE USED FOR ALL OTHER REINFORCING BARS.
- FORM TIES SHALL BE CONSTRUCTED SO THAT THE TIE REMAINS EMBEDDED IN THE WALL, WITH REMOVABLE CONICAL INSERTS EACH FACE, WITH NO METAL WITHIN TWO-INCHES OF THE FINAL CONCRETE SURFACE AFTER THE ENDS ARE REMOVED. FILL THE FORM WITH DRY PACK NON-SHRINK GROUT.
- ALL CONCRETE SHALL BE CONSOLIDATED WITH INTERNAL VIBRATORS AS REQUIRED TO CONSOLIDATE THE CONCRETE DURING PLACEMENT. ALL EQUIPMENT AND METHODS SHALL CONFORM TO ACI 309.
- ALL CONCRETE PLACED IN HOT WEATHER (AMBIENT TEMPERATURE ABOVE 90° F) SHALL CONFORM TO THE REQUIREMENTS OF ACI 306 FOR A MINIMUM OF SEVEN (7) DAYS OR UNTIL CONCRETE HAS ATTAINED FULL DESIGN STRENGTH.
- FORM 3/4-INCH BEVELS AT ALL CONCRETE EDGES OR WHERE SPECIFIED ON DRAWINGS.
- FLOOR SLABS/SLAB-ON-GRADE SHALL HAVE A FINISH AS DIRECTED BY OWNER. ALL EXPOSED PORTIONS OF VERTICAL WALLS SHALL BE RUBBED WITH NON-SHRINK GROUT TO PROVIDE WALL SURFACES. FORMS HAND-PROVED TO FINISH THE FLOORING FACILITY FLOORS. PREPARE SURFACE AND APPLY 2 COATS OF MONOCURE LAPOLITH CONCRETE HARDENER PER MANUFACTURER'S RECOMMENDATION.
- ALL CONCRETE SURFACES SHALL RECEIVE URINE-N-SEAL CURING AND SEALING COMPOUND.
- DRY PACK NON-SHRINK GROUT SHALL BE SET-GROUT, MANUFACTURED BY MASTER BUILDERS INCORPORATED, OR EQUAL.
- FLOABLE NON-SHRINK GROUT SHALL BE MASTER FLOOR 928, MANUFACTURED BY MASTER BUILDERS INCORPORATED, OR EQUAL.
- EXPANSION JOINT MATERIAL SHALL BE ENTUMESCENT TYPE CONFORMING TO ASTM D 994 OR D 1751.
- ROOFING FELT SHALL BE THIRTY-POUND (30#) ASPHALT-SATURATED ROOFING FELT CONFORMING TO ASTM D226, TYPE B.
- BONDING AGENT SHALL BE SIKADUR 32 H-400 BY Sika CHEMICAL CORPORATION, OR EQUAL.
- WATERSTOP SHALL BE OF CONTINUOUS, 4"-JP B38 AND 4"-JP A30 (WHERE SPECIFIED) TPE-RUBBER TYPE (JP SPECIALTIES INC. 800-921-3550) OR APPROVED EQUAL, AND SHALL BE INSTALLED AT ALL FLOOR AND WALL JOINTS.
- ROOF INSULATION SHALL BE CLOSED CELL, SELF-DENEGRATING EXTRUDED POLYSTYRENE BOARD INSULATION WITH INTEGRAL HIGH DENSITY SKIN, DOW "STYROFOAM" OR APPROVED EQUAL, ADHERED FOR INSULATION AS RECOMMENDED BY MANUFACTURER.
- APPLY JOINT SEALANT TO ALL RETAINING WALLS AND SLAB CONTROL AND CONSTRUCTION JOINTS. JOINT SEALANT SHALL BE DOW 140 AS MANUFACTURED BY DOW INC. MINIMUM DEPTH OF THE INSTALLED JOINT SEALANT SHALL BE 1/2" INCH. USE A BACKER ROD ON A BEAD BACKER WHEN INSTALLING THE JOINT SEALANT. ALL JOINTS SHALL BE CLEANED AND COATED WITH A PRIMER PRIOR TO THE SEALANT INSTALLATION. ALL WORK SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
- SHOVED CONTROL JOINTS OCCUR ON LINES AS SHOWN ON THE DRAWINGS AND SHALL BE CUT WITHIN 24 HOURS AFTER POURING.
- SPECIAL DETAILS:
 - PRIOR TO POURING CONCRETE, ARCHITECTURAL, CIVIL, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS MUST BE CHECKED TO VERIFY THAT PIPES, SLEEVES, CONDUIT, RISERS AND ANY ITEM THAT SHOULD BE FORMED OR EMBEDDED ARE PROPERLY LOCATED AND SECURED IN PLACE.
 - REFER TO ALL EQUIPMENT VENDOR DRAWINGS WHEN THE EQUIPMENT IS DIRECTLY ATTACHED TO CONCRETE.
 - SAMPLES SHALL BE TAKEN DURING THE PROGRESS OF WORK FOR DETERMINATION OF SLUMP AND COMPRESSIVE STRENGTH. MINIMUM OF 4 CYLINDERS SHALL BE PREPARED FOR EACH 100 TO 150 CU. YARD OF CONCRETE OR PART THEREOF USED IN ONE DAY'S PLACING.
 - INSTALL ALL ANCHOR BOLTS, EMBEDDED SHED PLATES, AND OTHER MISCELLANEOUS EMBEDDED STEEL AS SPECIFIED ON THESE DRAWINGS. LOCATION OF ALL ANCHOR BOLTS AND BUILDING DIMENSIONS SHALL BE CHECKED PRIOR TO POURING CONCRETE.
 - SUBMIT SIX (6) COPIES OF SUBMITTALS FOR: CONCRETE DESIGN MIX, REINFORCING BARS, SEALANT MATERIAL, INSULATION, EXPANSION FELT MATERIAL, GROUTS, CURING AGENT, BONDING AGENT, AND CONCRETE TEST RESULT FOR ENGINEER'S REVIEW AND APPROVAL PRIOR TO FABRICATION AND/OR POURING.
 - ALL PROJECT DRAWINGS MUST BE CHECKED FOR UNDERGROUND UTILITIES, CONDUITS AND REINFORCING BAR GRIDDING DETAIL PRIOR TO POURING CONCRETE.

4.0 CONCRETE MASONRY (CMU)

- ALL CONCRETE MASONRY CONSTRUCTION SHALL CONFORM TO THE WISCONSIN ADMINISTRATIVE CODE AND SPECIFICATIONS FOR THE DESIGN AND CONSTRUCTION OF LOAD BEARING CONCRETE MASONRY. NATIONAL CONCRETE MASONRY ASSOCIATION (NCMA), LATEST EDITION.
- ALL CONCRETE MASONRY (CMU) UNITS SHALL CONFORM TO ASTM C90, GRADE N. ALL MASONRY SHALL BE BY COUNTY MATERIALS CORPORATION OR APPROVED EQUAL. THE EXTERIOR WALLS AT THE NEW RESTROOM SHALL BE PRE-COLORED ARCHITECTURAL CONCRETE MASONRY UNITS WITH PRE-COLORED MORTAR JOINTS AS INDICATED ON THE DRAWINGS. THE EXTERIOR WALLS AT THE NEW WAREHOUSE SHALL BE AS SPECIFIED ON ELEVATIONS, SECTIONS, AND DETAILS. THE INTERIOR WALLS SHALL BE STANDARD UNIT MASONRY. ALL EXTERIOR MASONRY UNITS SHALL BE PROVIDED WITH WATER-REPELLENT SYSTEM. PROVIDE FORMED-IN-PLACE INSULATION IN WALLS AS INDICATED ON PLANS. FIRE RATED WALL ASSEMBLY SHALL MEET WISCONSIN BUILDING CODE REQUIREMENTS AS AN ASSEMBLY. SEPARATE SUBMITTAL IS REQUIRED BY THE CONTRACTOR. FORMED-IN-PLACE INSULATION SHALL BE MANUFACTURED BY VALOURED CHEMICAL PRODUCTS, INC. (FORM-FILS00)

- ALL MORTAR SHALL CONFORM TO ASTM C270, TYPE S AND BE FRESHLY PREPARED AND UNMORTARED MIXED AS FOLLOWS:
 - 1 PART PORTLAND CEMENT (ASTM C150 TYPE I)
 - 1/4 PART TO 1/2 PART FATTY OR HYDRATED LIME (ASTM C207, TYPE S)
 - 2 1/4 TO 3 PARTS CLEAN WELL-GRADED SAND
 - USE WATER-REPELLENT ADMIXTURE AS RECOMMENDED BY BEND INDUSTRIES
- ALL HORIZONTAL AND VERTICAL MORTAR JOINTS SHALL HAVE FULL MORTAR COVERAGE ON THE FACE SHELLS.
- ALL GROUT SHALL HAVE A 28-DAY COMPRESSIVE STRENGTH OF 2,000 PSI AND CONFORM TO ASTM C 478. THE GROUT MIX SHALL HAVE A MINIMUM OF 80% LBS OF CEMENT PER CUBIC YARD.
- ALL GROUTING OF MASONRY WALLS SHALL BE LOW-LIFT GROUTING WITH A MAXIMUM GROUT POUR HEIGHT OF FOUR FEET.
- ALL REINFORCING STEEL SHALL CONFORM TO ASTM A615, GRADE 60.
- ALL MASONRY WALLS SHALL BE REINFORCED AS FOLLOWS UNLESS DETAILED OTHERWISE:

WALL THICKNESS	REINFORCEMENT LOCATION	HORIZONTAL REINFORCEMENT	VERTICAL REINFORCEMENT
12", 8"	CENTER OF WALL	JOINT REIN @ 16" (2) #6 @ 48" OR AS INDICATED	AS INDICATED
- ALL HORIZONTAL REINFORCING SHALL BE CONTINUOUS AROUND CORNERS AND THROUGH INTERSECTION WALLS. PROVIDE HORIZONTAL BOND BEAM WITH REINFORCEMENT AT THE FIRST BLOCK COURSE AND AT THE TOP OF THE WALL.
- ALL HORIZONTAL JOINT REINFORCEMENT SHALL BE NOT DIP CALVAZED AFTER FABRICATION AND CONFORM TO ASTM A185, AS MANUFACTURED BY DOW-10 WALL NATIONAL, INC. OR EQUAL.
- ALL REINFORCING SHALL BE LAP SPLICED 40 BAR DIAMETERS MINIMUM AND WIRE TIED TOGETHER.
- ALL VERTICAL REINFORCING SHALL BE LAPPED WITH MATCHING DONNELS FROM FOUNDATION.
- PROVIDE 2-#4 VERTICAL BARS FULL WALL HEIGHT EACH SIDE OF ALL OPENINGS.
- ALL MASONRY CELLS WITH REINFORCING TO BE FULLY GROUTED OR FILLED WITH CONCRETE.
- ALL BOND BEAMS TO BE FULL DEPTH.
- ALL OPENINGS TO BE SHORED AS REQUIRED UNTIL GROUT IS FULLY CURED.
- PROVIDE VERTICAL CONTROL JOINTS IN ALL CMU WALLS. CONTROL JOINTS SHALL NOT EXCEED 20'-0" AND SHALL BE EQUIPPED WITH A PRE-FORMED CONTROL JOINT EXTRUSION.
- JOINT SEALANT FOR MASONRY WALL JOINTS AND AT OPENINGS SHALL BE SILICONE BASED, SINGLE-COMPONENT, NONSAG CLASS A, NO. 790 MANUFACTURED DOW CORNING CORPORATION OR EQUAL.
- INSTALL MECHANICAL CONTRACTOR PROVIDED PIPE PENETRATION SLEEVES WHERE REQUIRED. REVIEW LOCATION OF PENETRATIONS WITH ARCHITECTURAL AND TUCK POINT. ALL WALL PENETRATIONS AND BEAM SEATS, FILL-IN ALL STRUCTURAL BEAM POCKETS WITH MATCHING MASONRY.

5.0 STRUCTURAL STEEL

PROVIDE ALL SURVEYING, VERIFICATIONS, DETAILING, FABRICATION AND INSTALLATION AS NECESSARY FOR A COMPLETE STRUCTURE NOT LIMITED TO: STRUCTURAL STEEL BEAMS, COLUMNS, MISC. SUPPORT ANGLES, BRACINGS, REINFORCEMENTS, BEAM PLATES, ANCHOR BOLTS, GUARD POSTS, HANDRAILS, STAIRWAYS, ETC.

- DESIGN STANDARDS:
 - ALL STRUCTURAL STEEL DESIGN, DETAILING, FABRICATION AND ERECTION SHALL CONFORM TO THE FOLLOWING CURRENT STANDARDS:
 - SPECIFICATIONS FOR THE DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS BY THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION
 - AMERICAN SOCIETY OF TESTING MATERIALS SPECIFICATIONS
 - AMERICAN WELDING SOCIETY SPECIFICATION "A5S STRUCTURAL CODE"
 - WISCONSIN ADMINISTRATIVE CODE
- MATERIAL:
 - STRUCTURAL STEEL SHALL CONFORM TO ASTM A572 OR 50 FOR ALL BEAMS & COLUMNS, AND ASTM A58 FOR ALL OTHER SHAPES AND PLATES.
- CONNECTIONS:
 - SHOP CONNECTIONS TO BE BOLTED OR WELDED. FIELD CONNECTIONS TO BE BOLTED UNLESS OTHERWISE NOTED ON DRAWINGS.
 - ALL BOLTED CONNECTIONS SHALL BE HIGH-STRENGTH ASTM A 325 BOLTS CONFORMING TO "STRUCTURAL JOINTS USING ASTM A325 OR A490 BOLTS" FOR MATERIAL AND DESIGN.
 - ALL BOLTS SHALL BE DESIGNED AS BEARING TYPE WITH THE THREADS INCLUDED IN SHEAR PLANES (A505 N).
 - BOLT SIZES SHALL BE 3/4" DIAMETER UNLESS OTHERWISE NOTED.
 - HIGH-STRENGTH BOLTS IN BEARING TYPE CONNECTIONS MAY BE INSTALLED WITH ANY OF THE FOLLOWING APPROVED AISC METHODS:
 - LOAD-INDICATOR WASHER
 - TURNOFF-THE NUT
 - CALIBRATED WRENCH
- IF BEAM REACTIONS ARE NOT SHOWN, CONNECTIONS SHALL BE DESIGNED FOR HALF THE TOTAL UNIFORM LOAD CAPACITY AS SINGLE BEAM (AISC MANUAL). CONNECTION MAY BE SELECTED FROM THE LATEST EDITION AISC MANUAL, OF THE HIGHER BOLT AND BEARING VALUES OF THE NEW 1976 SPECIFICATION IS USED, SPECIAL ATTENTION MUST BE GIVEN TO THE SPACING EDGE DISTANCE OF HOLES).
- WELDED CONNECTIONS SHALL CONFORM TO THE AMERICAN WELDING SOCIETY STANDARDS FOR PRE-QUALIFIED JOINTS, DETAILS, PROCESS AND PROCEDURE USING E-70 ELECTRODES. WELDING PROCEDURES SHALL CONFORM TO ASTM SPECIFICATIONS FOR MILD STEEL ARC-WELDING ELECTRODES E-70.
- PROVIDE AND INSTALL ALL INTERIOR FRAMED OPENINGS REQUIRED FOR HVAC AND PROCESS EQUIPMENT. ALL MEMBER SIZES AND LOCATION SHALL BE VERIFIED WITH OWNER/ENGINEER PRIOR TO FABRICATION.
- METAL BEDDING:
 - ROOF DECK SHALL BE WIDE RIBBED (TYPE "S") PRIMER PAINTED, 1/2" DEEP, 22 GAUGE THICK, UNLESS OTHERWISE SHOWN ON DRAWINGS, MANUFACTURED BY VALMORF, CORDEX OR APPROVED EQUAL.
 - DECK SHALL BE OVERLAPPED @ MIN. 1" ON THE SIDES AND MIN. OF 3" @ ENDS WHEN SUPPORTED BY ROOF FRAMING.
 - STEEL ROOF DECK SHALL BE FASTENED TO ALL STRUCTURAL SUPPORTS BY WELDING IN THE 1, 5, 1, 3, 1, 3, 1, 3 AND BY 7/8" RIBS OF 3/4" DIA. AND BY WELDS IN THE 1, 1, 1, 2 NO. 5 TH. AND 6 TH RIBS OF 30 INCH WIDE DECK PERPENDICULAR TO DECK RIBS. WELDS SHALL BE MADE WITH 5/8" DIAMETER PUDDLE WELDS. IN NO CASE SHALL WELDS BE SPACED GREATER THAN 12" O.C.
 - SIDE SEAMS SHALL BE FASTENED TOGETHER WITH #10 SCREWS @ 12" O.C.
- SHOP PAINTING:
 - STRUCTURAL STEEL SHALL BE CLEANED TO THE MINIMUM ACCEPTANCE STANDARD REQUIREMENTS OF THE STEEL STRUCTURES PAINTING COUNCIL. CURRENT SPECIFICATIONS SSPC-SP6 DUTILED "COMMERCIAL BLAST CLEANING".
 - ALL STEEL SHALL BE SHOP PRIMED WITH ONE COAT OF RUST INHIBITIVE METAL PRIMER (COMPARABLE WITH ENAMEL FINISH COAT) WITH A DRYED FILM THICKNESS OF 2.0 MILS MINIMUM. THE STRUCTURAL STEEL FRAMING IN THE H-2 OCCUPANCY AREA WHERE SCHEDULED TO RECEIVE FIRE PROOFING, SHALL BE DELIVERED AND INSTALLED UNPAINTED (CLEAN ALL SURFACES).
- SUBMITTALS:
 - SUBMIT SHOP DRAWINGS (6 BLUEPRINT SETS) INCLUDING COMPLETE DETAILS AND SCHEDULES FOR FABRICATION AND SHOP ASSEMBLY OF MEMBERS WITH DETAILS, SCHEDULES, PROCEDURES AND DIMENSIONS SHOWING THE SEQUENCE OF ERECTION. INCLUDE DETAILS OF CUTS, CONNECTIONS, CAMBER, HOLES AND OTHER PORTMENT DATA. INDICATE WELDS BY STANDARD AISC SYMBOLS AND SHOW SIZE, LENGTH AND TYPE OF EACH WELD. PROVIDE SETTING DRAWINGS AND CONNECTIONS FOR THE INSTALLATION OF ANCHOR BOLTS AND OTHER ANCHORAGES. NO FABRICATION OF STEEL SHALL BE DONE BEFORE SHOP DRAWING APPROVAL. ARCHITECTURAL AND FOUNDATION DRAWINGS MUST BE USED TO PREPARE SHOP DRAWINGS.
 - QUALITY WELDING PROCESSES AND WELDING OPERATORS TO BE IN ACCORDANCE WITH AISC "STANDARD QUALIFICATION PROCEDURE". PROVIDE CERTIFICATION THAT WELDERS TO BE INVOLVED IN THE WORK HAVE SATISFACTORILY PASSED AISC QUALIFICATION TESTS WITHIN THE PREVIOUS TWELVE MONTHS.
 - SPECIFIC NOTES ON ANY PLAN OR DETAIL IN CONFLICT WITH THE ABOVE NOTES SHALL HAVE PRIORITY FOR THAT ITEM ONLY.

7.0 ROOFING SYSTEM

- ROOFING WORK SHALL BE PROVIDED FOR THE NEW CONSTRUCTION AS INDICATED ON DRAWINGS AND AS DETAILED IN THE GENERAL PROVISIONS OF THE CONTRACT. WORK SHALL INCLUDE ALL PREPARATION, VAPOR BARRIER, INSULATION, BLOODING, FASTENERS, FLASHING, COPING, ASHED SHEET ROOFING, ROOF INSULATION, WOOD ANKERS/BLOCKING AND PROPER SEALING OF ALL ROOF PENETRATIONS AND EQUIPMENT CURBS. A TREATED 2X6-SHAPED BRIMWOODS MEMBRANE WITH EXPANDED INSULATION ROOFING SYSTEM SHALL BE INSTALLED PER TRADE SPECIFICATION SCHEDULES. SLOPING PROVIDED AS INDICATED ON THE DRAWINGS. PROVIDE ROOFING MATERIALS THAT ARE COMPATIBLE WITH ONE ANOTHER UNDER CONDITIONS OF SERVICE AND APPLICATION REQUIRED, AS DEMONSTRATED BY ROOFING MANUFACTURER BASED ON TESTING AND FIELD EXPERIENCE. ROOFING CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE ALL MATERIALS, TOOLS, EQUIPMENT, AND LABOR TO PROVIDE A COMPLETELY WATER TIGHT SYSTEM THAT WILL NOT PERMIT THE PASSAGE OF LIQUID WATER AND WILL WITHSTAND WIND LOADS, THERMALLY INDUCED MOVEMENT, AND EXPOSURE TO WEATHER WITHOUT FAILURE. ROOFING CONTRACTOR SHALL BE RESPONSIBLE FOR TEMPORARY WEATHER PROTECTION OF RELATED WORK. ROOFING SHALL ONLY BE INSTALLED IN DRY CONDITIONS WITH TEMPERATURES ABOVE 40°F. PROVIDE SHEET MEMBRANE, BASE FLASHINGS, AND COMPONENT MATERIALS THAT MEET REQUIREMENTS OF FM 4450 AND FM 4470 AS PART OF A ROOFING SYSTEM AND THAT ARE LISTED IN FM'S "APPROVAL GUIDE" FOR CLASS I OR NONCOMBUSTIBLE CONSTRUCTION, AS APPLICABLE. ROOFING SYSTEM SHALL COMPLY WITH FIRE/RISK/STORM CLASSIFICATION, CLASS 1A-90. PROVIDE PLANS AND DETAILS FOR THE PROPOSED ROOFING SYSTEM PRIOR TO MATERIAL ORDERING AND INSTALLATION. THE SYSTEM SHALL BE INSTALLED AS AN EQUIVALENT TO A 20 YEAR WIND GUARANTEE SYSTEM. THAT CERTIFICATE WILL NOT BE REQUIRED. ROOFING CONTRACTOR SHALL PROVIDE A WRITTEN TWO-YEAR WORKMANSHIP (LABOR AND MATERIAL) WARRANTY AT THE COMPLETION OF WORK.

8.0 DOORS AND WINDOWS SPECIALTIES

- HOLLOW METAL DOORS & FRAMES
- DOORS SHALL BE 18 GA. OPEN TOP AND BOTTOM. BEVELED EDGES, CARBONADO HONEYCOMB CORE, REINFORCED FOR ACCESSORIES AS NECESSARY. PRIME FINISHED.
- FRAMES SHALL BE 16 GA. STEEL TO SUIT GRADE AND MODEL OF DOOR, INDOOR-DOOR, REINFORCED FOR HARDWARE AS NECESSARY, ANCHORS AS REQUIRED, PRIME FINISHED. RESILIENT RUBBER SLEEVERS FITTED INTO DRILLED HOLES.
- INSTALLATION:
- ALIGN FRAMING PLUMB AND LEVEL, FREE OF WARP OR TWIST. MAINTAIN ASSEMBLY DIMENSIONS, TOLERANCES, ALONG WITH ADJACENT WORK.
 - CAULK BETWEEN FRAMING AND ADJACENT SURFACES WITH SEALANT, COLOR TO MATCH FRAMING.
 - ADJUST WORK SO THAT DOOR SWINGS FREELY AND SMOOTHLY.
 - REMOVE ALL PROTECTIVE MATERIALS, CLEAN FRAMING OF ALL MARKS. REMOVE EXCESS SEALANT.

9.2 PAINTING

- REFER TO PLANS AND FINISH SCHEDULE. COLORS TO BE SELECTED BY OWNER.
- CONTRACTOR SHALL PROVIDE TOUCH-UP PRIMER PAINT ON SURFACES DAMAGED DURING SHIPPING, STORAGE, ERECTION AND INSTALLATION AS REQUIRED.
 - PAINTING WORK SHALL INCLUDE PROPER SURFACE PREPARATION. APPLY RUSTOLEUM PRIMER AND FINISH PAINT FOR INTERIOR AND EXTERIOR MASONRY WALLS, DOORS, STEEL FRAMING, STEEL CEILING DECK & ALL MISCELLANEOUS STEEL, AT NOT LESS THAN MANUFACTURER'S RECOMMENDED SPREADING RATE TO ESTABLISH A TOTAL DRY FILM THICKNESS INDICATED.
 - SURFACE PREPARATION:
 - BLOCK (OWNER AND CONTRACTOR): REMOVE ALL LOOSE MORTAR AND FOREIGN MATERIAL. SURFACE MUST BE FREE OF LANTANE, CONCRETE DUST, DIRT, FORM RELEASE AGENTS, MOISTURE CURING MEMBRANES, LOOSE CEMENT, AND HARDENERS. CONCRETE AND MORTAR MUST BE CURED AT LEAST 30 DAYS AT 70°F. THE PH OF THE SURFACE SHOULD BE BETWEEN 8 AND 9, UNLESS THE PRODUCTS TO BE USED ARE DESIGNED TO BE USED IN HIGH pH ENVIRONMENTS SUCH AS LIXON. ON TIE-UP AND POURED-IN-PLACE CONCRETE, COMMERCIAL DETERGENTS AND ABRASIVE BLASTING MAY BE NECESSARY TO PREPARE THE SURFACE. FILL BUG HOLES, AIR POCKETS, AND OTHER VOIDS WITH A PATCHING COMPOUND SUCH AS CONSEAL.
 - STEEL SURFACES: SOLVENT CLEANING IS A METHOD FOR REMOVING ALL VISIBLE OIL, GREASE, SOIL, DRIPPING AND CUTTING COMPOUNDS AND OTHER SOLUBLE CONTAMINANTS. SOLVENT CLEANING DOES NOT REMOVE RUST OR WALL SCALE. CHANGE RIMS AND CLEANING SOLUTION FREQUENTLY SO THAT DEPOSITS OF OIL AND GREASE ARE NOT SPREAD OVER ADDITIONAL AREAS IN THE CLEANING PROCESS. BE SURE TO ALLOW ADEQUATE VENTILATION. FOR COMPLETE INSTRUCTIONS, REFER TO STEEL STRUCTURES PAINT COUNCIL SURFACE PREPARATION SPECIFICATION NO. 1 (SPCC-SP1).
 - PREVIOUSLY COATED SURFACES: MAINTENANCE PAINTING WILL FREQUENTLY NOT PERMIT OR REQUIRE COMPLETE REMOVAL OF OLD COATINGS PRIOR TO REPAINTING. HOWEVER, ALL SURFACE CONTAMINATION SUCH AS OIL, GREASE, LOOSE PAINT, MILL SCALE, DIRT, FOREIGN MATTER, RUST, MILDEW, MORTAR, ETC. MUST BE REMOVED TO REVEAL UNIFORM SURFACE TO THE THINLY ADHERING OLD PAINT. GLOSSY SURFACES OF OLD PAINT FILMS MUST BE CLEAN AND DULL BEFORE REPAINTING. THOROUGH WASHING WITH AN ABRASIVE CLEANSER WILL CLEAN AND DULL IN ONE OPERATION, OR, WASH THOROUGHLY AND DULL BY SANDING. SPOT PRIME ANY BARE AREAS WITH AN APPROPRIATE PRIMER. RECOGNIZE THAT ANY SURFACE PREPARATION SHORT OF TOTAL REMOVAL OF THE OLD COATING MAY COMPROMISE THE SERVICE LIFE OF THE SYSTEM. CHECK FOR COMPATIBILITY BY APPLYING A TEST PATCH OF THE RECOMMENDED COATING SYSTEM. COVERING AT LEAST 2 TO 3 SQUARE FEET ALLOW TO DRY ONE WEEK BEFORE TESTING ADHESION PER ASTM D3359. IF THE COATING SYSTEM IS INCOMPATIBLE, COMPLETE REMOVAL IS REQUIRED.

PROCESS MECHANICAL SYSTEM SPECIFICATIONS REFER TO DRAWING M-2
PLUMBING SYSTEM SPECIFICATIONS REFER TO DRAWING P-2
HVAC SYSTEM SPECIFICATIONS REFER TO DRAWING H-1
FIRE PROTECTION SYSTEM SPECIFICATIONS REFER TO DRAWING FP-1
ELECTRICAL AND PROCESS CONTROL SYSTEM SPECIFICATIONS REFER TO DRAWING E-5



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VERIFY SCALES
BAR IS ONE INCH ON ORIGINAL DRAWING.
IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDANTLY.

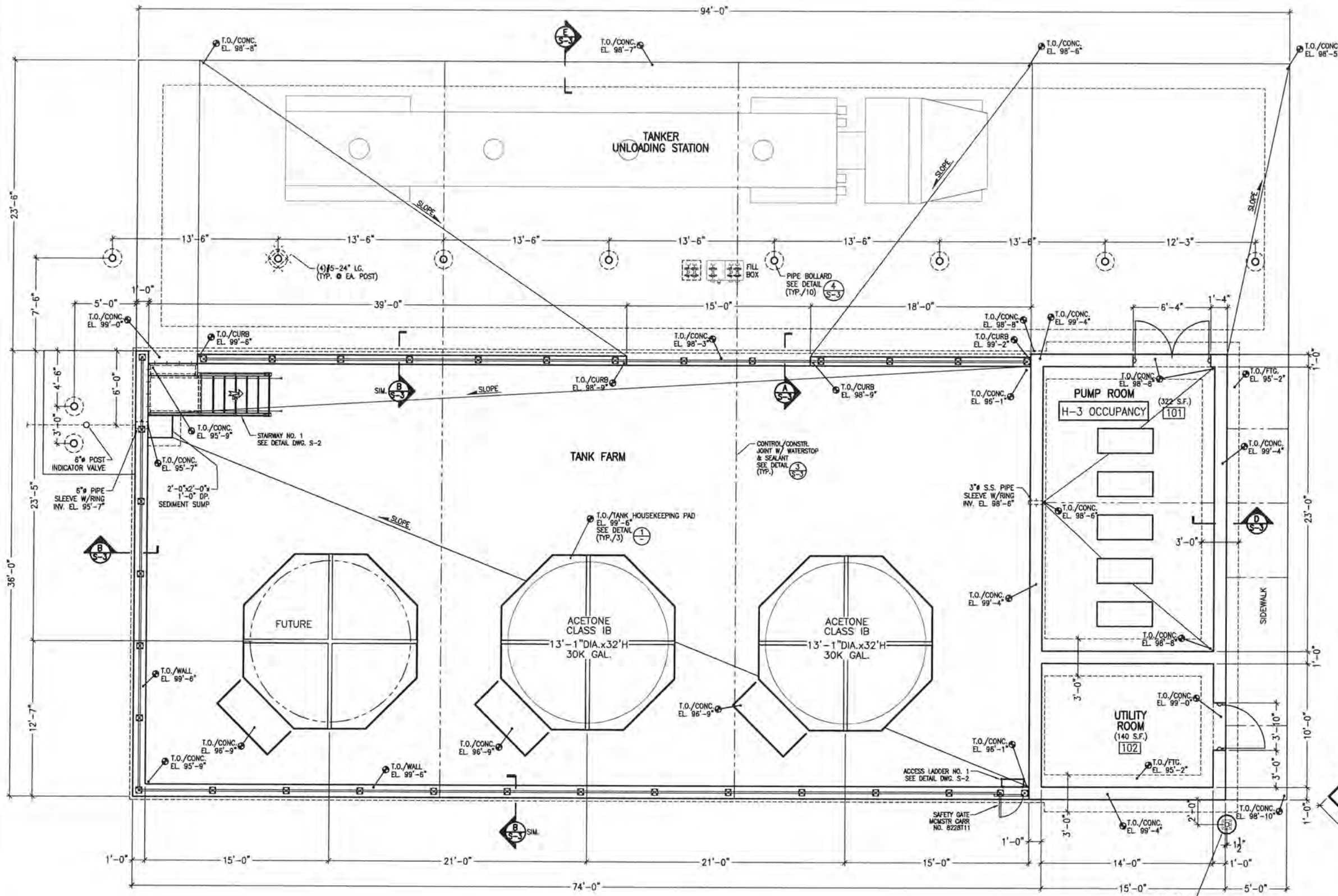
NO.	DATE	BY	REVISION
0	8/9/13	J.M.N.	ISSUED FOR VILLAGE OF PLEASANT PRAIRIE REVIEW SUBMITTAL

DRAWN BY: S.A.M.
CHECKED BY: P.M.
DESIGNED BY: P. MOHSENIAN, P.E.
PROJECT MANAGER: J.M. NOLL, P.E.



ACETONE BULK TANK EXPANSION
TANK & PIPING SYSTEM ADDITION
GENERAL NOTES AND SPECIFICATIONS

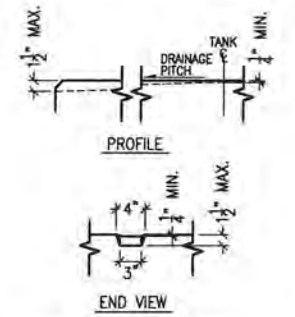
DRAWING NUMBER:	A-4
DATE:	8/9/13
PROJECT NUMBER:	13165
SHEET NUMBER:	5 OF 25



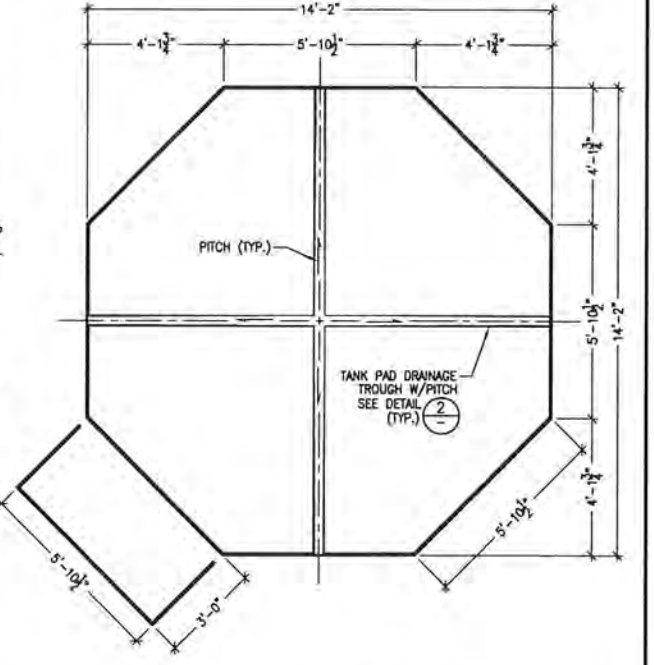
FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

SECONDARY CONTAINMENT CALCULATIONS:
TANK FARM
DESIGN CAPACITY = AREA AVAILABLE x AVG. CURB HT. x 7.481 GAL./Cu. FT.
= [(34' x 72') - (3x166.3)] x 2.87' x 7.481 - (3 x 5.875 x 3) x .75' x 7.481 + 910 GAL TANKER PAD
= 39,545 GAL.
VOLUME REQ'D. = LARGEST VESSEL x 125%
FOR: SPS310 = 30,000 GAL x 1.25 = 37,500 GAL.
VOLUME REQ'D. = [(34' x 72') - (3x166.3)] x .15 GPM x 30 MIN. + 30,000 GAL.
FOR FIRE WATER = 38,771 GAL.

NOTE:
OWNER IS RESPONSIBLE FOR PREPARING A MANAGEMENT PROCEDURE TO PROPERLY REMOVE ACCUMULATION OF PRECIPITATION FROM ALL SECONDARY CONTAINMENT AREAS IN ACCORDANCE WITH ALL APPLICABLE LAWS AND ORDINANCES.



DRAIN TROUGH DETAIL
SCALE: 1" = 1'-0"



(3) THREE REQ'D.
TYPICAL TANK HOUSEKEEPING PAD DETAIL
SCALE: 3/8" = 1'-0"

NOTE:
EXISTING FACTORY FIN. FLR. ELEV. 684'-0"
REF. ELEV. 100'-0"

SPECTRUM ENGINEERING INCORPORATED
262-783-7725
FAX 262-783-7726
19395 West Capitol Drive,
Brookfield, Wisconsin 53045

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VERIFY SCALES
BAR IS ONE INCH ON ORIGINAL DRAWING.
IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY.

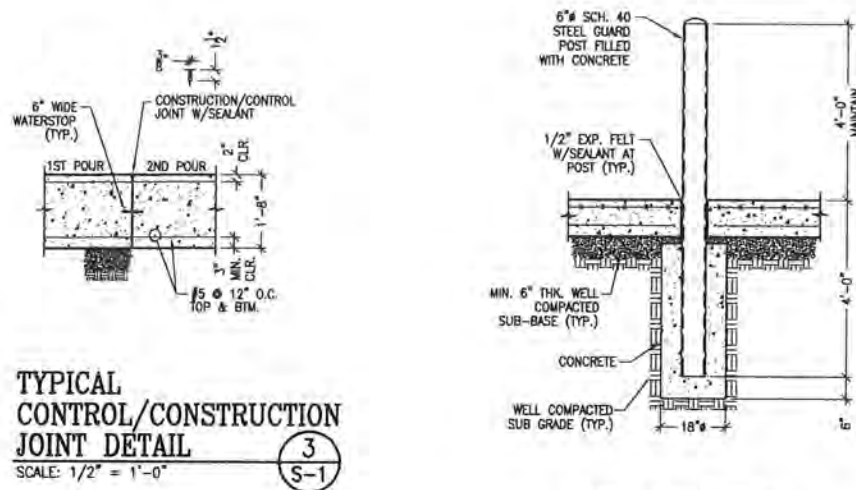
NO.	DATE	BY	REVISION
0	8/9/13	J.M.N.	ISSUED FOR VILLAGE OF PLEASANT PRAIRIE REVIEW SUBMITTAL

DRAWN BY: S.A.M.
CHECKED BY: F.M.
DESIGNED BY: P. MOHSENIAN, P.E.
PROJECT MANAGER: J.M. NOLL, P.E.

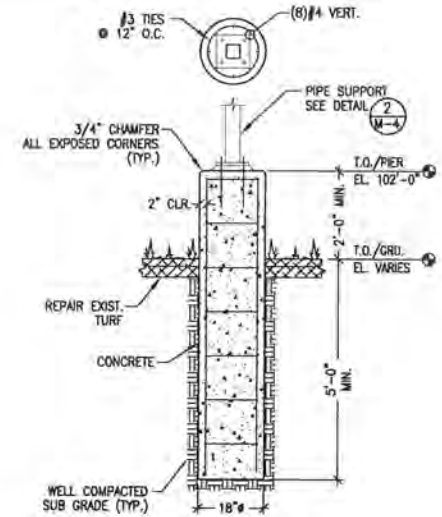
RUST-OLEUM
8105 95TH STREET
PLEASANT PRAIRIE, WI 53158

ACETONE BULK TANK EXPANSION TANK & PIPING SYSTEM ADDITION FOUNDATION PLAN & DETAILS

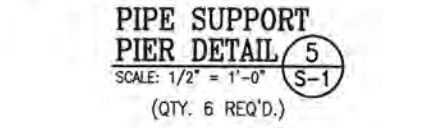
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DATE:	8/9/13
PROJECT NUMBER:	13165
SHEET NUMBER:	6 OF 25



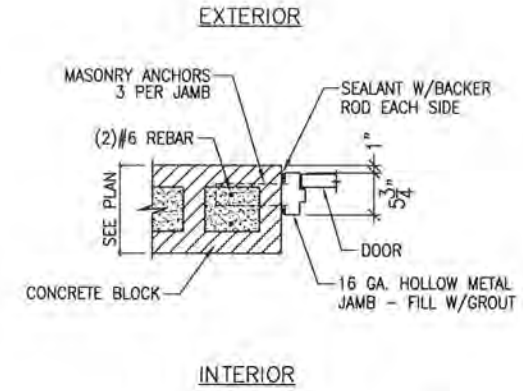
TYPICAL CONTROL/CONSTRUCTION JOINT DETAIL
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3
S-1



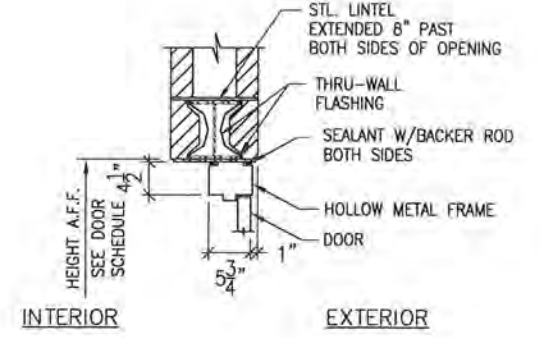
PIPE BOLLARD DETAIL
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S-1
(QTY. 10 REQ'D.)



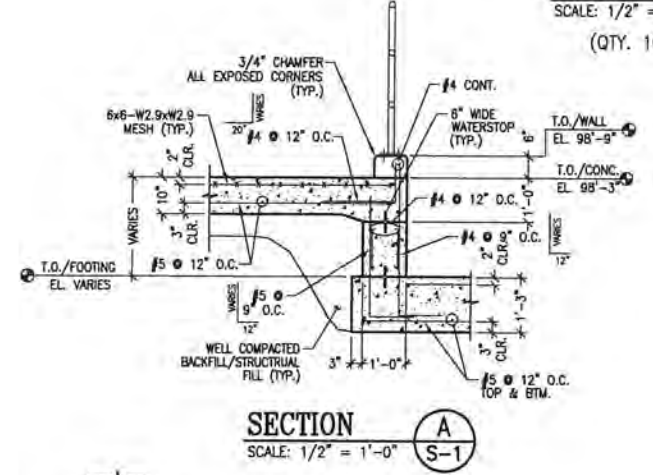
PIPE SUPPORT PIER DETAIL
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S-1
(QTY. 6 REQ'D.)



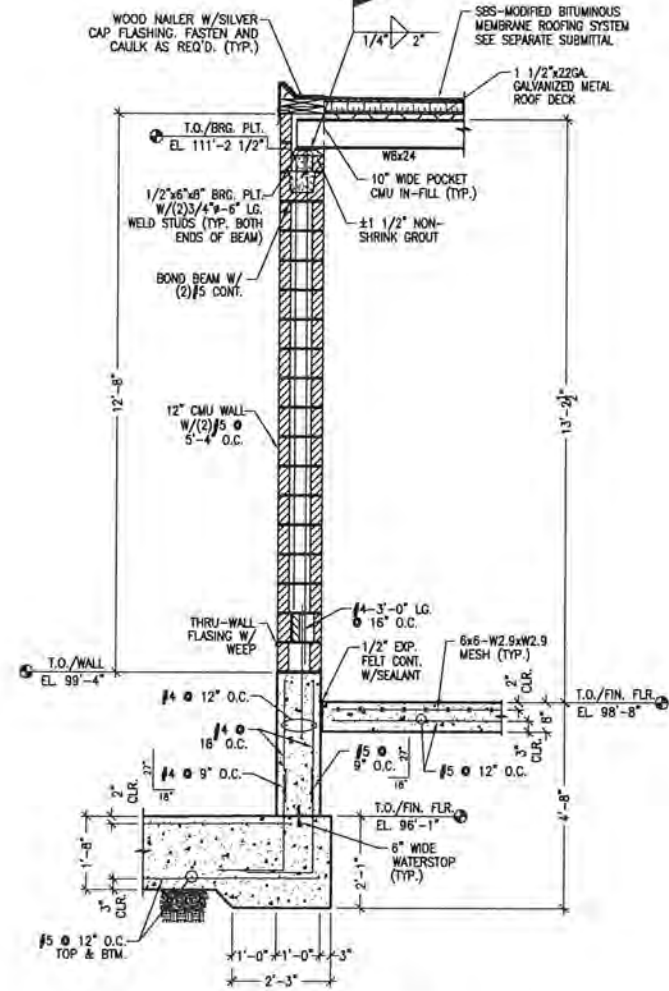
HOLLOW METAL/MASONRY JAMB DETAIL
SCALE: 1" = 1'-0"
6



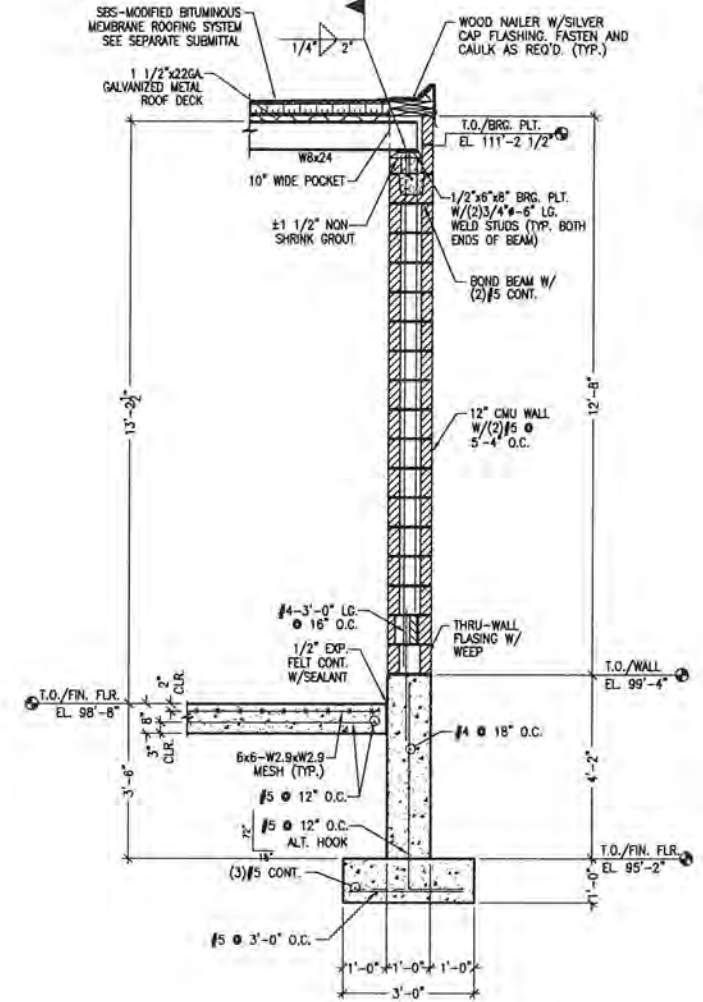
HOLLOW METAL/MASONRY HEAD DETAIL
SCALE: 1" = 1'-0"
7



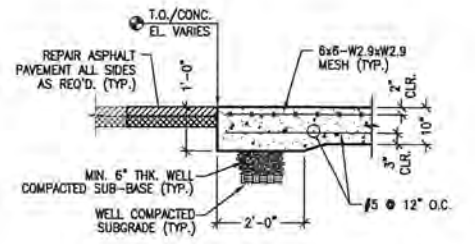
SECTION A
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S-1



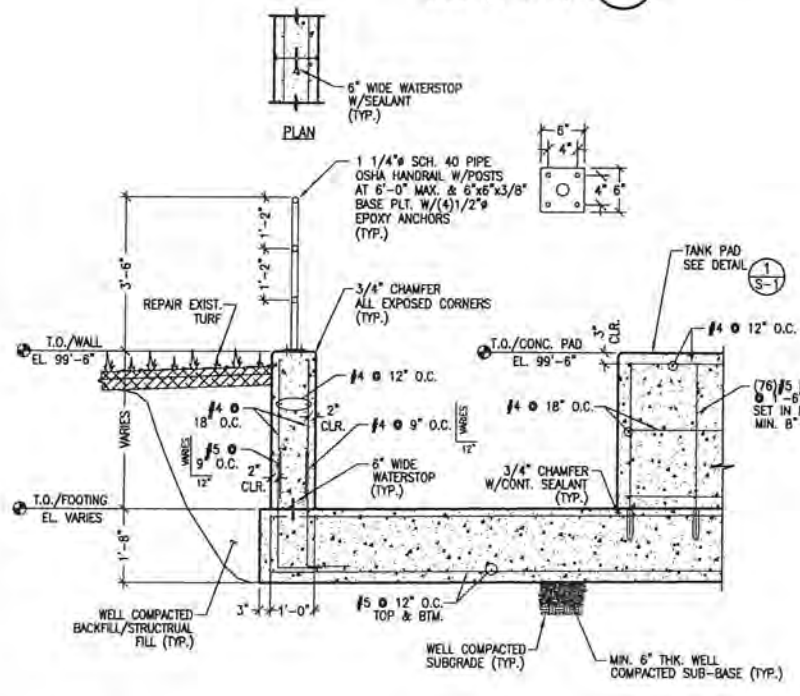
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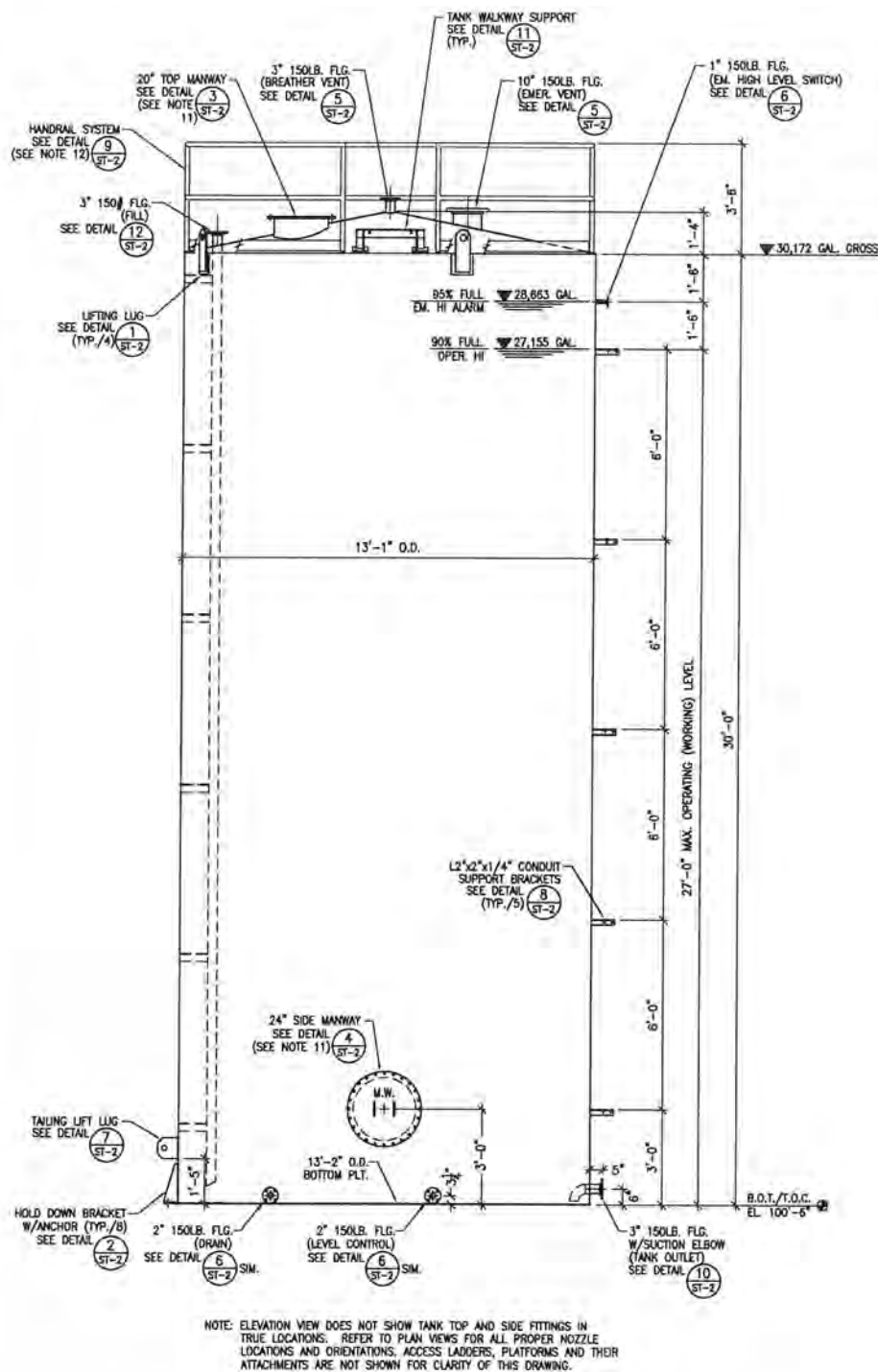
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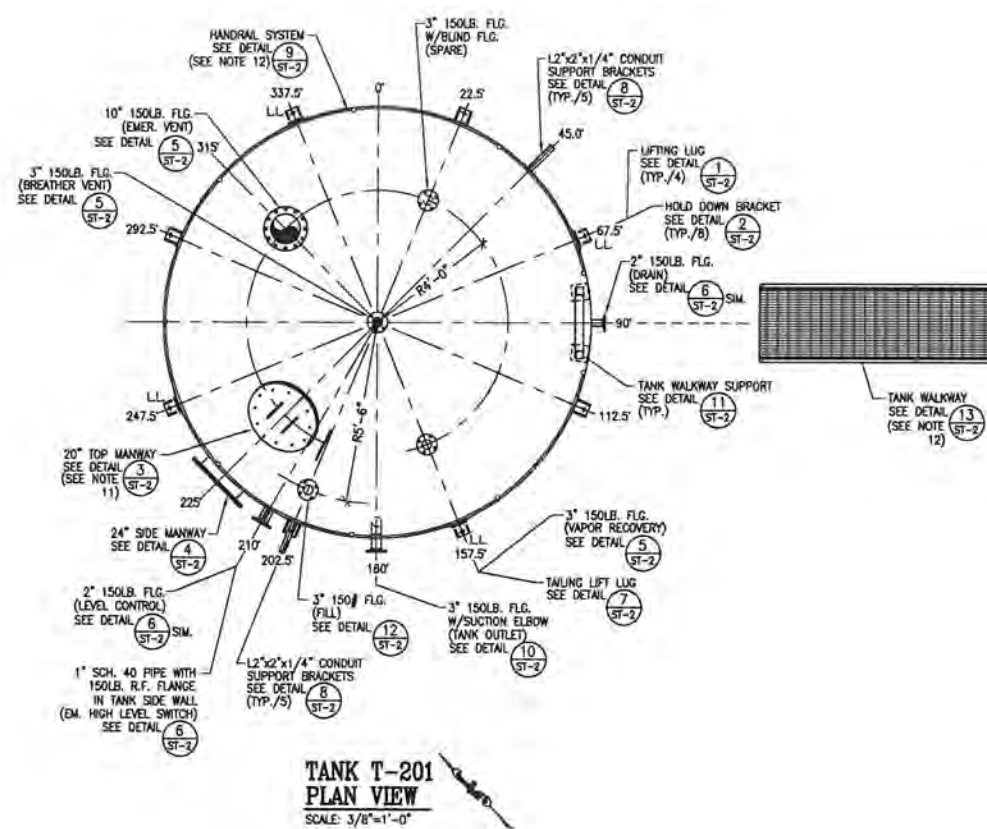
SECTION E
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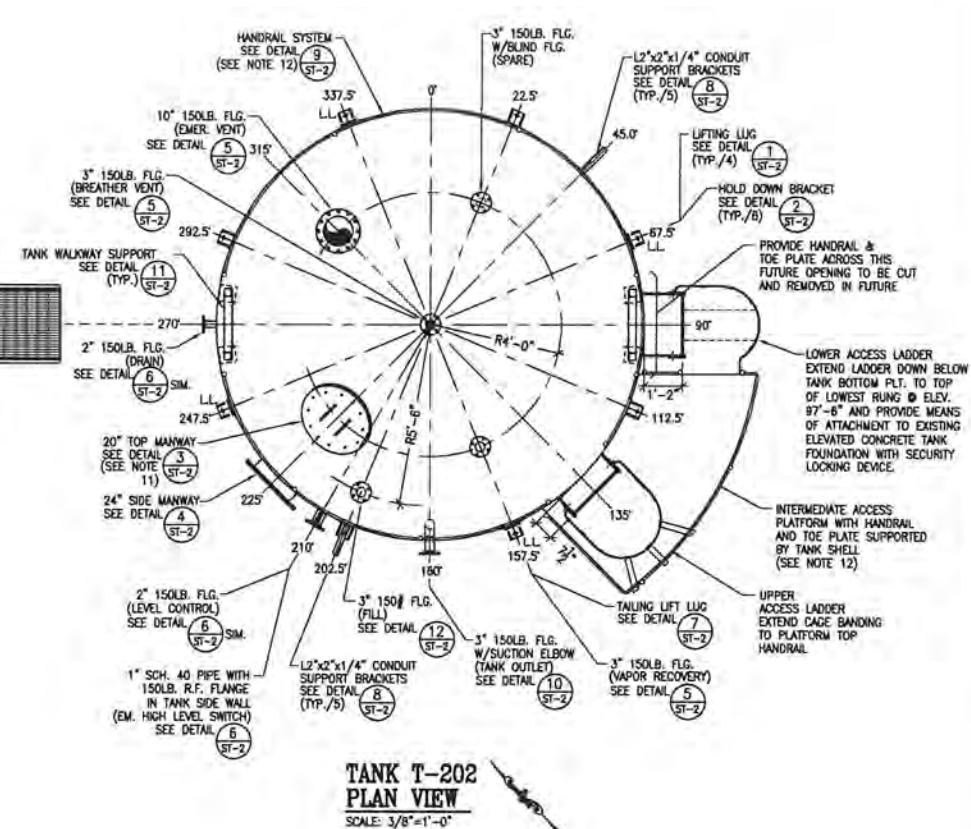
SECTION B
SCALE: 1/2" = 1'-0"
S-1



ELEVATION
SCALE: 3/8"=1'-0"



**TANK T-201
PLAN VIEW**
SCALE: 3/8"=1'-0"



**TANK T-202
PLAN VIEW**
SCALE: 3/8"=1'-0"

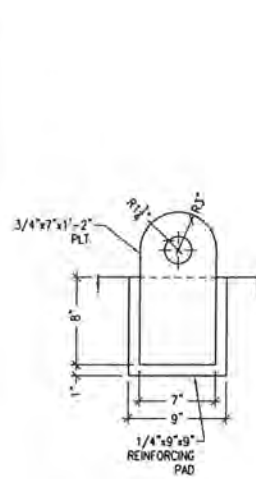
NOTES AND SPECIFICATIONS:

- ATMOSPHERIC DESIGN AND FABRICATION STANDARDS SHALL MEET U.L.-142, AND SHALL BE LABELED AS SUCH (QUANTITY: TWO TANKS REQUIRED - TAG: T-201 & T-202 RESPECTIVELY).
- FABRICATOR SHALL BE RESPONSIBLE FOR DESIGN, FABRICATION, TESTING, CERTIFICATION AND DELIVERY TO THE JOBSITE. CLEAN TANKS FREE OF FOREIGN MATTER PRIOR TO OWNER'S FINAL INSPECTION BEFORE TESTING.
- OVERALL DIMENSIONS AND ANCHORING BOLT CIRCLE SHALL BE MAINTAINED.
- TANK CAPACITY: 27,155 GAL. OPERATING.
- CONED TOP (VERTICAL): MATERIAL A36 C.S.
- FLAT BOTTOM (VERTICAL): MATERIAL A36 C.S.
- SHELL: MATERIAL A36 C.S.
- JOINTS TO BE BUTT-WELDED, FULL PENETRATION WELDS
- ALL FLANGES TO BE 150# RATED, RAISED FACE, SCH. 40S, C.S. WITH BOLT HOLES TO STRADDLE TANK CENTERLINES, UNLESS OTHERWISE NOTED.
- ALL MANWAY GASKETS TO BE INERTEX UHF JOINT SEALANT, MIN. 5/8" THK. FOR PORTS WITH BLIND FLANGES USE GARLOCK GYLON FAWN 3500 1/16" THK. FULL FACE GASKET.
- FABRICATOR TO DESIGN, FURNISH, AND INSTALL THE TOP AND SIDE MANWAYS AS SHOWN, USING MATERIALS SUITED FOR TEMPERATURES, PRESSURES, AND RELIEF PRESSURE OF EMERGENCY VENTING EQUIPMENT, ANTICIPATED TO BE ENCOUNTERED.
- FABRICATOR TO DESIGN ALL HANDRAILS, WALKWAYS AND LADDERS TO OSHA STANDARDS. PRE-ASSEMBLE IN SHOP FOR PROPER FIT, DIS-ASSEMBLE AND SHIP LOOSE TO SITE FOR FINAL FIELD ASSY BY OTHERS.
- FABRICATOR TO SUBMIT THREE (3) SETS OF FINAL DESIGN DRAWINGS TO SPECTRUM ENGINEERING, INC. FOR REVIEW PRIOR TO START OF FABRICATION.

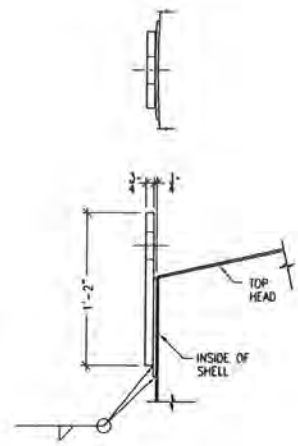
- STEEL:
 - ALL STRUCTURAL STEEL SHALL CONFORM TO ASTM A36, UNLESS OTHERWISE NOTED.
 - ALL STRUCTURAL WELDING SHALL CONFORM TO AWS D1.1 STRUCTURAL WELDING CODE, LATEST EDITION. E70XX ELECTRODES. ALL TANK WELDING SHALL CONFORM TO AWS B2.1 STRUCTURAL WELDING CODE. ALL WELDING TO BE DONE BY CERTIFIED WELDERS.
- PAINTING: ALL SURFACES TO BE PAINTED SHALL BE COMMERCIAL SANDBLASTED FINISH SSPC-SP6-B2 TO BE UNPRIMED METAL. ALL SURFACES SHALL BE PAINTED WITH ONE OF THE FOLLOWING COATING SYSTEMS BY A SPRAY METHOD.

EXTERIOR SURFACES: SHALL BE SSPC-SP6/NACE3 SANDBLASTED. APPLY A TACK COAT OF RUST-OLEUM 9100 SYSTEM DTM EPOXY MASTIC (I09192402) TO ENTIRE TANK GIVING EMPHASIS TO ALL WELDS, LIFTING LUGS AND EDGES. IN SAME APPLICATION, APPLY A SECOND COAT OVER FIRST TACK COAT AND TO ENTIRE EXTERIOR SURFACES, 6 TO 8 MILS DFT TOTAL (WHITE).

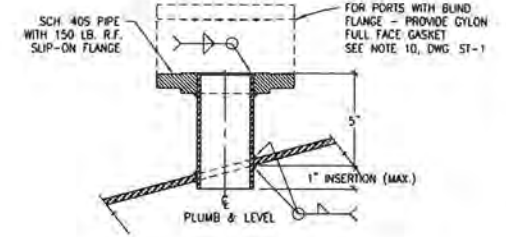
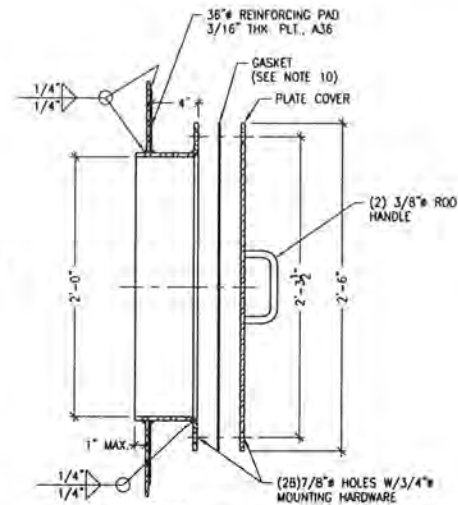
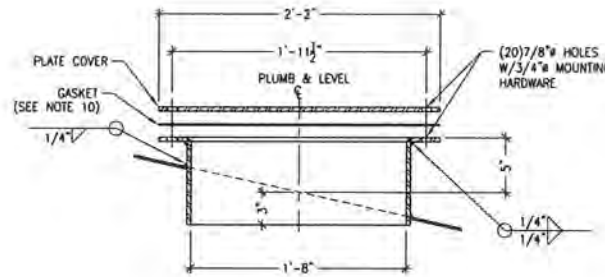
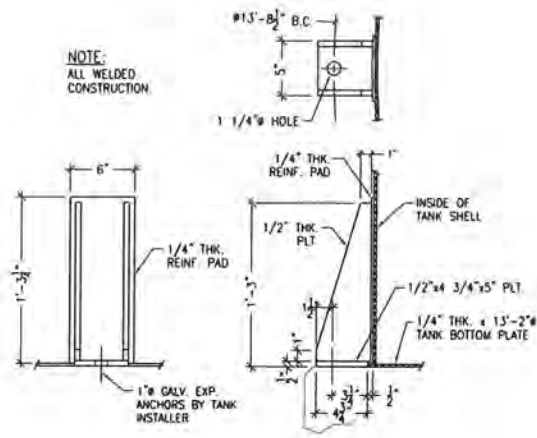
LADDERS, WALKWAYS, HANDRAILS AND MISC. STEEL: SHALL BE SSPC-SP6/NACE3 SANDBLASTED. APPLY A TACK COAT OF RUST-OLEUM 9100 SYSTEM DTM EPOXY MASTIC (I09144402) TO ITEM GIVING EMPHASIS TO ALL WELDS, LIFTING LUGS AND EDGES. IN SAME APPLICATION, APPLY A SECOND COAT OVER FIRST TACK COAT AND TO ENTIRE EXTERIOR SURFACES, 6 TO 8 MILS DFT TOTAL (SAFETY YELLOW).
- SHIPMENT AND DELIVERY: PROVIDE PIECE MARKING OF FABRICATED ITEMS PRIOR TO SHIPPING. PROVIDE BLOCKING DURING SHIPMENT TO AVOID DAMAGING TANK & ATTACHMENTS. PROVIDE PLASTIC END CAPS ON ALL OPENINGS TO PROTECT FROM MOISTURE AND FOREIGN MATTER. SCHEDULE DELIVERY WITH OWNER.



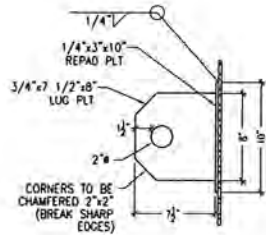
NOTE: (4) FOUR REQ'D. PER TANK
LOCATE PER PLAN VIEW
LIFTING LUG DETAIL 1
SCALE: 1 1/2" = 1'-0"



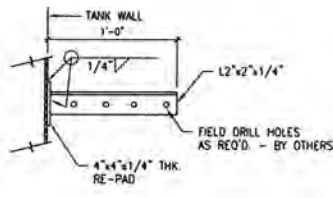
NOTE: (8) EIGHT REQ'D. PER TANK
LOCATE PER PLAN VIEW
HOLD DOWN BRACKET DETAIL 2
SCALE: 1 1/2" = 1'-0"



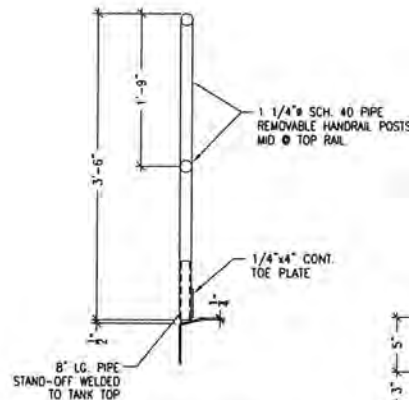
EMER. HIGH LEVEL SWITCH CONNECTION DETAIL 6
SCALE: 1 1/2" = 1'-0"



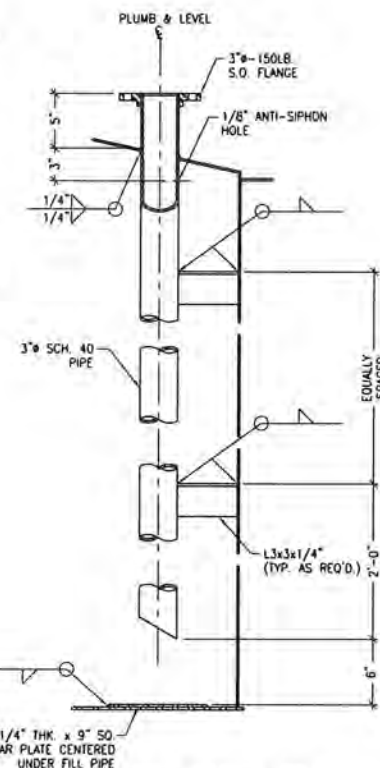
TAILING LIFT LUG DETAIL 7
SCALE: 1 1/2" = 1'-0"



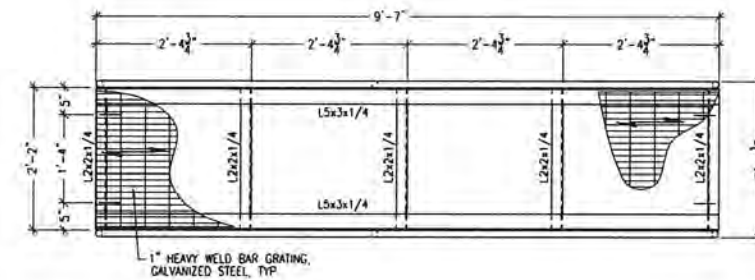
CONDUIT/PIPE SUPPORT BRACKET DETAIL 8
SCALE: 1 1/2" = 1'-0"



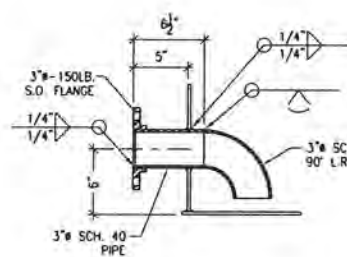
TYP. REMOVABLE HANDRAIL DETAIL 9
SCALE: 1" = 1'-0"



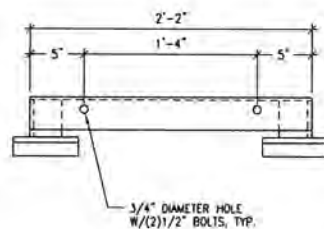
FILL NOZZLE DETAIL 12
N.T.S.



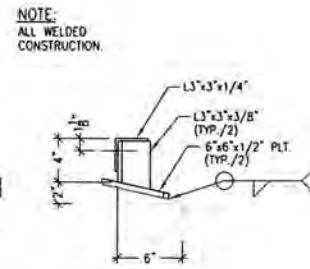
TANK WALKWAY DETAIL 13
SCALE: 3/4" = 1'-0"



OUTLET FLANGE DETAIL 10
SCALE: 1 1/2" = 1'-0"



WALKWAY SUPPORT BRACKET DETAIL 11
SCALE: 1 1/2" = 1'-0"



MECHANICAL PIPING SPECIFICATIONS

1. SCOPE

- 1.1 FURNISH ALL LABOR, SUPERVISION, MATERIALS, TOOLS, AND EQUIPMENT NECESSARY FOR THE PIPING SHOWN ON THE DRAWINGS AND SPECIFIED HEREIN.
 - 1.1.1 PURCHASE, UNLOAD, STORE, FABRICATE, INSTALL, SUPPORT, TEST, AND MAKE OPERABLE THE PROCESS AND UTILITY PIPING SYSTEMS OR PORTIONS OF PIPING SYSTEMS SHOWN ON THE DRAWINGS.
 - 1.1.2 LABOR, MATERIALS, SUPPLIES, TOOLS, EQUIPMENT, AND SERVICES INCIDENTAL TO, AND NECESSARY FOR, THE COMPLETE AND PROPER INSTALLATION AND OPERATION OF ALL PIPING SYSTEMS WHICH ARE NOT SPECIFICALLY MENTIONED, BUT WOULD REASONABLY BE DETERMINED BY THE OWNER TO BE IMPLIED AS NECESSARY. SHALL BE FURNISHED AS IF CALLED FOR IN DETAIL.

2. PIPING NOMENCLATURE

- 2.1 DRAWINGS
 - 2.1.1 THE PIPING FLOW DIAGRAM SHOWS A SCHEMATIC OF THE PIPING SYSTEM. THE DETAILED PIPING DRAWINGS SHOW THE ARRANGEMENT AND PHYSICAL LAYOUT OF ALL PIPING SYSTEMS IN EACH AREA.
 - 2.1.2 WHERE PIPING FLOW DIAGRAM INFORMATION DIFFERS FROM DETAILED PIPING DRAWING INFORMATION, THE INFORMATION ON THE PIPING FLOW DIAGRAM SHALL GOVERN. WHERE ANY DOUBT EXISTS, THE CONTRACTOR SHALL SUBMIT TO THE ENGINEER A WRITTEN REQUEST FOR INFORMATION OR CLARIFICATION AND SHALL ABIDE BY THE REPLY AS IF SPECIFIED. IF THE PHYSICAL DRAWINGS INDICATE A VALVE, FITTING, ETC. WHICH IS NOT SHOWN ON THE FLOW DIAGRAM, THIS CONTRACTOR SHALL FURNISH SAME AS IF IT WERE SHOWN ON THE FLOW DIAGRAM UNLESS CLARIFICATION BY ENGINEER EXEMPTS ITEM PRIOR TO BID.

3. MATERIAL PROCUREMENT

- 3.1 GENERAL
 - 3.1.1 MATERIALS SHALL CONFORM TO THE STANDARDS SPECIFIED, SHALL BE NEW, FREE FROM DEFECTS AND IMPERFECTIONS, AND SHALL BE OF RECENT DOMESTIC MANUFACTURE. MATERIALS NOT COVERED BY DETAILED SPECIFICATIONS SHALL BE STANDARD PRODUCTS OF REPUTABLE MANUFACTURERS AND SUITABLE FOR THE INTENDED USE.
 - 3.1.2 PIPING MATERIALS, INDIVIDUAL PIPING SPECIFICATIONS FOLLOW THIS DATA DESCRIBES IN DETAIL THE STANDARDS FOR SIZE, SCHEDULE, MATERIAL, AND DIMENSIONS ALLOWED BY THE PIPING SPECIFICATIONS.
 - 3.1.3 PIPING EQUIPMENT: INDIVIDUAL PIPING EQUIPMENT SPECS FOLLOW THESE GIVE INDIVIDUAL SPECIFICATIONS FOR PIPING EQUIPMENT TO BE FURNISHED AND INSTALLED BY THIS CONTRACTOR, UNLESS NOTED OTHERWISE IN THE BIDDING DOCUMENTS.

4. GENERAL REQUIREMENTS

- 4.1 GENERAL
 - 4.1.1 CHECK CONNECTIONS TO MECHANICAL PIPING EQUIPMENT AND PROVIDE MATCHING PIPING CONNECTIONS AS REQUIRED.
 - 4.1.2 THE CONTRACTOR SHALL BE RESPONSIBLE FOR, AND IMMEDIATELY NOTIFY THE ENGINEER IN WRITING OF, ALL DAMAGE CAUSED DIRECTLY OR INDIRECTLY BY HIS WORKMEN TO STRUCTURES, BUILDINGS, EQUIPMENT, SEWERS, ROADWAYS, AND SIDINGS. THE CONTRACTOR SHALL REPAIR OR REPLACE THE DAMAGED ITEMS AT HIS OWN EXPENSE AND AT THE WRITTEN DIRECTION AND APPROVAL OF THE ENGINEER.
- 4.2 MAINTAIN ADEQUATE CLEARANCE AROUND PIPING, EQUIPMENT, AND BUILDING STRUCTURE.
- 4.3 FIELD MEASUREMENTS
 - 4.3.1 FIELD CHECK THE DIMENSIONS SHOWN ON THE DRAWINGS FOR INTERFERENCES. RESOLVE ANY DISCREPANCIES WITH THE ENGINEER BEFORE STARTING THE WORK.
- 4.4 THE CONTRACTOR SHALL SUBMIT TO THE ENGINEER FOUR (4) COPIES OF THE OPERATION AND MAINTENANCE MANUALS FOR THE CONTRACTOR PURCHASED EQUIPMENT SPECIFIED HEREIN WITHIN TWO (2) WEEKS AFTER THE EQUIPMENT ORDER HAS BEEN PLACED.
- 4.5 WORK SHALL BE PROVIDED BY QUALIFIED EXPERIENCED PERSONNEL, IN COMPLIANCE WITH APPLICABLE FEDERAL, STATE, AND LOCAL LAWS WITH DUE REGARD FOR WORKER HEALTH AND SAFETY.

5. INSTALLATION DETAILS GENERAL

- 5.1 PIPING CODE: ALL PIPING SYSTEMS INSTALLED AND TESTED UNDER THIS SECTION SHALL CONFORM TO THE APPLICABLE PORTIONS AND THE SPECIFIC REFERENCED PARAGRAPHS OF THE AMERICAN NATIONAL STANDARDS INSTITUTE'S "CODE FOR PRESSURE PIPING", B31.1, HEREINAFTER REFERRED TO AS THE CODE.
- 5.2 PIPE: THE USE OF THE WORDS "PIPE" OR "PIPING" IN THIS SECTION IS UNDERSTOOD TO INCLUDE BOTH PIPE AND TUBE OR PIPING AND TUBING. USE FULL LENGTHS OF PIPE WHERE LENGTH BETWEEN FITTINGS IS LESS THAN THE MILL-RANDOM LENGTHS OF PIPE. AVOID EXTRA JOINTS.
- 5.3 FABRICATION ACCURACY: ACCURATELY FABRICATE AND INSTALL PIPING PARALLEL TO BUILDING LINES. ALL OTHER HORIZONTAL PIPING SHALL BE INSTALLED LEVEL. ALL VERTICAL PIPING SHALL BE INSTALLED PLUMB.
- 5.4 WELDING QUALIFICATIONS:
 - 5.4.1 PERFORM ALL WELDING OF PIPING SYSTEMS WITH QUALIFIED WELDERS AND/OR WELDING OPERATORS. QUALITY WELDERS AND/OR WELDING OPERATORS IN ACCORDANCE WITH CODE PARAGRAPH 127.5.
- 5.5 FLANGED JOINTS
 - 5.5.1 BOLT HOLES OF THE FLANGES SHALL STRADDLE THE NORMAL VERTICAL AND HORIZONTAL CENTERLINES, UNLESS OTHERWISE SHOWN ON THE DRAWINGS.
 - 5.5.2 INSTALLATION OF GASKETS AND BOLTING PROCEDURE SHALL CONFORM TO CODE PARAGRAPH 335. USE ONE, AND ONLY ONE, GASKET PER JOINT. NUTS ON BOLTS AND/OR STUD BOLTS SHALL BE TIGHTENED BY THE CROSSOVER METHOD TO LOAD GASKETS EVENLY. TIGHTENING SHALL BE REPEATED BY GOING OVER AND ACROSS UNTIL THE JOINT IS UNIFORMLY TIGHT. TORQUE WRENCHES SHALL BE USED WHERE REQUIRED TO UNIFORMLY TORQUE BOLTS AS NECESSARY.
 - 5.5.3 FLANGE BOLTS AND/OR STUDBOLT LENGTH SHALL COMPLY WITH ANSI B16.5.
 - 5.5.4 FLANGE BOLTS AND/OR STUDBOLTS SHALL BE LUBRICATED WITH OIL AND GRAPHITE AT TIME OF INSTALLATION. NO RUSTY OR CORRODED HARDWARE SHALL BE USED.
 - 5.5.5 ALL FLANGES SHALL BE AS SHOWN IN THE PIPING SPECIFICATIONS, EXCEPT FOR PIPE FLANGES THAT JOIN EQUIPMENT. THESE FLANGES SHALL BE FACED AND DRILLED TO MATCH EQUIPMENT FLANGES.
- 5.6 ALL DEVICES OR SPOOL PIECES INSTALLED IN THE PIPING SYSTEM WHICH REQUIRE PERIODIC SYSTEM REMOVAL FOR MAINTENANCE OR REPLACEMENT SHALL BE INSTALLED SO THEY CAN BE REMOVED WITHOUT CUTTING OR DAMAGING THE PIPE.
- 5.7 UNIONS WHICH ARE NOT NORMALLY SHOWN ON THE DRAWINGS: INSTALL UNIONS AT EACH OF THE FOLLOWING LOCATIONS IN ALL SYSTEMS WHICH ARE NOT FLANGED:
 - 5.7.1 NEAR THREADED CONNECTIONS TO MECHANICAL OR PIPING EQUIPMENT.
 - 5.7.2 ON BOTH SIDES OF THREADED CONTROL VALVES AND OTHER IN-LINE INSTRUMENTS.
 - 5.7.3 ON THE BRANCH SIDE OF BRANCH CONNECTIONS VALVES.
 - 5.7.4 WHERE SHOWN ON THE DRAWINGS.

6. INSTALLATION DETAILS - SOCKET WELD CARBON STEEL SYSTEMS

- 6.1 SOCKET WELD JOINTS: CUT OFF PIPE TO PROPER LENGTH TO OBTAIN FULL PENETRATION IN SOCKET. REAM PIPE TO FULL BORE AFTER CUTTING.
- 6.2 BRANCH CONNECTIONS: USE STANDARD OF REDUCING-SOCKET-WELD TEES, CROSSES, LATERALS, AND/OR SOCKET WELDING OUTLET FITTINGS.
- 6.3 REDUCING FITTINGS: USE REDUCING FITTINGS FOR CHANGE IN PIPE SIZES.
- 6.4 UNIONS: USE SOCKET WELDING UNIONS WITH THREADED NIPPLE WELDED IN ONE END TO CONNECT SOCKET WELDED SYSTEMS TO THREADED SYSTEMS.

7. INSTALLATION DETAILS - BUTT WELDED CARBON STEEL SYSTEMS

- 7.1 SHOP FABRICATE MAJOR PIPING ASSEMBLIES TO KEEP FIELD WELDS TO A MINIMUM.
- 7.2 PREPARE, CLEAN, ALIGN, AND SPACE GRITH BUTTWELDED ENDS PER CODE PARAGRAPH 327.3. EACH AND EVERY STEEL WELD MUST BE CHIPPED, FILED, AND WIRE BRUSHED AFTER EACH PASS.
- 7.3 WELDING PROCEDURE FOR GRITH BUTT WELDS SHALL CONFORM TO CODE PARAGRAPHS 327.4.
- 7.4 MAKE ALL BRANCH CONNECTIONS USING SUITABLE FITTINGS AND ADDITIONAL REINFORCEMENTS AS DESCRIBED IN CODE PARAGRAPH 327.4.1. FACTORY-MADE WELDING OUTLET FITTINGS MANUFACTURED BY BOONNY FORGE, INC. OR EQUAL ARE RECOMMENDED FOR THIS BRANCH CONNECTION SERVICE. FISH-MOUTH PIPE CONNECTIONS FOR USE AS BRANCHES, LATERALS, TEES, OR CROSSES WILL NOT BE PERMITTED WITHOUT WRITTEN APPROVAL OF THE ENGINEER. IF INTERSECTS ARE ALLOWED BY THE ENGINEER, THEY MUST BE STRESS-RELIEVED.

8. INSTALLATION DETAILS - THREADED SYSTEMS

- 8.1 THREADED JOINTS: CUT OFF PIPE SQUARELY WITHOUT DEFORMATION. THREAD PIPE, AND REAM PIPE TO FULL BORE AFTER THREADING. CLEAN THREADS TO REMOVE CHIPS, THREADING OIL, AND OTHER FOREIGN MATTER. APPLY GASOLA SOTSET WITH PIPE THREAD SEALANT TO CLEANED MALE THREADS ONLY. (DO NOT USE REAL TUFF PIPE SEALANT.) ASSEMBLE JOINT AND REMOVE ANY EXCESS JOINT COMPOUND FROM TIGHTENED JOINT. BACKING OFF TO PERMIT ALIGNMENT OF THREADED JOINT IS NOT PERMITTED.
- 8.2 BRANCH CONNECTIONS: USE STANDARD OR REDUCING THREADED TEES, CROSSES, LATERALS, AND/OR THREADED WELDING OUTLET FITTINGS.
- 8.3 REDUCING FITTINGS: USE REDUCING FITTINGS AND/OR SWAGGED NIPPLES FOR CHANGE IN PIPE SIZES. USE BUSHINGS ONLY WHEN REDUCING FITTINGS AND/OR SWAGGED NIPPLES ARE NOT MANUFACTURED IN SIZES REQUIRED.
- 8.4 DEAD ENDS: USE THREADED NIPPLES AND CAPS. USE THREADED PLUGS ONLY WHERE CALLED FOR OR WHEN SPACE DOES NOT PERMIT THREADED NIPPLES AND CAPS.

9. INSTALLATION DETAILS - MISCELLANEOUS

- 9.1 VALVES
 - 9.1.1 MANUAL VALVES: INSTALL VALVES AT A LOCATION EASILY ACCESSIBLE FOR PERIODIC MAINTENANCE, FLOW DIVERSION, AND FLOW CONTROL.
 - 9.1.2 INSTALL MANUAL VALVE STEMS IN AN UPWARD VERTICAL POSITION UNLESS OTHERWISE SHOWN ON THE CONTRACT DRAWINGS. INSTALL STEMS IN A HORIZONTAL POSITION FOR VALVES WITH CHAINWHEEL OPERATORS.
 - 9.1.3 CONTROL VALVES: INSTALL VALVES AT A LOCATION EASILY ACCESSIBLE FOR PERIODIC MAINTENANCE AND MANUAL OVERRIDE. CONTRACTOR IS RESPONSIBLE FOR SUPPLYING AIR TO ALL PNEUMATIC-OPERATED VALVES. EXTEND 1/2" AIR PIPE TO WITHIN THREE FEET OF VALVE. TERMINATE AIR SUPPLY WITH A BALL VALVE AND MAKE FINAL CONNECTION WITH MINIMUM 1/4" TUBING.
 - 9.1.4 CHECK VALVES: INSTALL SWING CHECK VALVES IN A VERTICAL POSITION UNLESS OTHERWISE NOTED ON THE DRAWINGS. INSTALL CHECK VALVES AT A LOCATION EASILY ACCESSIBLE FOR PERIODIC MAINTENANCE, INSPECTION AND CLEANING.
- 9.2 PROVIDE PIPING INSULATION WHERE SPECIFIED ON THE PIPING SPECIFICATION CHARTS WHICH FOLLOW.

10. PIPE SUPPORTS, AUXILIARY STEEL, AND PENETRATIONS

- 10.1 FURNISH ALL PIPE HANGERS, PIPE SUPPORTS, ANCHORS, AND GUIDES REQUIRED BY THE PIPING AND EQUIPMENT WHETHER SHOWN ON THE DRAWINGS OR NOT.
 - 10.1.1 FABRICATE AND INSTALL PIPING TO PROVIDE FOR AND CONTROL THE MOVEMENT DUE TO THERMAL EXPANSION AND/OR CONTRACTION AND, IF REQUIRED, INSTALL ANCHORS AND GUIDES AS DETAILED ON THE DRAWINGS.
 - 10.1.2 THE CONTRACTOR SHALL FURNISH ANY AUXILIARY STEEL REQUIRED TO PROPERLY SUPPORT THE PIPE HANGERS.
- 10.2 FURNISH AND INSTALL ALL SLEEVES, PLATES, FLASHINGS, CALKING, AND OTHER PENETRATION REQUIREMENTS WHERE PIPING PASSES THROUGH WALLS, FLOORS, OR ROOFS.
- 10.3 WHERE REQUIRED, THE CONTRACTOR SHALL CORE DRILL WALL, CEILING, OR FLOOR PENETRATIONS TO INSTALL THE PIPE AS SHOWN ON THE DRAWINGS.
- 10.4 ANY EXCESSIVE MOTION, AS DETERMINED BY THE ENGINEER, OF THE PIPING SYSTEMS OCCURRING AFTER THEY ARE PLACED IN OPERATION SHALL BE IMMEDIATELY REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.

11. PROTECTION AND CLEANING

- 11.1 CONTRACTOR SHALL KEEP ALL PIPE, TUBING, AND FITTINGS IN A CLEAN AND DRY ENVIRONMENT. PIPING END PLUGS OR CAPS SHALL NOT BE REMOVED UNTIL JUST PRIOR TO INSTALLATION. ALL FITTINGS SHALL BE STORED IN A CLEAN, DRY PLACE AND SHALL BE THOROUGHLY CLEANED INSIDE IMMEDIATELY BEFORE FIT-UP.
- 11.2 PIPING EQUIPMENT: IMMEDIATELY PRIOR TO INSTALLATION, REMOVE THE PROTECTIVE END COVERS APPLIED BY THE EQUIPMENT MANUFACTURER.
- 11.3 TANKS: TANKS SHALL BE PROTECTED WHILE WORKING INSIDE LINED TANKS. WORKMEN SHALL WEAR SHOES WITH SOFT RUBBER OR CREPE SOLES AND HEELS WHILE WORKING IN TANKS. SHOES SHALL BE CLEANED TO REMOVE SAND, GRIT, ETC., IMMEDIATELY PRIOR TO ENTERING TANKS. PADS SHALL BE PLACED IN TANKS TO PROTECT LINING FROM LADDERS, TOOLS, AND DAMAGE DUE TO DROPPED ITEMS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE CAUSED BY HIS WORKMEN AND FOR CLEANING UP THE TANK AFTER WORKING INSIDE.

12. INSPECTION, TEST AND ACCEPTANCE

- 12.1 INSPECTION
 - 12.1.1 PROVIDE THE OWNER AND ENGINEER WITH INSPECTION ACCESS TO PIPING DURING ALL PHASES OF FABRICATION AND/OR INSTALLATION.
- 12.2 PIPE TEST - GENERAL
 - 12.2.1 PIPING SHOULD BE TESTED AT A MINIMUM OF 150% OF STANDARD OPERATING PRESSURE, 50 PSIG MIN., OR AS DIRECTED BY ENGINEER.
 - 12.2.2 CONTRACTOR TO PROVIDE ALL NECESSARY FLANGES, VALVES, GASKETS, PIPING, GAUGES, AND FITTINGS FOR PNEUMATIC TESTING.
 - 12.2.3 TEST ALL PIPING SYSTEMS WHERE POSSIBLE. TEST PIPING SYSTEMS AND/OR PORTIONS OF PIPING SYSTEMS TO BE INSULATED AND/OR CONCEALED BEFORE THE INSULATION IS APPLIED OR BEFORE CONCEALMENT. ISOLATE OR REMOVE PIPING EQUIPMENT AND/OR INSTRUMENTS WHICH WILL NOT SAFELY WITHSTAND THE TEST PRESSURES.
 - 12.2.4 WHILE MAINTAINING SPECIFIED PNEUMATIC TEST PRESSURE, THE PIPING SYSTEM SHALL SHOW NO SIGN OF FAILURE, LEAKAGE, AND/OR DISTORTION. THERE SHALL BE NO LOSS OF TEST PRESSURE DURING A ONE HOUR PERIOD.
 - 12.2.5 APPLY PNEUMATIC TEST PRESSURE IN STEPS TO EQUALIZE STRAINS. CHECK ALL PIPING JOINTS WITH A SOAP SOLUTION DURING PNEUMATIC TEST.
 - 12.2.6 THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, REPAIR ALL DEFECTS DISCLOSED BY TESTING AND REPEAT TEST PROCEDURE UNTIL A SATISFACTORY TEST IS WITNESSED BY THE ENGINEER OR STATE/LOCAL AUTHORITY.

13. PIPING, VALVES, AND CONTROLS IDENTIFICATION

- 13.1 FURNISH ALL MATERIALS, LABOR, TOOLS AND EQUIPMENT NECESSARY FOR IDENTIFICATION OF PIPING, AUTOMATED VALVES, AND CONTROLS AS SHOWN ON THE DRAWINGS AND SPECIFIED HEREIN.
- 13.2 ALL PIPING CARRYING LIQUIDS OR GASEOUS MATERIAL, TOGETHER WITH AUTOMATED VALVES, CONTROLS, ETC., INCORPORATED IN SUCH PIPING SYSTEMS SHALL BE LABELED OR TAGGED IN A MANNER READILY IDENTIFIABLE AND DISTINGUISHABLE IN ACCORDANCE WITH THE MANNER SPECIFIED HEREIN.
- 13.3 THE MARKINGS AND DESIGNATION NUMBERS USED SHALL BE THE SAME AS ASSIGNED ON THE PIPING FLOW DIAGRAM AND OTHER DRAWINGS EXCEPT THAT THE LEGEND SHALL GIVE THE NAME OF THE CONTENTS IN FULL FORM. ANY ABBREVIATIONS MUST BE APPROVED BY THE OWNER. PIPE SIZE OR PIPE SPECIFICATIONS SHALL NOT BE INCLUDED IN THE MARKINGS.
- 13.4 ALL MARKINGS, LABELS, TAGS, ETC., SHALL BE OF PERMANENT, QUALITY MATERIALS AND SECURELY ATTACHED OR FASTENED TO THE PARTS BEING IDENTIFIED.
- 13.5 ALL PIPING, VALVES, AND CONTROLS, ETC., SHALL HAVE BEEN PROPERLY FINISHED WITH PAINT OR INSULATION PRIOR TO THE APPLICATION FOR THE IDENTIFICATION SYSTEM.
- 13.6 PIPE IDENTIFICATIONS SHALL BE PLACED IN THE FOLLOWING GENERAL AREAS:
 - 13.6.1 AREA BETWEEN ONE AND TWO FEET ADJACENT TO ANY PENETRATION.
 - 13.6.2 AREA BETWEEN ONE AND TWO FEET ON ONE SIDE OF BEND OR CHANGE IN DIRECTION OF PIPELINE.
 - 13.6.3 AREA BETWEEN ONE AND TWO FEET ON THE LARGER PIPE ON ONE SIDE OF BRANCH OR YTE. AREA BETWEEN ONE AND TWO FEET AHEAD OF VALVES, CONTROLS, ETC.
 - 13.6.4 AREA BETWEEN ONE AND TWO FEET FROM WHERE PIPE IS ATTACHED TO ANY EQUIPMENT ASSEMBLY.
 - 13.6.5 ON STRAIGHT RUNS OF PIPE, IDENTIFICATIONS SHALL BE SPACED AT NOT GREATER THAN FORTY-FOOT INTERVALS.
- 13.7 TAGS FOR AUTOMATED VALVES, CONTROLS, ETC., SHALL BE SECURED TO COMPONENTS IN SUCH A MANNER THAT IDENTIFICATION CANNOT BE REMOVED WITHOUT TOOLS OR PARTIAL DISASSEMBLY OF THAT COMPONENT. ATTACHMENT SHALL NOT INTERFERE WITH NORMAL USE, OPERATION, OR ADJUSTMENT OF COMPONENT.
- 13.8 IDENTIFICATIONS SHALL BE READILY OBSERVABLE FROM NORMAL INSPECTION OBSERVATION POSITION. ON OVERHEAD PIPING THE CENTER FACE OF THE IDENTIFICATION LABEL SHALL BE NORMAL TO A LINE OF SIGHT INCLINED 45° ABOVE THE HORIZONTAL WHERE PRACTICAL. LABELS SHALL READ AXIALLY ALONG THE PIPING.
- 13.9 ALL PIPING SYSTEMS SHALL BE COLOR CODED IN ACCORDANCE WITH ANSI A13.1 "SCHEME FOR THE IDENTIFICATION OF PIPING SYSTEMS", BY USE OF PLASTIC LABELS AND BANDING.
- 13.10 LABELS SHALL BE PREPRINTED, SELF-STICKING WITH PRINTING IN CONTRASTING BLACK OR WHITE COLOR. FLOW DIRECTION ARROW LABELS SHALL BE OF THE SAME MATERIAL AND COLOR WITH CONTRASTING BLACK OR WHITE ARROW. COLOR-CODED-BANDING SHALL BE APPLIED AROUND THE PIPE AT BOTH ENDS OF LABEL OVERLAPPING LABEL 1/4-INCH.
- 13.11 WIDTH OF LABELS SHALL BE 1 1/8 INCH FOR PIPES UP TO AND INCLUDING 3 INCHES. LABELS FOR PIPES 3-1/2 INCH AND OVER SHALL BE 2-1/4 INCHES WIDE. LENGTH OF LABELS SHALL BE AS NECESSARY TO CONTAIN PRINTING AND PROVIDE 1/2 INCH MARGIN AT EACH END. LENGTH OF COLOR FIELD SHALL BE SHOWN IN ANSI A13.1.
- 13.12 PRINTING SHALL BE IN HEAVY BLOCK LETTERS NOT LESS THAN 3/8-INCH-HIGH AND SHALL BE LARGER IF PRACTICAL.
- 13.13 LABELS SHALL BE BRADY PIPE MARKERS AS MANUFACTURED BY W.H. BRADY COMPANY, MILWAUKEE, WISCONSIN, MARKING SERVICES INC OR APPROVED EQUAL.
- 13.14 BANDING TAPE SHALL BE 1-1/2 INCHES WIDE FOR PIPES 3 INCHES AND UNDER, AND 2-1/4 INCHES WIDE FOR PIPES 3-1/2 INCHES AND OVER. BANDING SHALL ENCLOSE PIPE AND OVERLAP NOT LESS THAN 1/4 INCH CIRCUMFERENCE BUT NOT TO EXCEED 1 INCH.
- 13.15 PIPING SERVICES SHALL BE IDENTIFIED IN ACCORDANCE WITH THE FOLLOWING:

SERVICE	FIELD/BAND COLOR/CODING	LETTERING COLOR
ACETONE VAPOR RECOVERY	YELLOW	BLACK
ACETONE RECOVERY	YELLOW	BLACK

14. PIPING AND SUPPORT PAINT

- 14.1 THE PIPING CONTRACTOR SHALL PREPARE THE SURFACES AND PAINT PIPE HANGERS, ROOFS, SUPPORTS, AND AUXILIARY STEEL OR OTHER DEVICES FURNISHED UNDER THIS CONTRACT WITH A RUSTOLEUM PRIME COAT (2 MILS DRY FILM THICKNESS). PREPARATION OF SURFACES AND APPLICATION OF PRIME COAT SHALL BE IN ACCORDANCE WITH PAINT MANUFACTURER'S INSTRUCTIONS. ALL CARBON STEEL PIPE HANGERS AND SUPPORTS SHALL BE AT LEAST PRIME PAINTED UNDER THIS SECTION. ALL PIPE SUPPORTS AND AUX. STEEL SHALL BE PRIME-PAINTED UNDER THIS SECTION. A RUSTOLEUM PRIMER (2 MILS DRY FILM THICKNESS) SHALL BE APPLIED.
- 14.2 FINISH PAINTING: APPLY A TACK COAT OF RUST-OLEUM 9100 SYSTEM DTM EPOXY MASTIC (029192402) TO ENTIRE SURFACE GIVING EMPHASIS TO ALL WELDS. IN SAME APPLICATION, APPLY A SECOND COAT OVER FIRST TACK COAT AND TO ENTIRE EXTERIOR SURFACES, 6 TO 8 MILS DFT TOTAL (WHITE). OWNER WILL PROVIDE PAINT AS REQ'D.

MECHANICAL EQUIPMENT INSTALLATION

- 1.1 FURNISH ALL LABOR, MATERIALS, TOOLS, AND EQUIPMENT NECESSARY FOR MECHANICAL EQUIPMENT WORK SHOWN ON THE DRAWINGS AND SPECIFIED HEREIN.
- 1.2 UNLESS OTHERWISE EXPRESSLY STATED, THE USE OF THE WORD "INSTALL" MEANS INSTALLED IN PLACE, COMPLETE, TESTED, AND READY FOR OPERATION, EXCEPT FOR INSTRUMENTATION AND ELECTRICAL WORK, WHICH WILL BE DONE BY THE RESPECTIVE TRADE CONTRACTORS.
- 1.3 THE EQUIPMENT INSTALLATION WORK INCLUDES THE EQUIPMENT AS SHOWN ON THE PROCESS FLOW DIAGRAM DWG. M-1.
 - 1.3.1 THIS EQUIPMENT IS FURNISHED EITHER BY THE OWNER UNDER SEPARATE EQUIPMENT PACKAGES, OR BY THE CONTRACTOR, PER THE TABLES BELOW. THE CONTRACTOR SHALL PROVIDE SCHEDULING, COORDINATION, UNLOADING, SETTING, INSTALLATION, AND START-UP. THE CONTRACTOR WILL BE REQUIRED TO PROVIDE ASSISTANCE TO THE EQUIPMENT SELLER FOR THOSE EQUIPMENT PACKAGES WHICH WERE PURCHASED WITH START-UP AND SUPERVISION PROVIDED BY THE SELLER.
- 1.4 THE OWNER WILL COMPLY AND FILE AT THE JOBSITE, COPIES OF ALL OWNER FURNISHED PURCHASE ORDERS, CERTIFIED SHOP DRAWINGS AND INSTALLATION MANUALS AS RECEIVED FOR EACH UNIT OF EQUIPMENT TO BE INSTALLED UNDER THIS SECTION. THE FILE WILL BE TURNED OVER TO THE CONTRACTOR AT THE TIME OF THE NOTICE TO PROCEED. THE FILE SHALL BE RETURNED IN AN ORDERLY MANNER TO THE OWNER UPON ACCEPTANCE OF THE WORK BY THE OWNER. ALL ADDITIONS OR MODIFICATIONS SHALL BE INCLUDED AND RETURNED WITH THE FILE.
- 1.5 INSTALL ALL MECHANICAL EQUIPMENT IN ACCORDANCE WITH THIS SECTION, THE DRAWINGS, AND THE "CERTIFIED" INSTALLATION INSTRUCTIONS AND/OR DRAWINGS OF THE EQUIPMENT MANUFACTURERS. RESPONSIBILITIES INCLUDE, BUT ARE NOT LIMITED TO, THE FOLLOWING:
 - 1.5.1 INSPECT SHIPPED EQUIPMENT PRIOR TO UNLOADING, NOTIFY CARRIER OF ANY DAMAGE OR MISSING PARTS, ISSUE ANY LOSS AND DAMAGE REPORTS REQUIRED.
 - 1.5.2 SIGN CARRIER'S RECEIVING RECEIPTS AND VERIFY THE SHIPPING LIST FOR ACCURACY AND COMPLETENESS. SIGN ONLY FOR EQUIPMENT RECEIVED.

1.5.3 UNLOAD EQUIPMENT FROM COMMON CARRIER AT THE JOB-SITE; MOVE EQUIPMENT TO ITS PROPER PLACE SHOWN ON THE DRAWINGS AND/OR STORAGE AREA.

1.5.4 REVIEW THE MANUFACTURER'S INSTRUCTIONS AND STORE ANY EQUIPMENT WHICH MIGHT BE DAMAGED BY THE ELEMENTS IN A WEATHERPROOF ENCLOSURE. OWNER PROCURED EQUIPMENT WHICH WOULD BE SUSCEPTIBLE TO LOSS OR DAMAGE FROM THE ELEMENTS, CONDENSATION, OR PILFERAGE MUST BE KEPT INDOORS AND LOCKED, IF POSSIBLE, IN AN OWNER PROVIDED STORAGE AREA.

1.5.5 UNPACK EQUIPMENT AND COMPONENT PARTS.

1.5.6 SET, CONNECT SUPPORTS, LEVEL, ALIGN, ANCHOR, FURNISH MISCELLANEOUS SUPPORTS AND HANGERS, AND CHECK ALL EQUIPMENT AND COMPONENT PARTS ACCORDING TO THE MANUFACTURER'S PACKING LISTS AND INSTALLATION RECOMMENDATIONS.

1.5.7 TEST AND SHAKE-DOWN TEST ALL EQUIPMENT ACCORDING TO THE APPLICABLE CODES AND MANUFACTURER'S RECOMMENDATIONS. THE ELECTRICAL CONTRACTOR WILL PROVIDE ASSISTANCE FOR ELECTRICAL WORK AS REQUIRED.

1.5.8 ACCOMPLISH ALL INSTALLATION WITHOUT DAMAGE TO EQUIPMENT, ROADWAYS, SIDINGS, BUILDINGS AND/OR STRUCTURES. IMMEDIATELY REPAIR, TO ORIGINAL CONDITION, ANY DAMAGED PORTIONS AT NO ADDITIONAL COST TO THE OWNER. OBTAIN OWNER'S APPROVAL OF ALL REPAIR WORK.

1.6 THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ALL EQUIPMENT UNTIL THE EQUIPMENT AND/OR EQUIPMENT COMPONENTS ARE INSTALLED, TESTED, AND ACCEPTED BY THE OWNER.

1.7 FIELD CHECK DIMENSIONS SHOWN ON THE DRAWINGS AND THE "CERTIFIED" EQUIPMENT DRAWINGS. RESOLVE ANY DISCREPANCIES BEFORE STARTING THE WORK.

1.8 FURNISH AND INSTALL ALL EQUIPMENT PADS REQUIRED TO SUPPORT EQUIPMENT INSTALLED BY THIS SECTION. THESE PADS SHALL BE FURNISHED IN ACCORDANCE WITH THE REQUIREMENTS ESTABLISHED BY THE EQUIPMENT MANUFACTURERS.

- 1.8.1 USE FINAL CERTIFIED SHOP DRAWINGS FOR INSTALLATION OF EQUIPMENT PADS. DETERMINE SIZE AND LOCATION FROM EQUIPMENT MANUFACTURER'S SHOP DRAWINGS AND/OR OTHER SOURCES.

1.9 PROVIDE MOUNTING BOLTS AND ACCESSORIES, ANCHOR BOLTS, WASHERS, AND NUTS UNDER THIS SECTION AS REQUIRED FOR EQUIPMENT BOLTS AND HEX NUTS SHALL CONFORM TO ASTM A307-76B, GRADE A, EXCEPT WHERE THE EQUIPMENT HAS STAINLESS STEEL SUPPORTS, USE STAINLESS STEEL BOLTS, WASHERS, AND NUTS.

1.10 EMBED ANCHOR BOLTS IN CONCRETE PADS WITH TIE-IN TO STRUCTURAL CONCRETE FLOORS. CHECK LOCATION, SPACING, ALIGNMENT, AND PROJECTION OF ANCHOR BOLTS BEFORE AND AFTER PLACEMENT OF CONCRETE. ANCHOR BOLTS SHALL PROJECT BEYOND THE TIGHTENED NUT A MINIMUM OF ONE-FOURTH BOLT DIAMETER AND A MAXIMUM OF ONE BOLT DIAMETER. CUT OFF AND FILE, OR GRIND SMOOTH, ALL LONG ANCHOR BOLTS. REPLACE SHORT ANCHOR BOLTS.

1.11 GROUT EQUIPMENT SET ON CONCRETE PADS OR FLOOR SLABS AFTER INSTALLATION AND LEVELING. COMPLETELY FILL ALL VOIDS IN HOLLOW BASE PLATES WITH GROUT; PUMP BASE PLATES SHALL BE COMPLETELY FILLED WITH GROUT. SLOPE EDGES OF GROUT AWAY FROM THE EQUIPMENT BASE. REMOVE LEVELING SHIMS AND WEDGES AFTER GROUT HAS HARDENED. REGROUT SHIM AND WEDGE AREAS. GROUT SHALL BE NON-METALLIC, STRUCTURAL, NON-SHRINK GROUT.

1.12 INSTALL STRUCTURAL STEEL SUPPORTS FOR EQUIPMENT AS REQUIRED AND/OR AS SHOWN ON THE DRAWINGS. ALL FIELD WELDING FOR ANCHORAGE OF EQUIPMENT TO THE FOUNDATION SHALL BE PERFORMED BY QUALIFIED WELDERS IN ACCORDANCE WITH ANSI B31.1-1999, POWER PIPING CODE, PAR 127.5.

1.13 SET EACH PIECE OF EQUIPMENT ON ITS FOUNDATION, MOUNTING, OR SUPPORTING STRUCTURE. FURNISH SHIMS AND WEDGES REQUIRED TO ALIGN EQUIPMENT WITHIN THE TOLERANCES AND ALLOWANCES SPECIFIED BY THE MANUFACTURER'S INSTALLATION INSTRUCTIONS. CERTAIN UNITS OF EQUIPMENT MAY BE SHIPPED UNASSEMBLED, ASSEMBLE EQUIPMENT AS REQUIRED. ASSEMBLE OR CONNECT ANY PIPING FURNISHED WITH THE EQUIPMENT.

1.14 INSTALL AND ALIGN EACH PIECE OF ROTATING EQUIPMENT ACCORDING TO THE MANUFACTURER'S PRINTED INSTALLATION INSTRUCTIONS. CHECK ALIGNMENT AFTER LEVELING, AFTER GROUTING, AFTER CONNECTION OF PIPING, AND AFTER THE OPERATIONAL DEMONSTRATION. REALIGN EQUIPMENT BEFORE PROCEEDING WITH THE NEXT INSTALLATION STEP, OR AFTER THE OPERATIONAL DEMONSTRATION, IF ANY CHECK INDICATES MISALIGNMENT.

1.15 REMOVE ALL SHIPPING TAGS, DIRECTIONS, TIE WIRE, ETC., AS THE WORK PROGRESSES BUT NOT BEFORE EACH INSTALLATION IS COMPLETE.

1.16 THE CONTRACTOR SHALL PROVIDE SAFETY GUARDS TO COVER ALL ROTATING, RECIPROCATING OR OTHERWISE MOVING PARTS WHERE NOT PROVIDED BY THE EQUIPMENT MANUFACTURER. GUARDS SHALL BE CONSTRUCTED FOR HEAVY-DUTY SERVICE, RIGIDLY SUPPORTED, AND READILY REMOVABLE FOR INSPECTION AND/OR MAINTENANCE PURPOSES.

1.17 TAKE SPECIAL PRECAUTIONS TO PREVENT THE ENTRANCE OF FOREIGN MATTER INTO EQUIPMENT DURING ALL PHASES. SHOULD FOREIGN MATTER ENTER EQUIPMENT, DISASSEMBLE, CLEAN, AND REASSEMBLE EQUIPMENT WITHOUT ADDITIONAL COST TO THE OWNER. ENGINEER'S APPROVAL MUST BE OBTAINED BEFORE ANY DISMANTLING OF EQUIPMENT IS STARTED.

1.18 ALL EQUIPMENT SUPPORTS AND OTHER DEVICES INCLUDED UNDER THIS SECTION SHALL BE PRIME-PAINTED UNDER THIS SECTION. A RUSTOLEUM PRIMER (2 MILS DRY FILM THICKNESS) SHALL BE APPLIED.

1.19 EQUIPMENT & SUPPORT FINISH PAINT: APPLY A TACK COAT OF RUST-OLEUM 9100 SYSTEM DTM EPOXY MASTIC (029192402) TO ENTIRE SURFACE GIVING EMPHASIS TO ALL WELDS IN SAME APPLICATION. APPLY A SECOND COAT OVER FIRST TACK COAT AND TO ENTIRE EXTERIOR SURFACES, 6 TO 8 MILS DFT TOTAL (WHITE). OWNER WILL PROVIDE PAINT AS REQ'D.

1.20 LUBRICATE EACH UNIT OF EQUIPMENT PRIOR TO INITIAL OPERATION OR TESTING. CHECK WITH ENGINEER BEFORE LUBRICATING EQUIPMENT. UNLESS OTHERWISE DIRECTED IN WRITING BY THE ENGINEER, USE THE LUBRICANTS RECOMMENDED BY THE EQUIPMENT MANUFACTURER.

1.21 PROPERLY LUBRICATE EQUIPMENT DURING THE TESTING AND START-UP PERIODS UNTIL FINAL OPERATION ACCEPTANCE IS ACHIEVED.

1.22 TAG EACH ITEM OF EQUIPMENT AS IT IS LUBRICATED, STARTING DATE, TYPE OF LUBRICATION USED, AND WHO IS PERFORMING THE LUBRICATION.

TANK TIGHTNESS TESTING

- 1.1 PERFORM TESTS IN THE PRESENCE OF THE ENGINEER AND STATE INSPECTOR.
- 1.2 CONTRACTOR TO PROVIDE ALL NECESSARY FLANGES, VALVES, GASKETS, PIPING, LOW PRESSURE GAUGES, FITTINGS, AND COMPRESSED AIR SUPPLY NECESSARY FOR CONDUCTING PNEUMATIC TESTING.
- 1.3 WHILE MAINTAINING TEST PRESSURE, THE TANK SHALL SHOW NO SIGNS OF FAILURE, LEAKAGE, AND/OR DISTORTION. THERE SHALL BE NO LOSS OF TEST PRESSURE OR MEDIA DURING THIS PERIOD.
- 1.4 USE MEDIA, PRESSURES AND TIME PERIOD AS SPECIFIED BY THE ENGINEER. VERTICAL TANKS MUST BE PNEUMATICALLY TESTED AT 1 1/2 TO 2 1/2 PSIG. USE ONLY CALIBRATED OPAHFRGM TYP. AIR PRESSURE GAUGES WITH A 0-3 OR 0-5 PSIG SPAN. SET PRESSURE RELIEF IN AIR SUPPLY AT 2 PSIG. HOLD TEST PRESSURE FOR A MINIMUM OF 1 HOUR.
- 1.5 APPLY SOAP SOLUTION TO ALL FITTINGS, VALVES, OR CONNECTIONS TO THE TANK DURING PNEUMATIC TEST.
- 1.6 THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, REPAIR ALL DEFECTS IN HIS CONNECTIONS TO THE TANK WHICH WERE DISCLOSED BY TESTING, AND REPEAT TEST PROCEDURE UNTIL A SATISFACTORY TEST IS WITNESSED BY THE ENGINEER AND STATE/LOCAL AUTHORITY HAVING JURISDICTION.

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VERIFY SCALES
 BAR IS ONE INCH ON ORIGINAL DRAWING.
 IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY.

NO.	DATE	BY	REVISION
0	8/9/13	J.M.N.	ISSUED FOR VILLAGE OF PLEASANT PRAIRIE REVIEW SUBMITAL

DESIGNED BY:	J.M. NOLL, P.E.
PROJECT MANAGER:	J.M. NOLL, P.E.

RUST-OLEUM
 8105 95TH STREET
 PLEASANT PRAIRIE, WI 53158

ACETONE BULK TANK EXPANSION TANK & PIPING SYSTEM ADDITION SPECIFICATIONS - SHT 1 OF 2

DRAWING NUMBER:	M-2
DATE:	8/9/13
PROJECT NUMBER:	13165
SHEET NUMBER:	12 OF 25

PIPING SPECIFICATION - CARBON STEEL - CS1

ANSI CLASS: 125 LB. FF
 SERVICE LIMITS: 150 PSIG @ -20 TO 150°F
 FLUIDS: COMPRESSED AIR, NITROGEN, COOLING WATER
 GENERAL MATERIAL: CARBON STEEL, SCREWED AND WELDED
 INSPECTION: PNEUMATIC TESTING SEE SECTION 12 ON DWG. M-2

MATERIALS			
PIPE	3/4" AND SMALLER 1" THRU 2" 2 1/2" THRU 8"	STD. WT. STD. WT. STD. WT.	CARBON STEEL, THREADED AND COUPLED CARBON STEEL, THREADED AND COUPLED CARBON STEEL, SEAMLESS, BEVELED ENDS
FITTINGS	2" AND SMALLER 2 1/2" THRU 8"	150 LB. STD. WT.	MALLEABLE IRON, BANGED, THREADED ENDS CARBON STEEL, SEAMLESS, BUTT-WELD ENDS
BRANCHES	2" AND SMALLER 2 1/2" THRU 8"	STD. WT. STD. WT.	FORGED STEEL, WELDING OUTLET FITTINGS/ BUTT WELD/THREADED FORGED STEEL, WELDING OUTLET FITTINGS/ BUTT WELD
UNIONS	2" AND SMALLER	150 LB.	MALLEABLE IRON, THREADED, FPT, BRASS SEAT
FLANGES	2 1/2" THRU 8"	CLASS 150	FORGED STEEL, FLAT FACE (OR FACED TO MATCH EQUIPMENT), SLIP-ON OR WELD NECK, BORED TO MATCH PIPE.
GASKETS	1/8" THICK		FULL FACE, GARLOCK STYLE 3400 OR RECONSTRUCTED PIPE WITH BARIUM SULFATE FILLER OR APPROVED EQUAL
BOLTS AND NUTS			CARBON STEEL; HEX-HEAD BOLTS; HEAVY, SEMI-FINISHED, COLD-PUNCHED HEX NUTS
SPECIFICATIONS	MATERIALS	DIMENSIONAL	
	ASTM	ANSI	
PIPE	A53/120 GR. B	B36.10	
FITTINGS	A197/A234, GR. WPB	B16.9	
BRANCHES	A105	----	
UNIONS	A197	----	
FLANGES	A105	B16.5	
GASKETS	----	B16.21	
BOLTING	STUDS: A193 GR. B7 NUTS: A194 GR. 2H, GALV.	B18.2.1 B18.2.2	

NOTE:
 1. STANDARD INSTALLATION USES THREADED JOINTS FOR 2" AND SMALLER DIAMETER PIPE, AND WELDED JOINTS FOR 2 1/2" AND LARGER DIAMETER PIPE. CONTRACTOR IS REQUIRED TO INSULATE COOLING WATER PIPING.

PIPING SPECIFICATION - CARBON STEEL - CS2

ANSI CLASS: 150 LB. RF
 SERVICE LIMITS: 150 PSIG @ -20 TO 150°F
 FLUIDS: SOLVENTS, RESINS, INTERMEDIATES, AND PROCESS VENTS.
 GENERAL MATERIAL: CARBON STEEL, SCREWED AND WELDED
 INSPECTION: PNEUMATIC TESTING SEE SECTION 12 ON DWG. M-2

MATERIALS			
PIPE	3/4" AND SMALLER 1" THRU 2" 2 1/2" THRU 8"	XS STD. WT. STD. WT.	CARBON STEEL, SEAMLESS, THREADED AND COUPLED CARBON STEEL, SEAMLESS, THREADED AND COUPLED CARBON STEEL, SEAMLESS, BEVELED ENDS
FITTINGS	2" AND SMALLER (EXCEPT PIG LINES) 2" PIG LINES AND DIAM. THRU 8"	3,000 LB. SCH. TO MATCH PIPE	FORGED STEEL, THREADED ENDS CARBON STEEL, SEAMLESS, BUTT-WELD ENDS; LONG SWEEP 90° ELBOWS
UNIONS	ALL		USE FLANGES INSTEAD OF UNIONS
FLANGES	1/2" THRU 1 1/2" 2" THRU 8"	CLASS 150 CLASS 150	FORGED STEEL, RAISED FACE, SW FORGED STEEL, RAISED FACE, WELD NECK BORED TO MATCH PIPE.
GASKETS	1/8" THICK	FIRE SAFE	FLEXITALLIC SPIRAL WOUND STYLE CG 304SS WINDING; FLEXICARB GRAPHITE FILLER
BOLTS AND NUTS			CARBON STEEL; HEX-HEAD BOLTS; HEAVY, SEMI-FINISHED, COLD-PUNCHED HEX NUTS.
SPECIFICATIONS	MATERIALS	DIMENSIONAL	
	ASTM	ANSI	
PIPE (3/4" AND SMALLER)	A106, GR. B	B36.10	
PIPE (1" THRU 8")	A53, GR. B	B36.10	
FITTINGS	A105/A234, GR. WPB	B16.9	
BRANCHES	A105	----	
FLANGES	A105	B16.5	
GASKETS	----	B16.21	
BOLTING	STUDS: A193 GR. B7 NUTS: A194 GR. 2H, GALV.	B18.2.1 B18.2.2	

NOTE:
 1. STANDARD INSTALLATION USES THREADED JOINTS FOR 2" AND SMALLER DIAMETER PIPE, AND WELDED JOINTS FOR 2 1/2" AND LARGER DIAMETER PIPE.

EQUIPMENT & PIPING SPECIALTIES - OWNER FURNISHED

(ALL ITEMS TO BE INSTALLED BY THE CONTRACTOR UNLESS OTHERWISE NOTED)

ITEM	DESCRIPTION
DD-10	DESICCANT DRYER; AIR DRYER FOR STORAGE TANKS, C.S. BODY & COVER, S.S. BASKET ASS'Y, S.S. SCREEN, BUNA-N O-RING SEAL, 30# CAPACITY, 3" 150# FLANGED CONNECTIONS, W/HUMIDITY INDICATOR. MODEL: SERIES NO. 782 W/(3)782-18-101 SIZE: 3" 150# FLG. - 30# MANUFACTURER: PROTECTOSEAL
EMV-10	EMERGENCY FIRE VALVE; FUSIBLE-LINK FIRE VALVE, DUCTILE IRON CONSTRUCTION, 200 PSI COLD NON-SHOCK PRESSURE RATING, 150# RAISED FACE FLANGES, TEFLON GASKET, 165F STANDARD FUSIBLE LINK, U.L. LISTED, FM APPROVED. MODEL: 346FDI0300AV SIZE: 3" 150# FLG. MANUFACTURER: MORRISON BROS.
EMV-20	EMERGENCY FIRE VALVE; FUSIBLE-LINK FIRE SAFE VALVE, BALL VALVE CONFIGURATION W/150# FLG. ENDS, WEATHERPROOF SPRING PACK W/S.S. TOP PLATE, 165F FUSIBLE LINK, FM APPROVED. MODEL: MT-SERIES SIZE: 3" 150# FLG. MANUFACTURER: BI-TORO
FA-10	FLAME ARRESTER; VENT-LINE FLAME ARRESTER, CAST ALUMINUM CONSTRUCTIONS W/MACHINED ALUMINUM FLAME ARRESTER PLATES, 150# FLANGED CONNECTIONS, U.L. LISTED, FM APPROVED. MODEL: 4953F SIZE: 3" 150# FLG. MANUFACTURER: PROTECTOSEAL
FA-20	DETONATION FLAME ARRESTER; BI-DIRECTIONAL DETONATION FLAME ARRESTER, DESIGNED FOR MANIFOLD TANK SYSTEMS WELDED STEEL CONSTRUCTION, 316 S.S. ARRESTER ELEMENT ENCASED IN C.S. HOUSING, 150# FLANGED CONNECTIONS, U.L. LISTED. MODEL: C25003 SIZE: 3" 150# FLG. MANUFACTURER: PROTECTOSEAL
LE-201/ LE-202	LEVEL ELEMENT; PRESSURE LEVEL TRANSMITTER W/MODULAR ELECTRONICS, 316 S.S. WETTED PARTS, 316 S.S. SENSOR W/0-35 FT. RANGE (WATER), 0-15 PSIG CALIBRATION, CLASS 1, DIV. 1 GROUPS B,C,D,E,F & G, ALUMINUM EXPLOSION PROOF HOUSING, 1" MNPT PROCESS CONNECTION. MODEL: 552Y-04Y-7W-1"MPY-AA SIZE: 1" MNPT MANUFACTURER: DELTA CONTROLS
	PLUG-IN DISPLAY; LOOP POWERED 3 1/2 DIGIT LCD, SEALED CASE, CLASS 1, DIV. 1 GROUPS B,C,D,E,F & G, ALUMINUM. MODEL: 328-7W-AA SIZE: 3 1/2 DIGIT MANUFACTURER: DELTA CONTROLS
LSHH-201/ LSHH-202	LEVEL SWITCH (HIGH-HIGH); VIBRATION LEVEL SWITCH, 1" 150# FLG. CONNECTION, CLASS 1, DIV. 1 GROUPS A,B,C & D, EXPLOSION PROOF, COMPACT DESIGN. MODEL: VEGASWING 63 MODEL CODE SWING 63, DUCCKUR SIZE: 1" 150# FLG. MANUFACTURER: OHMART VEGA
PSV-10	CONSERVATION BREATHER VENT W/FLAME ARRESTER; CAST ALUMINUM CONSTRUCTION, ALUMINUM PALLETS, SEATS & FLAME ARRESTER PLATES, TEFLON AIR CUSHION SEAT, 3" FNPT CONNECTION, SETTING AT 8 OZ. PRESSURE, 2 OZ. VACUUM, FM APPROVED, FACTORY TESTED FOR LEAKAGE & SETTING. MODEL: 833H SIZE: 3" FNPT MANUFACTURER: PROTECTOSEAL
PSV-20	EMERGENCY PRESSURE VENT; ALUMINUM BASE, HOOD & PALLET ASSEMBLY, S.S. GUIDES, TEFLON AIR-CUSHION SEAT, SETTING AT 16 OZ., 125# FLANGE CONNECTION, FACTORY TESTED FOR LEAKAGE & SETTING. MODEL: 7810H SIZE: 10" 125# FLG. MANUFACTURER: PROTECTOSEAL
PSV-30	CONSERVATION BREATHER VENT - PIPE AWAY; ALUMINUM CONSTRUCTION, TEFLON AIR-CUSHION SEAT, ALUMINUM PALLETS, AUTO-CONDENSATE DRAINAGE, FACTORY TESTED FOR LEAKAGE & SETTING. MODEL: SERIES NO. SIZE: 3" 150# FLG. MANUFACTURER: PROTECTOSEAL
T-201/ T-202	ACETONE STORAGE TANK; CARBON STEEL CONSTRUCTION, 30,000 GALLON GROSS CAPACITY, 27,155 GALLON OPERATING CAPACITY, VERTICAL, CONED TOP, 13'-1" DIA. ± 30'-0" STRAIGHT SIDE HT., DESIGNED, FABRICATED AND LABELED FOR S.G. 1.0 IN ACCORDANCE WITH UL 142.

NOTE:
 1. ONLY REGISTERED VALVES AND FITTINGS ARE TO BE USED. FITTINGS MUST HAVE MANUFACTURER'S IDENTIFICATION.

PIPING SPECIALTIES

(ALL ITEMS TO BE SUPPLIED AND INSTALLED BY THE CONTRACTOR)

ITEM	DESCRIPTION
SB-10	SPILL BOX; AST REMOTE SPILL CONTAINER, 16GA. C.S. CONSTRUCTION W/WHITE POWDER COAT FINISH, 20 GALLON CAPACITY, LOCKABLE HINGED LID, FORWARD OPENING, 1/2" DRAIN VALVE, 2" TOP OPENING FOR HAND PUMP INSTALLATION, ADJUSTABLE HT., W/FOUR 3" FNPT BACK PORTS. MODEL: 750-3P SIZE: 20 GALLON MANUFACTURER: BAKER INDUSTRIES NORTHWEST
ST-10	STRAINER; MODEL: SIZE: MANUFACTURER:
VB-10	BALL VALVE; 600 PSI ANSI, 3-PIECE STANDARD OR FULL PORT, C.S. ASTM A105 OR A216 TYPE WCB BODY, 316 S.S. BALL AND STEM, PTFE STEM SEAL, RITE SEATS, FIRE SAFE DESIGN, THREADED, SW OR BW ENDS. SHARPE MODEL: FS99 FULL PORT HABONIM MODEL: AF46-4466RJ-NPT (STD. PORT) APOLLO MODEL: B3 SERIES (MUST HAVE FIRESAFE GRAPHITE PACKING AND GASKETS) TRAC A-T MODEL: FB8C SERIES (THD., SW, BW, FULL PORT) SIZE: 1/2" THRU 2"
VB-20	BALL VALVE; UNIBODY OR SPLIT BODY DESIGN, CARBON STEEL ASTM A216 TYPE WCB BODY, TYPE 316 S.S. BALL AND STEM, PTFE STEM SEAL, RITE SEATS, FIRE SAFE DESIGN, RF FLANGE ENDS. HABONIM MODEL: SERIES 31, AF31-4466RJ-150 (STD. PORT) TRAC A-T MODEL: SERIES F90C, F90C-F1-0300 (FULL PORT) VELAN MODEL: SERIES UB150, F03-00302-SSCZ (STD. PORT) SIZE: 2 1/2" AND LARGER
VC-10	CHECK VALVE; CLASS 150, CAST STEEL WCB, SWING CHECK, BOLTED CAP, RF FLANGED CONNECTIONS, 13% CHROME PLATED DISC, HARD FACED SEAT RING. CRANE MODEL: 147 VELAN MODEL: 0114C SIZE: 2 1/2" THRU 12"



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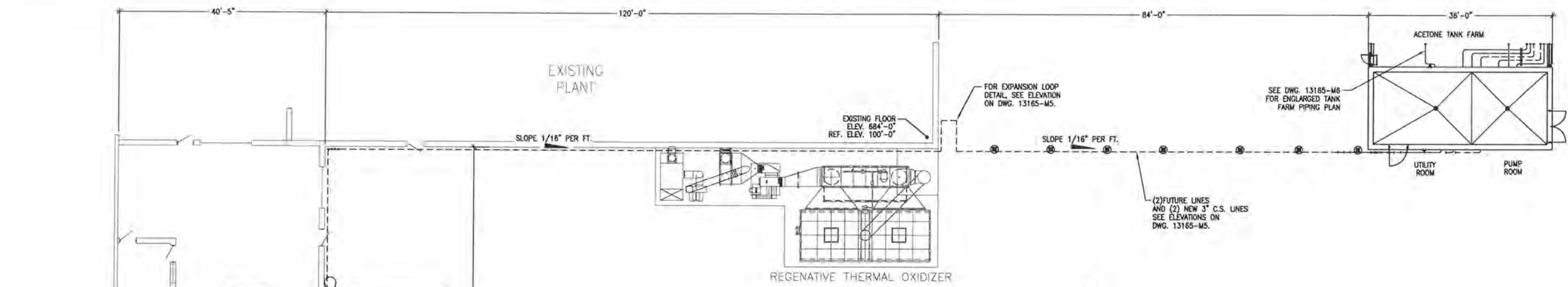
DRAWN BY: S.A.M.	CHECKED BY: J.M.N./D.P.L.
DESIGNED BY: J.M. NOLL, P.E.	
PROJECT MANAGER: J.M. NOLL, P.E.	



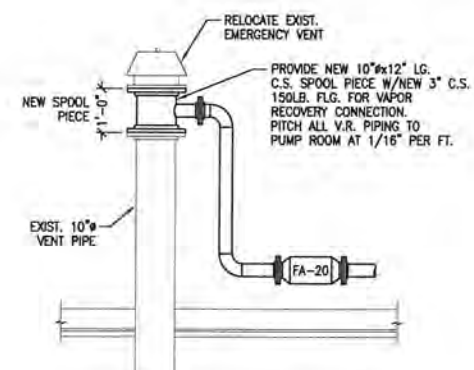
ACETONE BULK TANK EXPANSION
 TANK & PIPING SYSTEM ADDITION
 SPECIFICATIONS - SHT. 2 OF 2

DRAFT

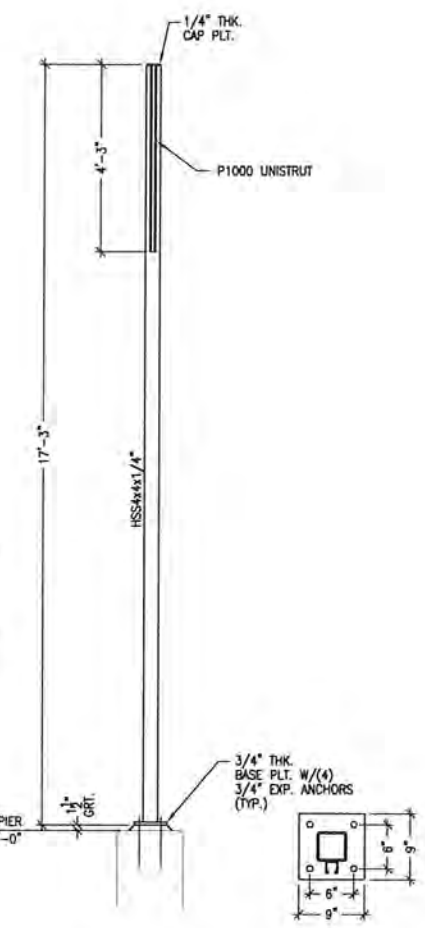
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DATE:	8/9/13
PROJECT NUMBER:	13165
SHEET NUMBER:	13 OF 25



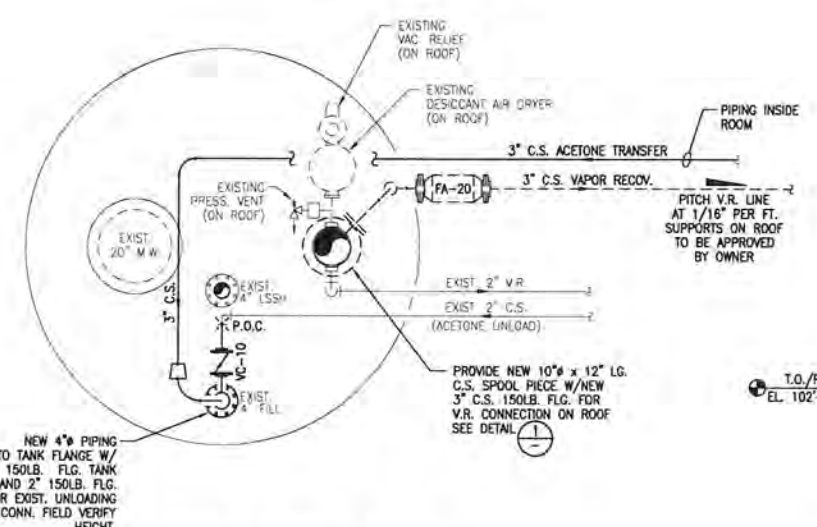
PARTIAL PIPING PLAN
SCALE: 1" = 10'-0"



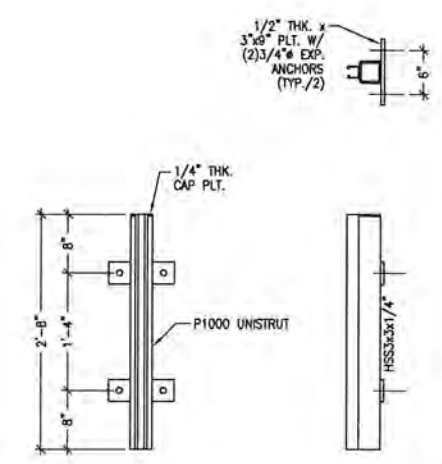
DETAIL 1
SCALE: 1/2" = 1'-0"



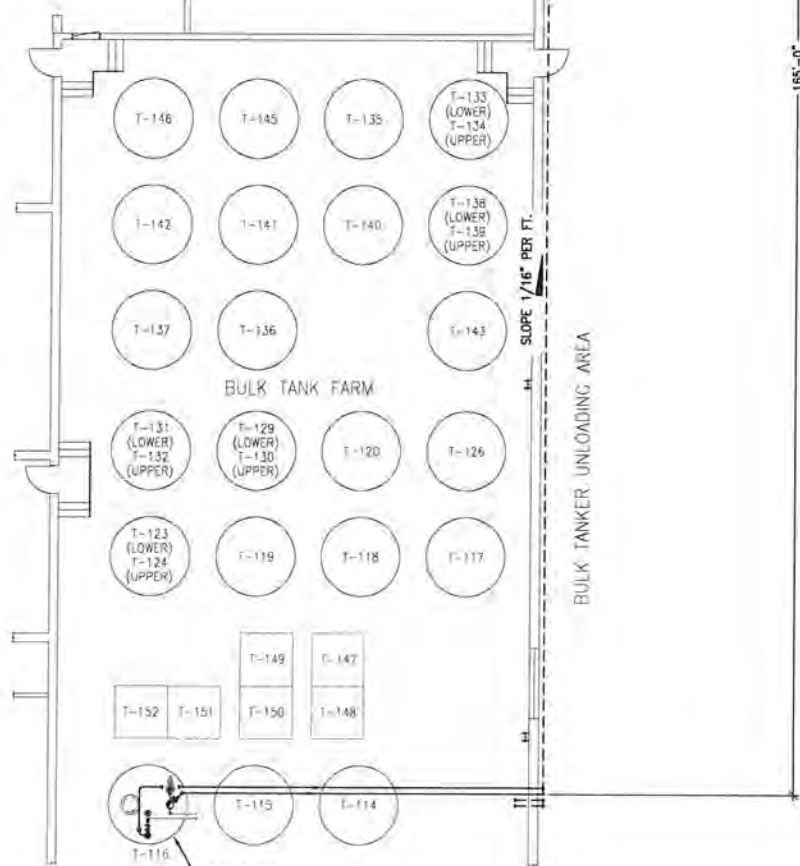
(7) SEVEN REQ'D.
PIPE SUPPORT 2
SCALE: 1/2" = 1'-0"



T-116 PIPING PLAN
SCALE: 1/2" = 1'-0"



(28) TWENTY-EIGHT REQ'D.
PIPE SUPPORT 3
SCALE: 1/2" = 1'-0"



SEE T-116 TANK TOP DETAIL THIS DWG.

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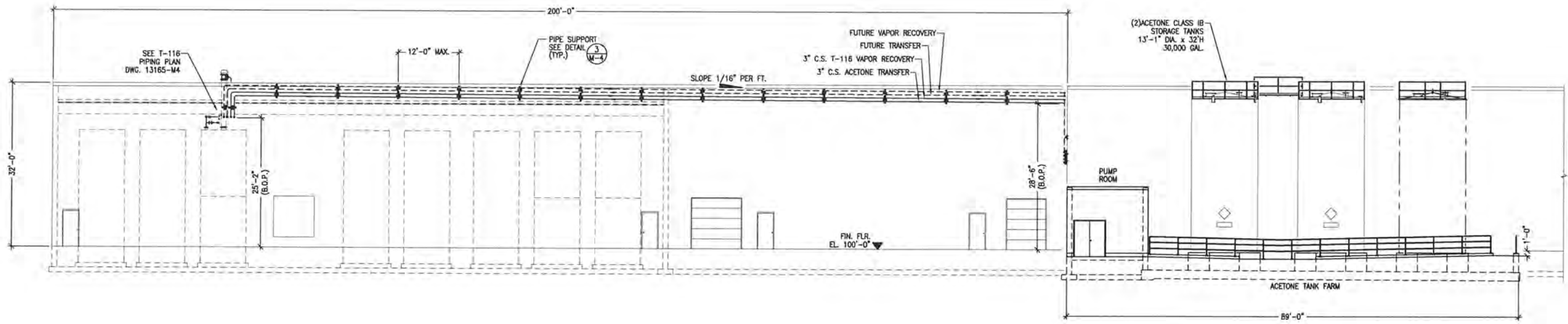
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DESIGNED BY: J.M. NOLL, P.E.
PROJECT MANAGER: J.M. NOLL, P.E.

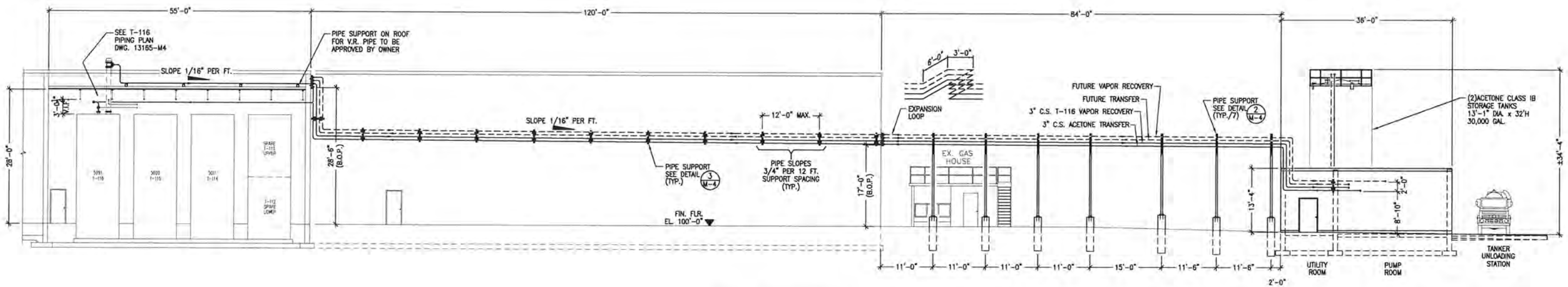
RUST-OLEUM
8105 95TH STREET
PLEASANT PRAIRIE, WI 53158

ACETONE BULK TANK EXPANSION TANK & PIPING SYSTEM ADDITION
PARTIAL PIPING PLAN & DETAILS

DRAWING NUMBER:	M-4
DATE:	8/9/13
PROJECT NUMBER:	13165
SHEET NUMBER:	14 OF 25



SOUTH ELEVATION
SCALE: 1" = 10'-0"

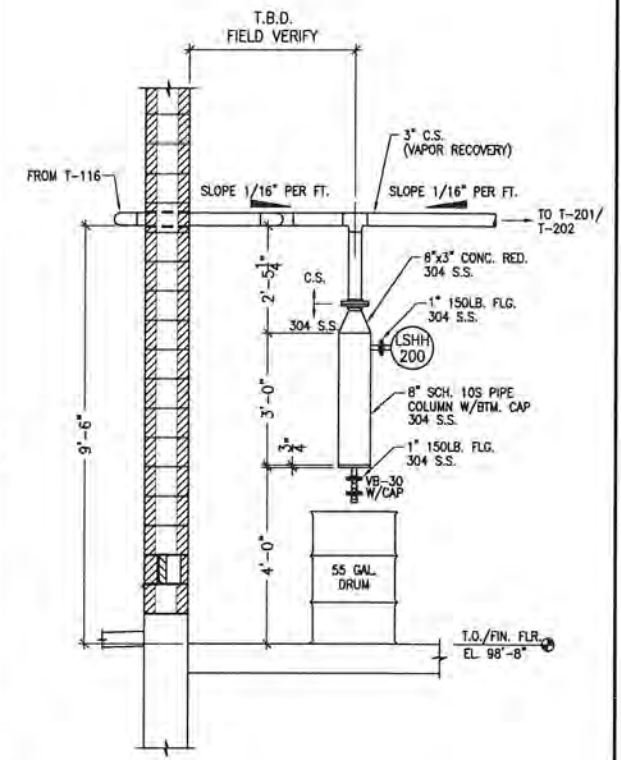
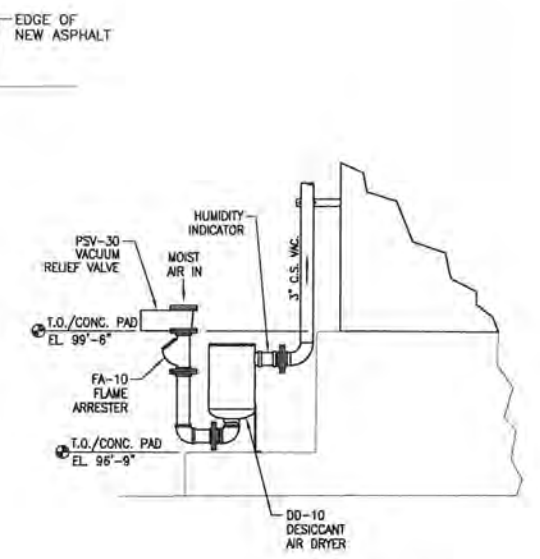
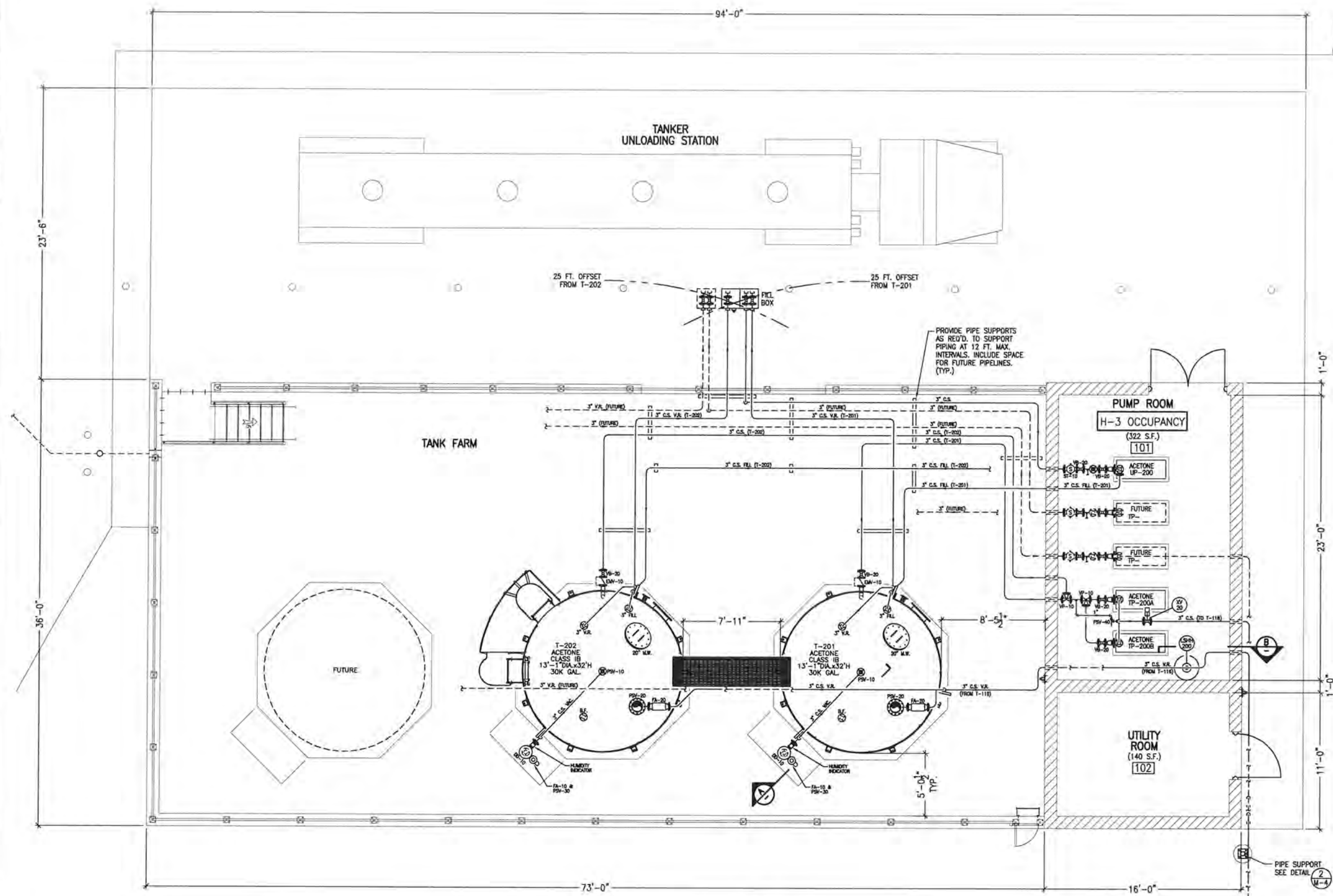


WEST ELEVATION
SCALE: 1" = 10'-0"

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PROJECT MANAGER: J.M. NOLL, P.E.	

DRAWING NUMBER:	M-5
DATE:	8/9/13
PROJECT NUMBER:	13165
SHEET NUMBER:	15 OF 25



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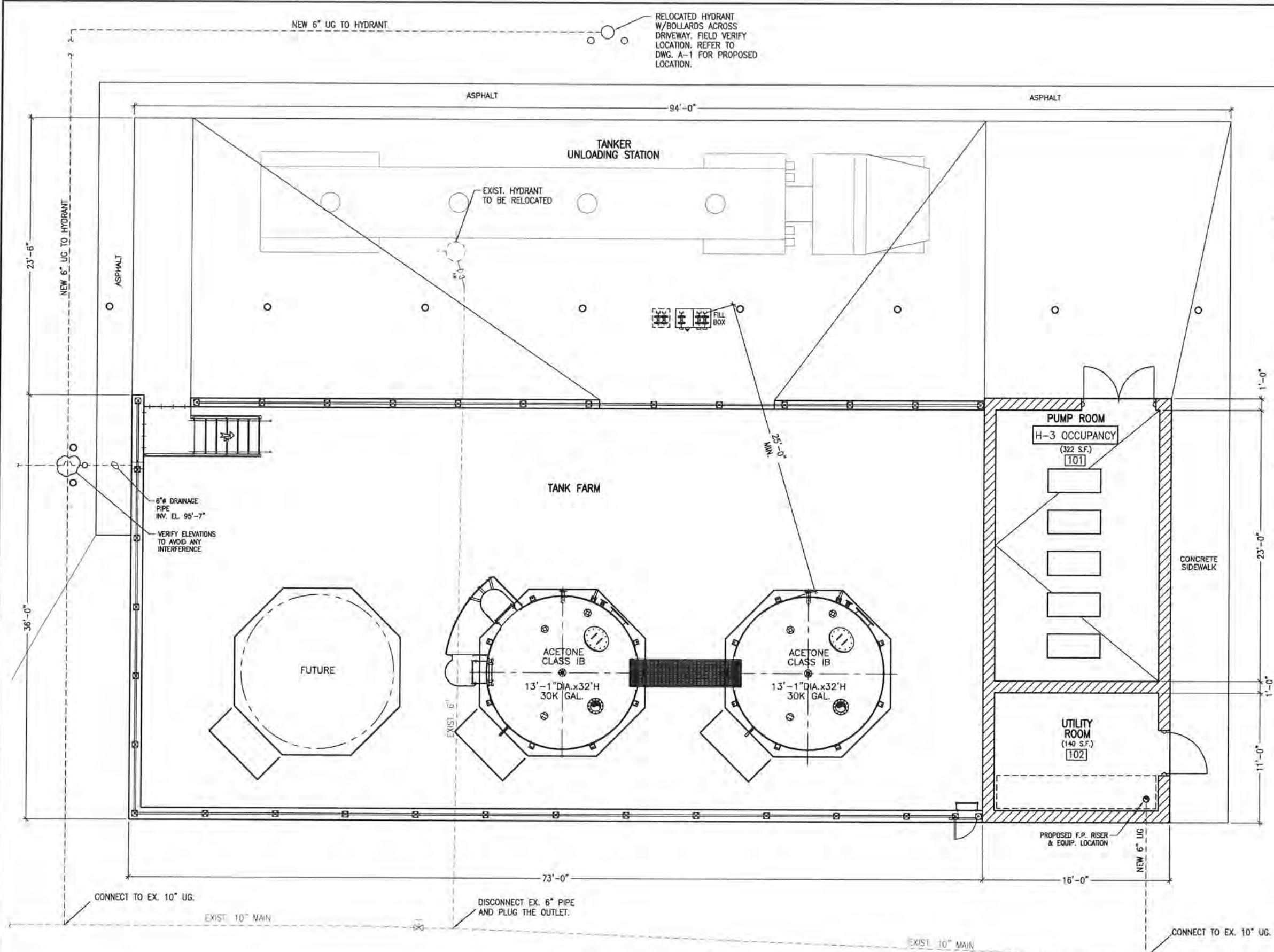
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DRAWN BY: S.A.M.
CHECKED BY: J.M.N./D.P.L.
DESIGNED BY: J.M. NOLL, P.E.
PROJECT MANAGER: J.M. NOLL, P.E.

RUST-OLEUM
8105 95TH STREET
PLEASANT PRAIRIE, WI 53158

**ACETONE BULK TANK EXPANSION
TANK & PIPING SYSTEM ADDITION
PIPING PLAN**

DRAWING NUMBER:	M-6
DATE:	8/9/13
PROJECT NUMBER:	13165
SHEET NUMBER:	16 OF 25



FIRE PROTECTION INSTALLATION NOTES:
 The new fire protection system is to be designed to protect a new diked storage tank area, a pump room and utility room.
 The site fire protection loop will provide premixed 3 solution. A separate local AFFF supply is not required.
 The fire protection contractor is responsible for all phases of this fire protection contract, including electric wiring, underground pipe installation, and any required painting for corrosion protection.

- CODES:**
 This installation shall comply with State of Wisconsin and Village of Pleasant Prairie Codes, and NFPA 11, 13, 16, and 30 requirements. Obtain required building permits from the Village of Pleasant Prairie for this installation.
- SUBMITTALS:**
 Prepare shop drawings and hydraulic calculations detailing the fire protection system design. Obtain required approvals of the drawings and calculations from the Village of Pleasant Prairie and the State of Wisconsin for the installation, as necessary. Obtain approval of the drawings and calculations from the owners insurance carrier. Submit (3) copies of the drawings and calculations to the Architect for approval. Submit (2) copies of the approvals from the State, City, and insurance carrier to the Architect for record. Submit data sheets for the fire protection equipment to the Architect for approval. The data sheets shall include the following items:
 Deluge system detection and equipment.
 Pipe and fittings.
 Control valves.
 Foam makers and nozzles.
 Sprinklers.
 Alarm switches.
 Alarm bells, horn, and strobes.
 Tamper switches.
 Hanger components.
 Drain valves.
- MATERIALS:**
 All materials are to be new, free of damage or corrosion, UL listed or FM approved for fire protection service, and in accordance with NFPA 13 requirements for fire protection materials. Threadable thinwall pipe with a CRR ratio of less than 1.0 when threaded is not acceptable. All exterior materials are to be corrosion resistant.
- DIKED AREA SYSTEM:**
 The diked area is to be protected by low level foam makers. The design criteria is to comply with NFPA 11 sec. 5.7 and the recommendations of the AFFF manufacturer for acetone storage. Preliminary information with Ansul products indicates a design criteria of .15 gpm/sq.ft. over the the dike area of 1,949 sq. ft. with a duration of 30 minutes. The detection system is to be designed in accordance with NFPA standards. **UTILITY ROOM AND UNHEATED PUMP ROOM:**
 The utility room and pump room are to be protected by a dry pipe closed head sprinkler system, separate from the exterior deluge system. A wet pipe system in the utility room with an antifreeze system in the pump room may be used if an antifreeze concentration appropriate to the area is acceptable to the authority having jurisdiction.
- FIRE HYDRANT:**
 Relocate the existing fire hydrant. Verify the location with the local fire department. The location shown for relocation has preliminary fire department approval and is included on Dwg. G-1. Install the underground pipe an appropriate distance from the tank dike walls for frost protection and avoid any interference with dike drainage pipe. Replace asphalt in affected driveway area as specified on Dwg. A-1.
- TESTING AND DOCUMENTATION:**
 Coordinate test dates with the Architect/Engineer and the Village of Pleasant Prairie Fire Department. Test all sprinkler systems in accordance with NFPA 13 in the presence of the local AHJ, prepare the appropriate test certificates, and submit copies to the local AHJ and Architect/Engineer. Provide a (1) year warranty on the system installation, devices, and materials. Provide (2) operation and maintenance manuals. Include the following information at a minimum:
 As built drawings.
 Job specific instructions for emergency shutdown.
 Data sheets on all devices, valves, sprinklers, and AFFF equipment.
 Wiring diagrams.
 Summarized maintenance schedule covering items supplied under this contract.
 Warranty information.
 Valve chart, including any drain valves.
 NFPA 25.
 Recommended spare parts list.

FIRE PROTECTION PLAN
 SCALE: 1/4" = 1'-0"

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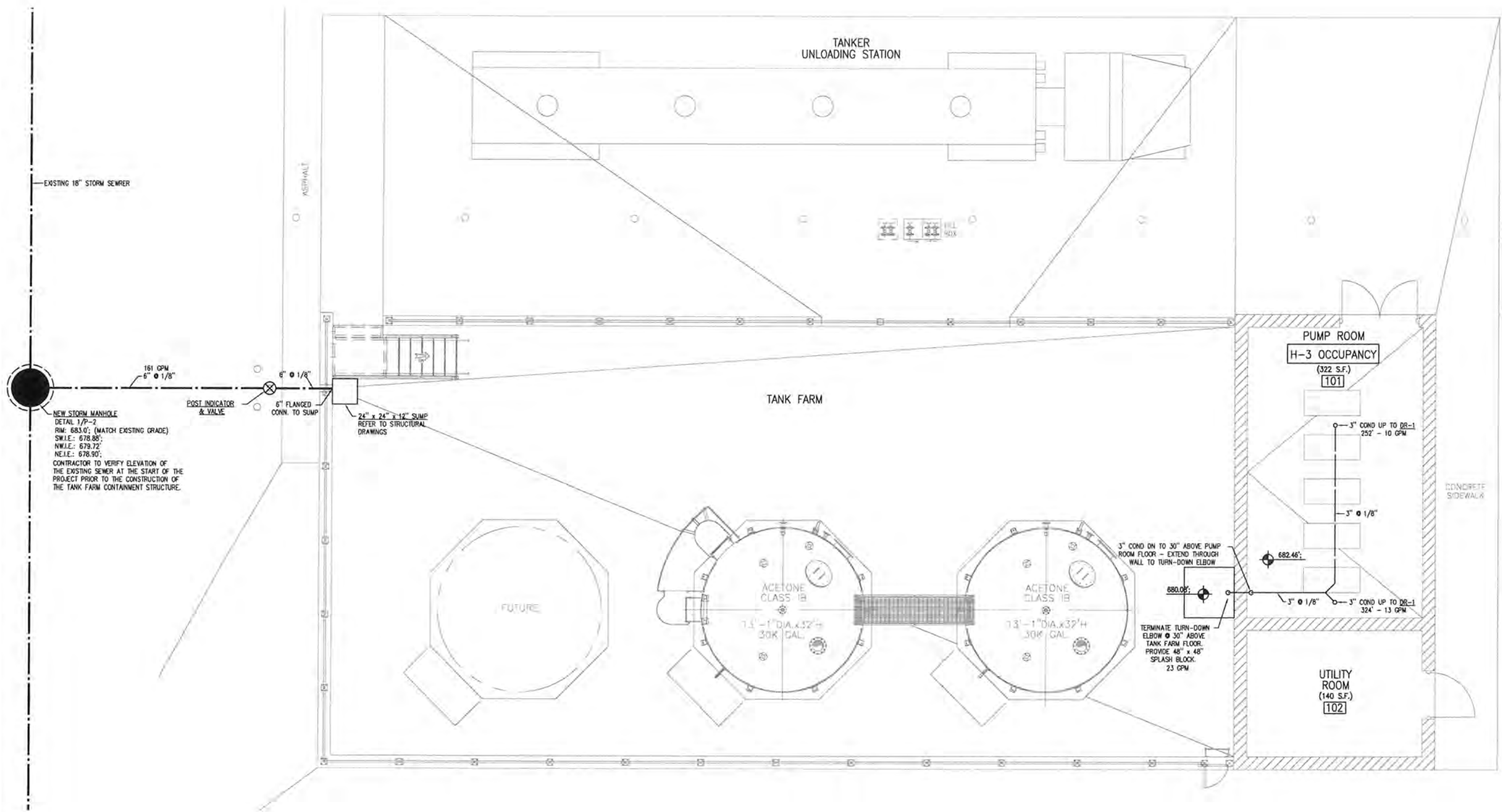
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DRAWN BY: J.T.	CHECKED BY: J.T.
DESIGNED BY: J. TRAUOGOTT	
PROJECT MANAGER: J.M. NOLL, P.E.	

RUST-OLEUM
 8105 95TH STREET
 PLEASANT PRAIRIE, WI 53158

**ACETONE BULK TANK EXPANSION
 TANK & PIPING SYSTEM ADDITION
 FIRE PROTECTION GENERAL REQUIREMENTS**

DRAWING NUMBER:	FP-1
DATE:	8/9/13
PROJECT NUMBER:	13165
SHEET NUMBER:	17 OF 25



NEW STORM MANHOLE
 DETAIL 1/P-2
 RM: 683.0'; (MATCH EXISTING GRADE)
 SW.I.E.: 678.85';
 NW.I.E.: 679.72';
 NE.I.E.: 678.90';
 CONTRACTOR TO VERIFY ELEVATION OF
 THE EXISTING SEWER AT THE START OF THE
 PROJECT PRIOR TO THE CONSTRUCTION OF
 THE TANK FARM CONTAINMENT STRUCTURE.

1 FLOOR PLAN - PLUMBING
 SCALE: 1/4" = 1'-0"



Lehman Cröster Domitlak & Associates, Inc.
 Plumbing & Fire Protection Consulting Engineers

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DRAWN BY: L.G.D.	CHECKED BY: J.R.S.
DESIGNED BY: J. SCHNELL	
PROJECT MANAGER: J.M. NOLL, P.E.	

RUST-OLEUM
 8105 95TH STREET
 PLEASANT PRAIRIE, WI 53158

ACETONE BULK TANK EXPANSION
 TANK & PIPING SYSTEM ADDITION
 PLUMBING PLAN

DRAWING NUMBER:	P-1
DATE:	8-9-13
PROJECT NUMBER:	13185
SHEET NUMBER:	18 OF 25

PLUMBING SPECIFICATIONS

SCOPE

A. DRAWINGS AND GENERAL PROVISIONS OF CONTRACT, INCLUDING GENERAL AND SUPPLEMENTARY CONDITIONS AND DIVISION 1 SPECIFICATIONS SECTIONS, APPLY TO WORK UNDER THIS SECTION.

GENERAL

- IN GENERAL, PLUMBING WORK IS INTENDED TO PROVIDE FOR FINISHED AND COMPLETE PLUMBING SYSTEM AS SHOWN SPECIFIED OR REQUIRED.
- OBTAIN AT SITE INFORMATION ON CONDITIONS AFFECTING WORK. CHECK FLOW LINES AND LOCATION OF PROPOSED PIPING BEFORE PROCEEDING WITH WORK. OBTAIN COMPLETE INFORMATION AS TO DETAILS OF THE BUILDING CONSTRUCTION, PIPE AND EQUIPMENT LAYOUT, IN ORDER TO INSTALL SYSTEM TO CLEAR ARCHITECTURAL, STRUCTURAL, PIPING AND WORK OF OTHER TRADES. SEE THE GENERAL REQUIREMENTS FOR ACCESSIBILITY AND STORAGE SPACE.
- IN EVENT DRAWING AND SPECIFICATIONS ARE NOT IN FULL ACCORD WITH CODES AND EQUIPMENT, AND ANY CHANGES, ALTERATIONS, ADDITIONS, DEDUCTIONS ARE NECESSARY TO SIZE OF EQUIPMENT, PIPE SIZES, ETC. OR LAYOUT, CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IN WRITING AND AWAIT HIS DECISION. ANY EXCEPTIONS MUST BE SUBMITTED TEN DAYS PRIOR TO BID DATE. AFTER BIDS ARE ACCEPTED BY THE OWNER, IT SHALL BE UNDERSTOOD THAT THIS CONTRACTOR HAS STUDIED THE DRAWINGS, SPECIFICATIONS, JOB SITE AND NO FURTHER EXCEPTIONS WILL BE TAKEN AFFECTING CONTRACT AMOUNT DUE TO HIS FAILURE TO COMPLY HERETO.
- THE PLUMBING CONTRACTOR SHALL EXAMINE LOCATION CAREFULLY AND VERIFY ALL MEASUREMENTS, DISTANCES, LEVELS, ETC. BEFORE STARTING WORK. WHEREVER THE LOCATION OF PIPING OR EQUIPMENT IS GOVERNED BY ARCHITECTURAL FEATURES, THIS CONTRACTOR SHALL ESTABLISH THEIR LOCATION BY REFERENCING TO THE ARCHITECTURAL DRAWINGS. HE WILL NOT SCALE THE DRAWINGS FOR EXACT DIMENSIONS.
- COMPLY WITH ALL STATE AND CITY CODES, LAWS, AND REGULATIONS. SECURE PERMITS FOR EXACT DIMENSIONS.
- PAY PERMIT FEES, POST BONDS INCIDENTAL THERETO. SEE THE GENERAL AND SUPPLEMENTARY CONDITIONS.
- THE PLUMBING CONTRACTOR IS REQUIRED TO VISIT THE SITE AND TAKE NOTE OF ALL EXISTING CONDITIONS WHICH MAY AFFECT HIS WORK, AND HE SHALL BE RESPONSIBLE FOR KNOWLEDGE OF SAME IN THE PREPARATION OF HIS BID.
- LACK OF INFORMATION ON EXISTING CONDITIONS SHALL NOT BE A VALID CAUSE FOR ADDITIONAL COMPENSATION.
- ALL PRODUCTS AND MATERIALS USED ARE TO BE NEW, UN Damaged, CLEAN AND IN GOOD CONDITION. EXISTING PRODUCTS AND MATERIALS ARE NOT TO BE REUSED UNLESS SPECIFICALLY INDICATED.
- ALL MATERIALS AND EQUIPMENT TO BE INSTALLED AS PER MANUFACTURER'S REQUIREMENTS AND RECOMMENDATIONS.
- SUBSTITUTES WHICH REQUIRE ADDITIONAL COST OR OTHER TRADES FOR THEIR APPLICATION, SHALL HAVE SUCH COSTS BORNE BY THE CONTRACTOR FURNISHING SAID EQUIPMENT.
- WHERE APPROVED SUBSTITUTES ARE USED, THE CONTRACTOR ASSUMES RESPONSIBILITY FOR PHYSICAL DIMENSIONS AND OTHER RESULTING CHANGES. THIS RESPONSIBILITY EXTENDS TO INCLUDE EXTRA WORK REQUIRED BY OTHER TRADES AS A RESULT OF THE SUBSTITUTION.
- DO NOT ROUTE PIPING THROUGH TRANSFORMER WALLS OR ABOVE TRANSFORMERS, ELECTRIC ROOMS, PANEL SCHOOLS, OR SWITCHBOARDS, INCLUDING THE REQUIRED SERVICE SPACE FOR THIS EQUIPMENT, UNLESS THE PIPING IS SERVING THIS EQUIPMENT. INSTALL DRIP PANS UNDER PIPING THAT MUST BE ROUTED THROUGH THESE SPACES.

SUBMITTALS

- REFER TO DIVISION 1 - ADMINISTRATIVE REQUIREMENTS, FOR SUBMITTAL PROCEDURES.
- SHOW DRAWING SUBMITTALS ARE TO BE BOUND, LABELED, INCLUDING THE PROJECT MANUAL COVER PAGE AND A MATERIAL INDEX LIST PAGE SHOWING ITEM DESIGNATION, MANUFACTURER AND ADDITIONAL ITEMS SUPPLIED WITH THE INSTALLATION. SUBMIT FOR ALL EQUIPMENT AND SYSTEMS AS INDICATED IN THE RESPECTIVE SPECIFICATION SECTIONS, MAKING EACH SUBMITTAL WITH THAT SPECIFICATION SECTION NUMBER. MARK GENERAL CATALOG SHEETS AND DRAWINGS TO INDICATE SPECIFIC ITEMS BEING SUBMITTED AND PROVIDER IDENTIFICATION OF EQUIPMENT BY NAME AND/OR NUMBER, AS INDICATED IN THE CONTRACT DOCUMENTS. INCLUDE WRITING DIAGRAMS OF ELECTRICALLY POWERED EQUIPMENT.
- SUBMIT SUFFICIENT QUANTITIES OF DATA SHEETS AND SHOP DRAWINGS TO ALLOW THE FOLLOWING DISTRIBUTION:
 - OPERATING AND MAINTENANCE MANUALS: 2 COPIES
 - ENGINEER/DESIGNER: 1 COPY
 - OWNER: 1 COPY
- SUBMIT A SINGLE COMBINED ELECTRONIC (PDF) FILE OF DATA SHEETS AND SHOP DRAWINGS AS DETAIL ABOVE FOR REVIEW BY THE OWNER, ENGINEER AND DESIGNER.
- SUBMIT DRAWINGS TO THE ENGINEER COVERING THE FOLLOWING:
 - CLEANOUTS
 - INSULATION
 - DRAINING
 - HANGERS AND SUPPORTS
 - PIPE IDENTIFICATION
 - PIPE AND FITTINGS

OPENINGS, CUTTINGS AND SLEEVES

- PROVIDE AS NECESSARY TO PERMIT INSTALLATION OF PIPING OR ANY OTHER PART OF THE WORK UNDER THIS SECTION. COOPERATE WITH OTHER TRADES AND AGENTS WITH THEM, SUBJECT TO ENGINEER/DESIGNER'S APPROVAL, ALL QUESTIONS OF INTERFERENCE, RIGHT-OF-WAY FOR PIPING, ETC. MAKE ALL ARRANGEMENTS WITH VARIOUS CONTRACTORS FOR ANY SPECIAL FRAMING, STACKING OR CRANES. ACCURATELY LOCATE ALL OPENINGS AND PROVIDE AND SEAL ALL SLEEVES IN COOPERATION WITH CONTRACTOR WHOSE WORK IS AFFECTED THEREBY.
- SLEEVES TO BE ONE INCH LARGER THAN OUTSIDE PIPE DIAMETER AND OF SUFFICIENT LENGTH TO PASS THROUGH ENTIRE FLOOR OR WALL CONSTRUCTION, INCLUDING PLASTER. SLEEVES IN CONCRETE OR MASONRY WALLS AND FLOORS, ETC. SHALL BE OF WROUGHT IRON OR STEEL PIPE. ALL OTHER SLEEVES $\phi 2$ GALVANIZED IRON. SLEEVES IN FLOORS SHALL EXTEND 1 INCH ABOVE FINISHED FLOOR.
- IN THE EVENT HOLES MUST BE CUT THROUGH REINFORCED CONCRETE, THEY SHALL BE CAREFULLY CORE DRILLED SO AS TO AVOID SPALLING AND UNNECESSARY DAMAGE OR WEAKENING OF ANY STRUCTURAL MEMBER. CHIPPING OR BARSING OUT WILL NOT BE PERMITTED. OBTAIN ARCHITECT'S APPROVAL BEFORE CUTTING OR DRILLING THROUGH CONCRETE OR MASONRY IN PLACE, AND THEN PROCEED AS DIRECTED.
- SEAL ALL OPENINGS BETWEEN PIPE, SLEEVE OR OPENING WITH FIBERGLASS AND CAULK OR WITH TRIMSTOP WG MASTIC/PUTTY OR TRIMSTOP WG. PROVIDE "MINDSHIELD" LINK-SEAL, TYPE "T", TRIMSTOP FIRE STOPPING PRODUCTS WHEN PASSING THROUGH A FIRE RATED WALL OR FLOOR. ALL OPENINGS THROUGH FIRE-RATED FLOORS AND WALLS SHALL BE SEALED SO AS TO MAINTAIN THE FIRE RATINGS OF THE STRUCTURE AND BE MADE WATERPROOF. OR EQUAL: 3M, RECTOLSEAL, METALUME, NELSON, METACALK, STI SPECSEAL, OR HATE.
- MAKE GOOD AS DIRECTED BY THE ENGINEER/DESIGNER, DAMAGE TO FINISHED WORK RESULTING FROM CUTTING OR DRILLING REQUIRED BECAUSE OF NEGLECT OF CONTRACTOR TO PROVIDE ACCURATE AND SUFFICIENT INFORMATION.
- ALL CUTTING AND PATCHING IN WALLS, FLOORS, CHASES, ROOFS, CEILING AND PAVED AREAS FOR PLUMBING WORK IS THE RESPONSIBILITY OF THE PLUMBING CONTRACTOR. SEE SECTION ON CUTTING AND PATCHING.

PIPE IDENTIFICATION

- ALL PIPE INSTALLATION SHALL BE IDENTIFIED BY PAINTING AND NAME STENCILING OR WITH LABELS AND BANDING IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:
 - NAME STENCILING IN BLACK OR CONTRASTING COLOR. SHOW PIPE SIZE, CONTENT, AND FLOW ARROWS. LETTERING TO 1/4 INCH HIGH.
 - LABELS AND BANDING: 1/4 INCH BROAD, 1/8 INCH WRESTLING, EMBED CO., BRANDED, OR SETON NAME PLATE CORPORATION. LETTERS SHALL BE 1/4 INCH HIGH BANANUM AND STATE PIPE CONTENTS AND SIZE (I.E. 2 INCH COLD WATER AND WITH DIRECTIONAL FLOW ARROWS). BANDING TAPE COLOR CODE: PIPING AS DIRECTED BY THE ARCHITECT. IDENTIFICATION SHALL BE APPLIED AFTER PIPE AND/OR COVERINGS IS PAINTED, IF PAINTING IS REQUIRED. AS PER MANUFACTURER'S RECOMMENDATIONS, AND SHALL BE WITH LABEL ATTACHED AND SECURED WITH COLOR CODED BANDING TAPE AT EACH END OF LABEL. TAPE SHALL COMPLETELY CIRCUMFERE THE PIPE WITH A 3-INCH MINIMUM OVERLAP.
 - IDENTIFICATION SHALL BE DONE AT INTERVALS NOT TO EXCEED 20 FEET AND AT LEAST ONCE IN EACH ROOM PENETRATED BY PIPE LINES AND LOCATED SO AS TO BE VISIBLE FROM FLOOR OR THROUGH ACCESS PANEL. IF IT IS NECESSARY TO VARY THE ABOVE SCHEME OF IDENTIFICATION FOR ANY REASON, THE ENGINEER/DESIGNER SHALL BE CONSULTED.
- FOR PAINTING OF PIPE SEE ARCHITECTURAL SECTION.

EXCAVATING AND BACKFILLING

- EXCAVATIONS: AS REQUIRED TO LAY ALL PIPING AND STRUCTURES. REMOVE ALL SURPLUS EARTH AND PAYING RIBBLE OF TRENCH EXCAVATIONS FROM SITE AND WITHIN BUILDING. ALL TRENCHES MUST BE LEFT OPEN UNTIL ALL PIPING HAS BEEN APPROVED BY PLUMBING INSPECTOR. BARRICADE IN STRICT ACCORDANCE WITH ORDINANCES. ALL NEW PIPING, STRUCTURES AND DRAINS SHALL BE LAID ON 6-INCH DEEP OF PEA GRAVEL.
- BACKFILLING: AFTER PIPING IS Laid AND APPROVED, BACKFILL WITH 4-INCH LAYERS OF SAND SCREENED AND TAMPED OR WASHED, FINELY GRADED MIXTURE OF CRUSHED STONE, OR CRUSHED OR UN CRUSHED GRAVEL, WITH 100% PASSING A 1-1/2 INCH SIEVE AND NOT MORE THAN 5% PASSING A NO. 4 SIEVE.
- PROVIDE PROTECT PROTECTION FOR SEWERS AND WATER MAINS AS REQUIRED BY CODE.
- UNSTABLE SOIL: IF UNSTABLE SOIL IS ENCOUNTERED, INSTALLATION TO BE AS PER PLUMBING CODE REQUIREMENTS.
- ROCK EXCAVATION: THE TERM "ROCK" AS USED HEREIN IS DEFINED TO BE HARD MATERIAL AS FOUND IN NATURE THAT CANNOT BE DISLOGGED FROM ITS BED AND REMOVED THEREFROM WITHOUT SAW-CUTTING, HAMMERS OR DRILLING. ANYTHING OTHERS "EARTHY" IN NATURE AS REMOVAL OF THE MATERIAL TO BE EXCAVATED IS CONSIDERED, INCLUDING PAYING AND PAYING FOUNDATIONS.
- BLASTING: NOT ALLOWED.
- GRADING TRENCH BOTTOM: PERFORM FINAL GRADING OF TRENCH BOTTOMS BY HAND TOOLS. CARRY MACHINE EXCAVATION ONLY TO SUCH DEPTH THAT SOIL BEARING FOR PIPES WILL NOT BE DISTURBED. GRADE THE BOTTOM OF TRENCHES EVENLY TO INSURE UNIFORM BEARING FOR ALL PIPES. CUT HOLES AS NECESSARY FOR CONTS. AND SOFT MAKING.
- AS AN ALTERNATE METHOD, OPTIONAL WITH THE CONTRACTOR, EXCAVATE TRENCHES TO AT LEAST 4 INCHES BELOW THE REQUIRED BOTTOM LEVELS AND REFILL TO THE PROPER GRADE WITH SAND OR GRAVEL FIRMLY COMPACTED.
- IN ROCK, CEMENTED GRAVEL, OLD MASONRY OR OTHER HARD MATERIAL, EXCAVATE TO AT LEAST 4 INCHES BELOW THE PIPE AT ALL POINTS AND REFILL TO GRADE WITH SAND OR GRAVEL FIRMLY COMPACTED.

SERVICES

- GENERAL: ELEVATIONS AND LOCATIONS OF ALL SERVICES AS INDICATED ON PLAN ARE APPROXIMATE AND THE CONTRACTOR SHALL DEFINITELY ESTABLISH ELEVATIONS AND LOCATIONS. SERVICES IN THE FIELD, BEFORE PROCEEDING WITH NEW WORK, CHECK LOCATION, ELEVATIONS, AND PITCHES WITH RELATION TO PROPOSED MAINS; REPORT IMMEDIATELY TO ENGINEER, IN WRITING, ANY MAJOR DEVIATIONS IN LOCATION IN CONFLICT WITH CODE PROVISIONS CAUSED BY VARIATIONS IN MAINS. AWAIT ENGINEER'S DECISION ON APPROPRIATE ADJUSTMENT OF LINE LOCATIONS AND ELEVATIONS BEFORE PROCEEDING.

HAZARDOUS SUBSTANCES

- IF IT IS FOUND OR SUSPECTED THAT ANY EXISTING PIPE OR EQUIPMENT COVERING, BUILDING STRUCTURE AND/OR COMPONENTS IS FOUND TO CONTAIN HAZARDOUS MATERIAL, AND THAT HAZARDOUS MATERIAL IS TO BE DISTURBED OR IS FOUND TO BE LOOSE, FRAGILE OR UNENCAPULATED, IT SHOULD BE CALLED TO THE OWNER'S ATTENTION. THE OWNER WILL BE RESPONSIBLE FOR REMOVAL OR ENCAPSULATION. CONTRACTOR'S ATTENTION IS DIRECTED TO OSHA AND WISCONSIN ADMINISTRATIVE CODES REGARDING ASBESTOS REMOVAL AND IT SHALL BE THIS CONTRACTOR'S RESPONSIBILITY TO COMPLY WITH ALL POSSIBLE APPLICABLE PROVISIONS.

DRAINS

- CATALOG NUMBERS SHOWN ARE FROM ZURN CATALOG, AND ARE INTENDED TO DESIGNATE TYPE ONLY. DRAINS BY WATTS, JODAM, AND J.E. SMITH WILL BE ACCEPTABLE PROVIDED THEY ARE OF EQUAL QUALITY AND SIMILAR TYPE AND SUBJECT TO THE ARCHITECT'S APPROVAL.
- ROOF DRAIN: DN-1; ZURN E-300-C-V.
- PROVIDE ROOF DRAINS WITH CHECK CLAMPS, FLASHING, CLAMPING RING, GRAVEL STOPS, AND METAL STRAINER. CONTRACTOR SHALL COORDINATE INSTALLATION OF DRAINS WITH ROOFING CONTRACTOR TO PROVIDE PROPER FLASHING WITH ROOFING MATERIALS.

CLEANOUTS

- PROVIDE CLEANOUTS AT BASE OF EVERY WASTE STACK, CONDUCTOR, OR RISER, WHEREVER THERE IS A CHANGE OF DRAIN OR WASTE PIPE RUN IN STRAIGHT RUNS OF DRAIN OR WASTE. INSTALL CLEANOUT EVERY 50 FEET AND AT END OF DRAIN LINE.
- AFTER FINISHED FLOORS HAVE BEEN INSTALLED, PLUMBER SHALL REMOVE ALL CLEANOUT COVERS AND PLUGS, ALL DRAIN GRATES, APPLY A HEAVY COATING OF GRADE TO THROATS BOTH INDOOR AND OUTDOOR. ALL CLEANOUTS ABOVE GRADE AND FUTURE CAPPED AND PLUGGED CONNECTIONS ON WASTE AND VENT PIPING TO RECEIVE SAME TREATMENT.
- LOCATE CLEANOUTS SO AS NOT TO INTERFERE WITH WALLS, OTHER PIPING, EQUIPMENT, ETC.

VALVES

- POST INDICATOR & VALVE:

SUPPORTS AND ANCHORS

- SUPPORT AND SECURE ALL PIPING THROUGHOUT NEATLY AND SUITABLY IN AN APPROVED MANNER TO ALLOW FOR AMPLE EXPANSION AND CONTRACTION.
- HANGERS SHALL BE MALLEABLE IRON RING TYPE FOR STEEL OR CAST-IRON WITH SWIVEL RING AND SOLID THREADED STEM SUPPORT OF ADEQUATE SIZE. COPPER ROOFING CONTRACTOR BEFORE CONCRETE IS POURED; JOISTS TO BE GRAVING COMPANY K122.
- WHERE PIPES ARE GROUPED, INSTALL TRAPZEE HANGERS WITH "U" SPACERS TO HOLD PIPE ALIGNMENT. FOR NON-INSULATED COPPER PIPING PROVIDE SHEET LADDER BETWEEN PIPE AND HANGER.
- SUPPORT VERTICAL PIPE LINES WITH WROUGHT IRON OR STEEL PIPE CLAMPS AT BEAMS OR FLOOR. SUPPORT HORIZONTAL PIPING AT INTERVALS OF 3 FEET FOR CAST-IRON SOIL OR WASTE, 8 FEET FOR SCHEDULE 40 STEEL PIPE AND 5 FEET FOR COPPER PIPE. PROVIDE AND SET ALL CONCRETE INSERTS IN COOPERATION WITH THE CONCRETE CONTRACTOR BEFORE CONCRETE IS POURED.
- ALL ANCHORS, HANGERS, AND SUPPORTS TO BE DESIGNED TO MEET LOCAL STRUCTURAL REQUIREMENTS AND THE ARCHITECT'S APPROVAL. PUNCTURED IRON SHALL NOT BE USED ON ANY PART OF THE PLUMBING SYSTEM.
- ALL PIPE HANGERS MUST BE EQUIPPED WITH INSULATION SHEETS. SEE TYPICAL PIPE SUPPORT DETAIL.

INSULATION

- INSULATION SHALL BE KNURL, OR APPROVED EQUAL AS MANUFACTURED BY ARMSTRONG, CERTAINTEED, JOHNS MANVILLE OR OWENS-CORNING. ALL PIPING AND EQUIPMENT TO BE INSULATED MUST BE THOROUGHLY TESTED AND APPROVED AND THOROUGHLY CLEANSED AND DRY PRIOR TO APPLYING INSULATION. PIPE INSULATION AND COVERING SHALL HAVE A FLAME SPREAD RATING NOT EXCEEDING TWENTY-FIVE (25). PIPE INSULATION AND COVERING ON PIPES IN ACTIVE SUPPLY OR RETURN AIR PLenums SHALL HAVE SMOKE DEVELOPED RATING NOT EXCEEDING FIFTY (50). PER WISCONSIN CODE.
- PIPE COVERING DETAILS: COVERING SHALL BE FULL THICKNESS AT PIPE SUPPORTS. DO NOT USE BANDS ON INSULATION. COVERING SHIELDS AND PROTECTION SADDLES OF AN APPROVED TYPE SHALL BE PROVIDED WHERE REQUIRED. ALL INSULATION ENDS ARE TO BE TAPERED AND SEALED REGARDLESS OF SERVICE. ALL INSULATION ON FITTINGS SHALL BE FINISHED 8 OZ. GLASS MESH, CHILDERS CP-11 WITH CHL-GLASS CHILDERS (CP-3) FOR VAPOR PROOF JACKETS OR FIRE-ARRESTED PVC FITTING COVER PROTECTING COUPLERS (OR EQUAL), APPLY AS PER MANUFACTURER'S RECOMMENDATIONS.
- CLEANER WASTE AND CONDUCTOR PIPING: INSULATE ALL NEW HORIZONTAL PIPING, FITTINGS AND DRAIN HOUSES IN OR AT CEILING WITH 1/2 INCH THICK FIBERGLASS WITH WHITE VAPOR-PROOF JACKET.

PIPE AND FITTINGS

- PIPE, FITTINGS AND INSTALLATION SHALL CONFORM TO APPROPRIATE FEDERAL OR AMERICAN SOCIETY FOR TESTING MATERIALS SPECIFICATIONS LISTED. THE LATEST ISSUE SHALL APPLY.
- STORM DRAINAGE IN GROUND:
 - CAST IRON SOIL PIPING AND FITTINGS: HUB AND SPIGOT, TAPERED, ASTM A74 WITH COMPRESSION GASKET JOINTS. ALL CAST IRON PIPE AND FITTINGS SHALL BE MARKED WITH THE COLLECTIVE TRADEMARK OF THE CAST IRON SOIL PIPE INSTITUTE (CISPI) AND BE LISTED BY NSF INTERNATIONAL.
 - PVC PLASTIC PIPE, SCHEDULE 40, CLASS 12454-S (PVC 1120), ASTM D1785; PVC PLASTIC DRAIN, WASTE AND VENT PIPE AND FITTINGS, ASTM D2246; SOCKET FITTING PATTERNS, ASTM D3311; PRIMER, ASTM F556; SOLVENT CEMENT, ASTM D2564. PVC PIPING SHALL NOT BE INSTALLED FOR ANY DRAINING SERVING AREAS WHERE WASTE TEMPERATURES ARE 140 DEGREES OR ABOVE. INSTALLATION OF PVC PIPING TO CONFORM TO ALL CODES AND ASTM D2321.
- STORM CONDUCTOR PIPE, NOT IN GROUND:
 - HUBLESS CAST IRON SOIL PIPE AND FITTINGS, ASTM A886, WITH NO-HUB COUPLINGS, CSF-310 OR CSF-310, LATEST ISSUE SHALL APPLY. ALL CAST IRON PIPE AND FITTINGS SHALL BE MARKED WITH THE COLLECTIVE TRADEMARK OF THE CAST IRON SOIL PIPE INSTITUTE (CISPI) AND BE LISTED BY NSF INTERNATIONAL.
 - TYPE M COPPER WATER TUBE, 1/2 (DRAWN) TEMPER, ASTM B88, WITH CAST COPPER DRAINAGE FITTINGS (DWV), ANSI B16.23, WROUGHT COPPER DRAINAGE FITTINGS (DWV), ANSI B16.25; LEAD FREE (C-2N) SOLDER, ASTM B32; FLUX, ASTM B413; COPPER PHOSPHOROUS BRAZING ALLOY, AWS A5.8 CUP. MECHANICALLY FORMED BRAZED JOINTS MAY BE USED IN LIEU OF SPECIFIED TIE FITTINGS FOR VENT BRANCH TAKEOFFS UP TO ONE-HALF (1/2) THE DIAMETER OF THE MAIN.
 - PVC PLASTIC PIPE, SCHEDULE 40, CLASS 12454-S (PVC 1120), ASTM D1785; PVC PLASTIC DRAIN, WASTE AND VENT PIPE AND FITTINGS, ASTM D2246; SOCKET FITTING PATTERNS, ASTM D3311; PRIMER, ASTM F556; SOLVENT CEMENT, ASTM D2564. PVC PIPING SHALL NOT BE INSTALLED FOR ANY DRAINING SERVING AREAS WHERE WASTE TEMPERATURES ARE 140 DEGREES OR ABOVE. INSTALLATION OF PVC PIPING TO CONFORM TO ALL CODES AND ASTM D2321.
- STORM CONDUCTOR PIPE, UPSTREAM OF POST INDICATOR VALVE:
 - SMITH ALPHANUM POLYPROPYLENE CHEMICAL RESISTANT PIPE & FITTINGS, TYPE 1 (HOMOPOLYMER, FLAME RETARDANT) (S-SEC & S-M ASTM D665), SCHEDULE 40; SOCKET FUSION FITTINGS, FITTING PATTERNS, ASTM D3311, OR EQUAL FROM SPEARS OR ZURN MANUFACTURING COMPANIES.
- PVC PIPING WILL BE ACCEPTABLE ONLY FOR THE SERVICES INDICATED. IT WILL NOT BE ACCEPTABLE IN VENTILATION PLenums SPACES, INCLUDING PLenum CEILING UNLESS INSTALLED PER ALL CODE REQUIREMENTS. PVC PLASTIC PIPE USED IN PLenum SPACES SHALL BE WRAPPED WITH CODE APPROVED FIRE WRAP MATERIAL, THERMAL CERAMICS FIREMASTER OR EQUAL.

JOINTS

- CAST-IRON SOIL PIPE: INSTALL COMPRESSION GASKETS AND NO-HUB JOINTS AS PER MANUFACTURER'S RECOMMENDATIONS.
- SCREWED THREADS CLEAN OUT AND SQUARE WITH PIPE MADE TIGHT BAKERSGAL COUPLING. PAINT ALL EXPOSED THREADS WITH RUST-OLEUM #759, THOROUGHLY CLEAN REAM ALL PIPES.
- SWAT: CLEAN INTERIOR OF FITTING AND EXTERIOR PIPE. AFTER FLUX, HEAT AND APPLY SOLDER TO FULL VOID. REMOVE EXCESS AND COOL. SOLVENT AND HEAT WELD: AS PER MANUFACTURER'S RECOMMENDATIONS.

PIPING SPECIALTIES

- OPEN ENDS OF ALL PIPES, DRAINS, WATER FEATURE OUTLETS, INCLUDING THOSE EXTENDING ABOVE ROOF MUST BE EFFECTIVELY CLOSED AND KEPT CLOSED DURING CONSTRUCTION.
- STORM CONDUCTOR PIPING: AFTER ROOFING IS COMPLETED, FILL ENTIRE SYSTEM WITH WATER, TEST AND MAKE TIGHT.
- TESTS: ALL TESTS TO BE MADE IN THE PRESENCE AND TO THE SATISFACTION OF THE ARCHITECT'S REPRESENTATIVE AND PLUMBING INSPECTOR.
- ALL CAST IRON SOIL PIPE AND FITTINGS SHALL BE MARKED WITH THE COLLECTIVE TRADEMARK OF THE CAST IRON SOIL PIPE INSTITUTE (CISPI) AND BE LISTED BY NSF INTERNATIONAL.
- ORDER ALL COPPER, CAST IRON, STEEL, PVC PIPE WITH EACH LENGTH MARKED WITH THE NAME OR TRADEMARK OF THE MANUFACTURER AND TYPE OF PIPE, WITH EACH SHIPPING UNIT MARKED WITH THE PURCHASE ORDER NUMBER, METAL OR ALLOY DESIGNATION, TEMPER, SIZE, AND NAME OF SUPPLIER.
- IF ANY INSTALLED MATERIAL NOT MEETING THE SPECIFICATION REQUIREMENTS MUST BE REPLACED WITH MATERIAL THAT MEETS THESE SPECIFICATIONS WITHOUT ADDITIONAL COST TO THE OWNER.
- MANUFACTURER'S: PRING REGULARLY ENGAGED IN MANUFACTURE OF PIPE, TUBE AND FITTINGS OF TYPES AND SIZES REQUIRED, WHOSE PRODUCTS HAVE BEEN IN SATISFACTORY USE IN SIMILAR SERVICE FOR NOT LESS THAN FIVE YEARS.

CLEANING OF PIPING SYSTEMS AND FITTINGS

- AT THE COMPLETION OF WORK, REMOVE PROTECTION MATERIAL FROM ALL EQUIPMENT AND FITTINGS, ALL PAINT AND PLASTER SPATTERING, AND CLEAN ENTIRE PIPING SYSTEM UNDER THIS SECTION OF WORK. ALL ITEMS SHALL BE LEFT CLEAN AND READY FOR USE.

RUBBER REMOVAL

- REMOVE RUBBER, PROTECTION, DIRT, DEBRIS AND TOOLS, EQUIPMENT, AND UNUSED MATERIALS FROM BUILDING AND SITE; LEAVE BUILDING AND PREMISES IN A CLEAN, ORDERLY CONDITION. SEE SUPPLEMENTARY CONDITIONS.

FINAL REQUIREMENTS

- MATERIALS, FITTINGS, FIXTURES, ETC. NOT PARTICULARLY SPECIFIED OR SHOWN ON PLANS BUT NECESSARY TO PROVIDE A FIRST CLASS PLUMBING SYSTEM FOR THE BUILDING, MUST BE FURNISHED NOTWITHSTANDING SUCH OMISSION.

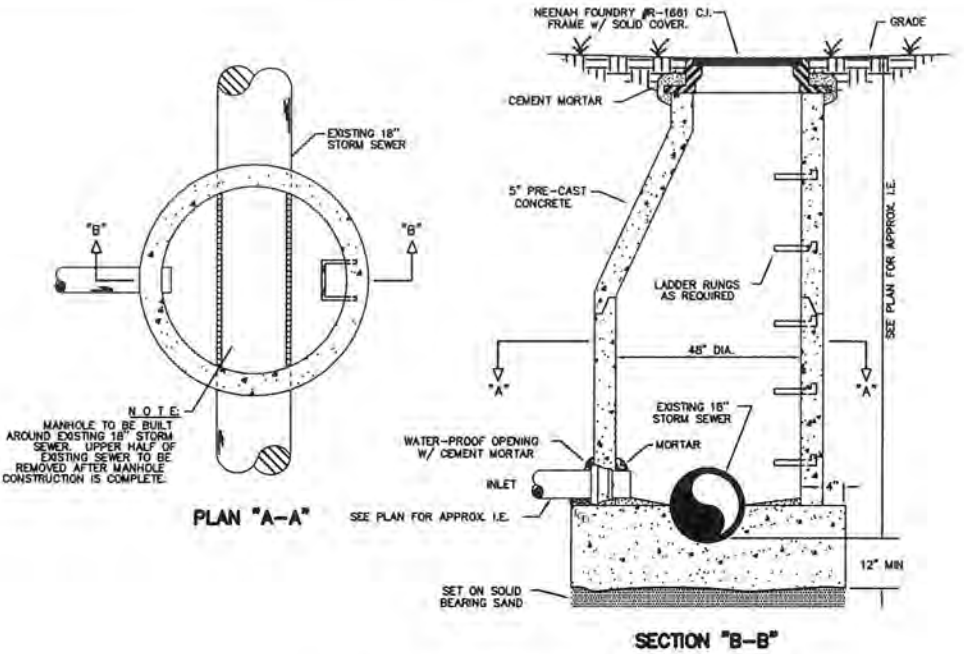
OPERATING AND MAINTENANCE INSTRUCTIONS

- REFER TO DIVISION 1, GENERAL REQUIREMENTS, OPERATING AND MAINTENANCE INSTRUCTIONS.
- ASSEMBLE MATERIAL IN THREE RING OR POST BINDERS, USING AN INDEX AT THE FRONT OF EACH VOLUME AND TABS FOR EACH SYSTEM OR TYPE OF EQUIPMENT. IN ADDITION TO THE DATA INDICATED IN THE GENERAL REQUIREMENTS, INCLUDE THE FOLLOWING INFORMATION:
 - COPIES OF ALL APPROVED SHOP DRAWINGS.
 - PARTS LISTS FOR FIXTURES AND SPECIALTIES.
 - WARRANTIES.

GUARANTEE

- THIS CONTRACTOR GUARANTEES ALL WORK, NEW MATERIALS, AND APPARATUS TO OPERATE TO THE SATISFACTION OF THE OWNER AND ENGINEER/DESIGNER FOR ONE (1) YEAR FROM THE COMPLETION AND ACCEPTANCE OF THE SYSTEM AND MUST KEEP SAME IN REPAIR FOR SAID PERIOD, UNLESS DEFECTS ARE CLEARLY THE RESULT OF BAD MANAGEMENT AFTER APPARATUS IS OUT OF HIS CONTROL. THE GUARANTEE PERIOD SHALL START WHEN THE SYSTEM HAS BEEN ACCEPTED BY THE OWNER AND ENGINEER/DESIGNER AS BEING IN WORKING AND USEABLE ORDER.

END OF SECTION

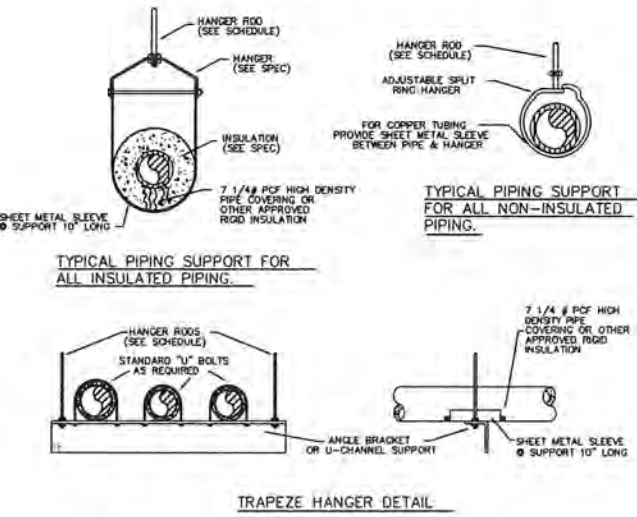


1 MANHOLE DETAIL
NOT TO SCALE

PIPE SUPPORT SCHEDULE

PIPE SIZE (INCHES)	MAXIMUM SPACING (FEET)				HANGER ROD SIZE (INCHES)
	PVC	COPPER	STEEL	CAST	
1/2	2 1/2	2 1/2	4	5	3/8
3/4	2 1/2	2 1/2	6	6	3/8
1	2 1/2	2 1/2	8	7	3/8
1 1/2	3	3	10	8	3/8
1 1/2	3	3	10	9	3/8
2	3	3	10	10	3/8
2 1/2	3 1/2	3 1/2	10	11	3/8
3	3 1/2	3 1/2	10	12	3/8
4	4	4	10	13	3/8
5	4	4	10	14	3/8
6	4	4	10	15	3/8
8	4	4	10	17	3/8
10	4	4	10	19	3/8
12	4	4	10	21	3/8
14	4	4	10	23	3/8
16	4	4	10	25	3/8
18	4	4	10	27	3/8
20	4	4	10	29	3/8

NOTES: 1. PIPING MATERIALS LISTED IN THIS SCHEDULE MAY NOT BE ACCEPTABLE FOR ALL APPLICATIONS. REFER TO SPECIFICATIONS FOR INTENDED AND APPROVED USAGE.
2. A HIGH DENSITY FIBER INSULATION SHALL BE USED AT ALL PIPE SUPPORTS AND HANGERS FOR COPPER AND CPVC TUBE SIZES 2" & LARGER AND FOR STEEL PIPE 1 1/2" & LARGER.



2 TYPICAL PIPE SUPPORT DETAILS
NOT TO SCALE



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VERIFY SCALES
BAR IS ONE INCH ON ORIGINAL DRAWING. IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY.

NO.	DATE	BY	REVISION
0	8/9/13	J.M.N.	ISSUED FOR VILLAGE OF PLEASANT PRAIRIE REVIEW SUBMITTAL

DRAWN BY: L.G.D.
CHECKED BY: J.R.S.
DESIGNED BY: J. SCHNELL
PROJECT MANAGER: J.M. NOLL, P.E.

RUST-OLEUM
8105 95TH STREET
PLEASANT PRAIRIE, WI 53158

ACETONE BULK TANK EXPANSION TANK & PIPING SYSTEM ADDITION
PLUMBING DETAILS & SPECIFICATIONS

DRAWING NUMBER: P-2
DATE: 8-9-13
PROJECT NUMBER: 13165
SHEET NUMBER: 19 OF 25

GENERAL NOTES:

IF THE BIDDING DOCUMENTS CONTAIN CONFLICTING INFORMATION OR DISCREPANCIES, THE BIDDER SHALL BASE HIS BID UPON THE CONFLICT OR DISCREPANCY WHICH WILL RESULT IN THE HIGHEST FIRST COST.

DO NOT INTERRUPT OR CHANGE EXISTING SERVICES WITHOUT PRIOR WRITTEN APPROVAL FROM THE OWNER. WHEN INTERRUPTION IS REQUIRED, COORDINATE THE DOWN-TIME WITH THE OWNER TO MINIMIZE DISRUPTION TO HIS ACTIVITIES. UNLESS SPECIFICALLY STATED, ALL WORK INVOLVED IN INTERRUPTING OR CHANGING EXISTING SERVICES IS TO BE DONE DURING NORMAL WORKING HOURS. THIS SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH ALL NATIONAL, STATE AND LOCAL CODES AND REGULATIONS.

SUBMIT TO ENGINEER FOR APPROVAL AN ELECTRONIC COPY OF MANUFACTURER'S CERTIFIED DRAWINGS IN PDF FORMAT FOR ALL EQUIPMENT EXCEPT DUCTWORK AND PIPING. THE DRAWINGS ARE SCHEMATIC IN NATURE. ALL REQUIRED DUCTWORK AND PIPING OFFSETS, TRANSITIONS, FITTINGS, AND SUPPORTS SHALL BE INCLUDED IN THE BASE BID TO ACCOMMODATE ACTUAL FIELD CONDITIONS. FINAL LOCATIONS OF ALL WORK SHALL BE COORDINATED IN THE FIELD AND INSTALLED WHERE DIRECTED BY THE OWNER'S REPRESENTATIVE.

MATERIALS, FITTINGS, APPARATUS, FIXTURES, ETC., NOT PARTICULARLY NOTED OR SHOWN ON PLANS BUT NECESSARY TO PROVIDE A FIRST CLASS MECHANICAL SYSTEM FOR THE BUILDING, MUST BE FURNISHED NOTWITHSTANDING SUCH OMISSION.

BALANCE THE ENTIRE AIR SYSTEM TO DELIVER AND EXHAUST AIR QUANTITIES AS DESIGNATED, WITH ALLOWABLE ERROR OF PLUS OR MINUS 5%. SUBMIT TO THE ENGINEER COMPLETE AIR BALANCING DATA SHEETS.

ALL TESTS AND TRIALS OF THE ENTIRE SYSTEM REQUESTED OR DIRECTED BY THE ENGINEER MUST BE MADE BY THE MECHANICAL CONTRACTOR FREE OF CHARGE BEFORE ACCEPTANCE OF THE WORK UPON COMPLETION OF THE INSTALLATION, BUT BEFORE FINAL ACCEPTANCE OF THE SYSTEM, THE MECHANICAL CONTRACTOR SHALL INSTRUCT THE OWNER ON THE CARE AND OPERATION OF ALL PARTS OF THE SYSTEM.

DUCTWORK SHALL BE 2" PRESSURE CLASS, G-60 COATED GALVANIZED STEEL OF LOCK FORMING GRADE CONFORMING TO ASTM STANDARDS A-525 AND A-527. DUCT WALL THICKNESSES, REINFORCEMENTS, SEAMS, JOINTS, SEALING, CROSS BRACING, BEADING, HANGERS, SUPPORTS, ETC., SHALL BE IN ACCORDANCE WITH THE LATEST MANUAL OF HEATING, VENTILATING AND AIR CONDITIONING DUCT CONSTRUCTION STANDARDS AS PUBLISHED BY THE SHEET METAL AND AIR CONDITIONING CONTRACTORS NATIONAL ASSOC., INC. (SMACNA).

FURNISH WEATHERPROOF LOUVERS WITH .081" EXTRUDED ALUMINUM ALLOY BLADES, FRAME AND SUPPORTS. HORIZONTAL "J" STYLE DRAINABLE BLADES WITH MAXIMUM OF 4'-0" UNSUPPORTED LENGTH IN A FIXED 6" CORE. 6" MINIMUM BLADE DEPTH. 3-1/2" BLADE SPACING AND 35 DEG BLADE ANGLE AND MULLIONS INVISIBLE FROM EXTERIOR FACE.

MOTOR STARTERS

ITEM NO.	DESCRIPTION	ELECTRICAL DATA			STARTER				DISCONNECT			REMARKS	
		MCA	HP	VOLTS	PHASE	KW	FURNISHED BY	INSTALLED BY	LOCATION	TYPE	FURNISHED BY		INSTALLED BY
1	RE-1	1/15	120	1	-	HVAC	EC	NEAR UNIT	MANUAL	HVAC	HVAC	PRE-WIRED	
2	EW-1	14.4	277	1	4	HVAC	HVAC	PRE-WIRED	-	HVAC	HVAC	PRE-WIRED	MOCP=20

- ALL ELECTRIC MOTORS SHALL BE NEMA STANDARD MOTORS RATED AS INDICATED.
- THE MECHANICAL CONTRACTOR SHALL TURN OVER ALL STARTERS TO THE ELECTRICAL CONTRACTOR WITH COMPLETE INSTRUCTIONS AND WIRING DIAGRAMS REQUIRED FOR A COMPLETE INSTALLATION.
- ALL CONTROL WIRING SHALL BE FURNISHED AND INSTALLED BY THE MECHANICAL CONTRACTOR.
- CONFIRM VOLTAGE REQUIREMENTS WITH THE ELECTRICAL CONTRACTOR PRIOR TO ORDERING EQUIPMENT.
- THE ELECTRICAL CONTRACTOR WILL FURNISH AND INSTALL ALL POWER WIRING FROM PANEL BOARD TO MOTORS AND JUNCTION BOXES IN FACTORY-ASSEMBLED UNITS.

ELECTRIC WALL HEATERS

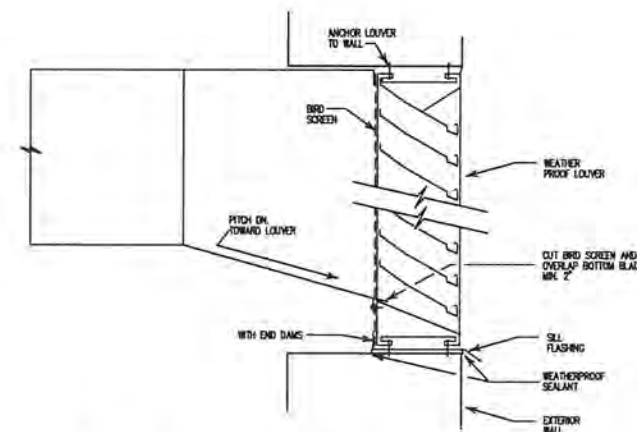
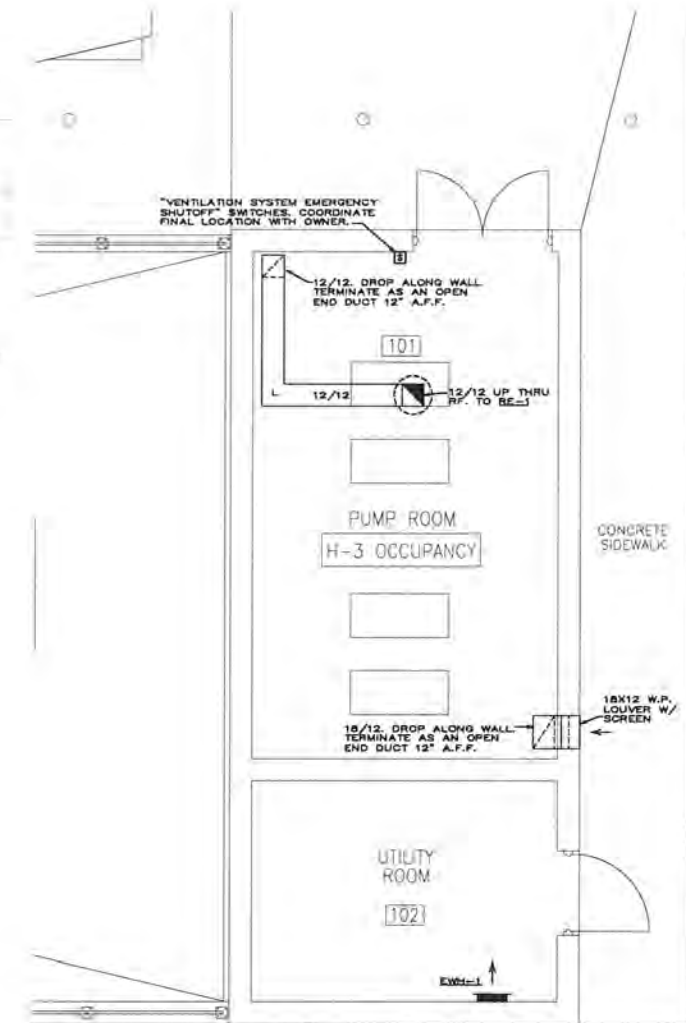
UNIT NO.	SERVICE	CABINET			CAP. WATTS	CAP. BTU	INTEGRAL		MANUF. MODEL
		W	H	D			RECESS	STAT	
EW-1	UTILITY ROOM	16"	19"	4"	4,000	13,640	NONE	YES	QMARK AWH

- FURNISH UNITS WITH STEEL OR ANODIZED ALUMINUM 16 GAUGE FRONT COVER WITH PENCIL-PROOF LOUVERED INLET AND DISCHARGE GRILLES, STEEL SHEATH ENCLOSED FIN TUBE HEATING ELEMENT, FAN AND PERMANENTLY LUBRICATED FAN MOTOR FACTORY ASSEMBLED, WIRED AND TESTED. RECESSED OR SURFACE TYPE MOUNTING BOX AS INDICATED WITH BAKED ENAMEL FINISH.
- COMPLETE WITH BUILT-IN FAN DELAY SWITCH, AUTOMATIC RESET THERMAL OVERHEAT PROTECTOR, BUILT-IN DISCONNECT SWITCH AND INTEGRAL THERMOSTAT WITH A TAMPER RESISTANT ADJUSTMENT.

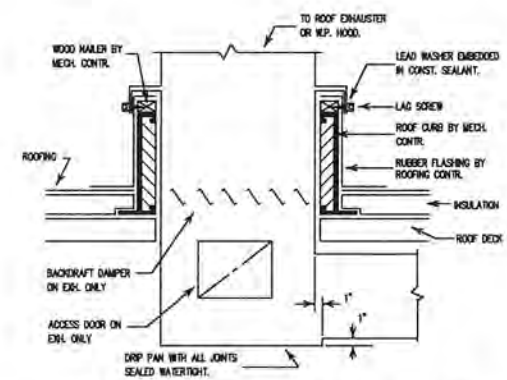
ROOF EXHAUSTERS

UNIT NO.	SERVICE	CFM OF STD AIR	FAN DDA	MAX. SONES	EXT. S.P. IN. OF H2O	MOTOR		MOTORIZED	MANUF. MODEL
						HP	DRIVE		
RE-1	PUMP ROOM	500	9"	6.0	1/2"	1/4	BELT	NONE	GREENHECK CUBE

- MANUFACTURERS: ACME, COOK, OR GREENHECK.
- FURNISH FANS WITH CENTRIFUGAL FAN WHEEL, NEMA APPROVED BALL BEARING MOTOR, RESILIENTLY MOUNTED, DIRECT OR ADJUSTABLE V-BELT DRIVE AS INDICATED, INTEGRALLY WIRED WEATHERPROOF DISCONNECT SWITCH AND INTEGRAL VIBRATION ISOLATORS. FURNISH AN ALUMINUM WEATHERPROOF FAN AND MOTOR HOUSING WITH BASE TO FIT OVER CURB, AND ACOUSTICALLY TREATED CURB. FIELD VERIFY ROOF TYPE AND PITCH.
- FURNISH MANUAL OR COMBINATION TYPE MAGNETIC STARTER AS INDICATED.
- TOTALLY ENCLOSED EXPLOSION PROOF MOTOR.
- SPARK RESISTANT CONSTRUCTION BUILT IN ACCORDANCE WITH AMCA TYPE "A" CONSTRUCTION.
- CONTROL: FAN TO RUN CONTINUOUS. PROVIDE A MANUAL SHUTOFF IN LOCATION SHOWN ON PLANS. SHUTOFF SHALL BE OF THE BREAK-GLASS TYPE AND BE LABELED AS "VENTILATION SYSTEM EMERGENCY SHUTOFF".



WEATHERPROOF LOUVER



CONDENSATE DRIP PAN

Frederickson Engineering, Inc. 8/9/2013 11:47 AM D:\Customer\13165\New\13082h.dwg [H] Scott A. Mueni

SPECTRUM ENGINEERING INCORPORATED

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NO.	DATE	BY	REVISION
0	8/9/13	J.M.N.	ISSUED FOR VILLAGE OF PLEASANT PRAIRIE REVIEW SUBMITTAL.

DRAWN BY: C.N.
CHECKED BY: B.F.
DESIGNED BY: NESSMAN/FREDERICKSEN
PROJECT MANAGER: J.M. NOLL, P.E.

RUST-OLEUM
8105 95TH STREET
PLEASANT PRAIRIE, WI 53158

ACETONE BULK TANK EXPANSION TANK & PIPING SYSTEM ADDITION HVAC PLAN

FREDERICKSEN Engineering
12208 Corporate Pkwy Telephone (262) 245-8090
Suite 402
Wauwatosa, Wisconsin 53092 E-mail: cef@fredricksen.com

DRAWING NUMBER:	H-1
DATE:	8/9/13
PROJECT NUMBER:	13165
SHEET NUMBER:	20 OF 25

FIXTURE SCHEDULE						
TYPE	DESCRIPTION	LAMP TYPE	LAMP QTY.	MANUFACTURER	CATALOG NUMBER	NOTE
D5	1M VAPORTIGHT INDUSTRIAL FLUORESCENT 2 LAMP	F32TB/SP41/ALTO	2	METALLIX	VT2-232DR-LNW-EBB1	1.4
H1	EXTERIOR WEDGE DOWNLIGHT LED	LED	1	LUMARK	XTORASARL-N	1.5.0
Y1	POLE LIGHT	LED 3 SQUARES	1	MCGRAW	GLEON-AA-03-LED-E1-T4-BZP-MA1184-DB	1.5
	SINGLE FACE EXT - COMBO UNIT	LED	W UNIT	ATLITE	XLC48SRU	1

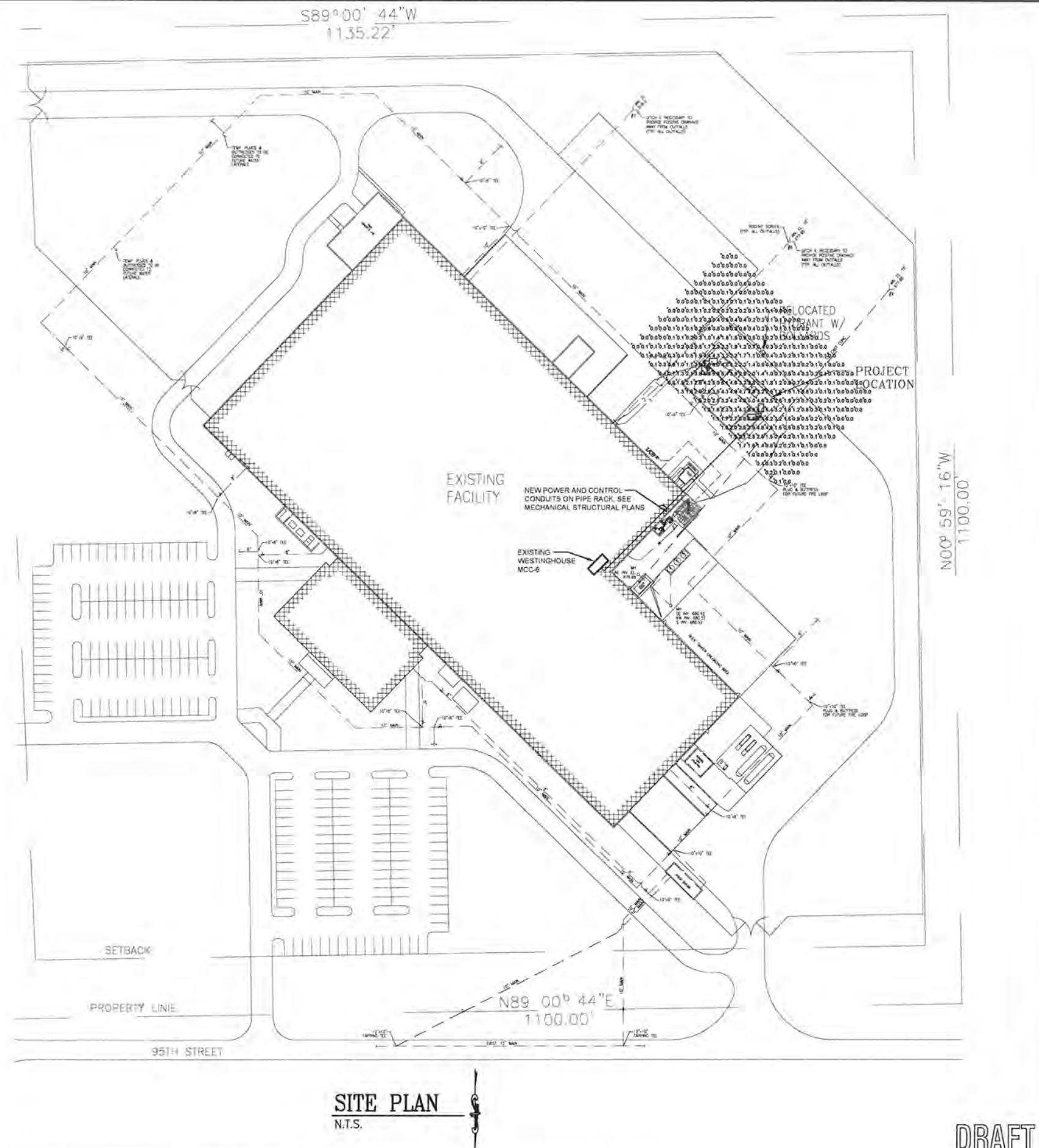
GENERAL NOTES:

- SEE SPECIFICATION FOR LAMP AND BALLAST REQUIREMENTS
- ALL FIXTURES SHALL BE 120V UNLESS OTHERWISE INDICATED
- PROVIDE MULTI-TAP ELECTRONIC BALLASTS WHERE AVAILABLE
- COOPER, DAYBRITE, COLUMBIA AND LITHONIA SHALL BE CONSIDERED EQUIVALENT
- APPLETON AND CROUSE-HINDS SHALL BE CONSIDERED EQUIVALENT FOR HAZARDOUS LOCATIONS

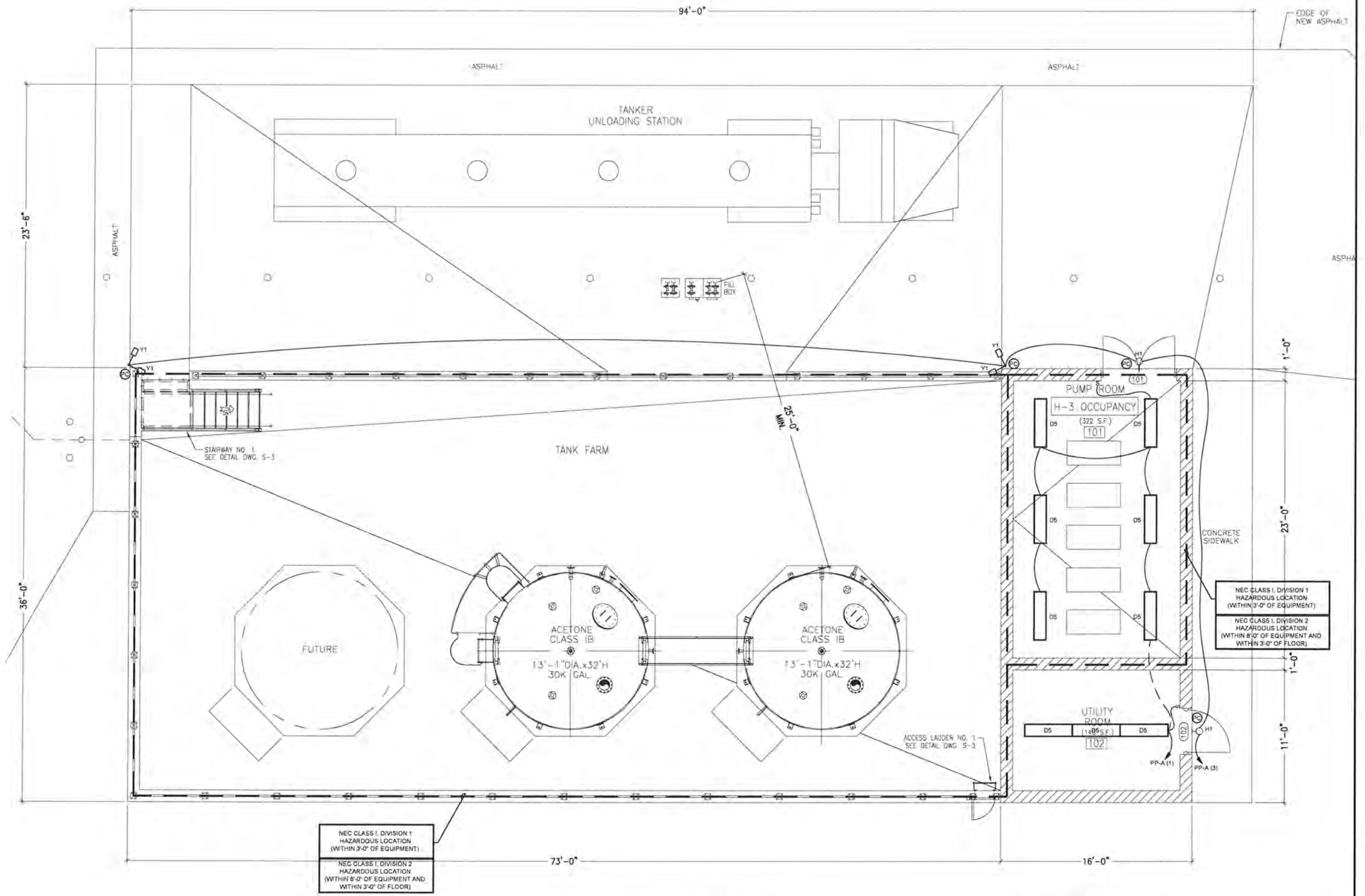
PLAN NOTES:

- LAMPS SHALL COMPLY WITH FOCUS ON ENERGY
- THE BALLAST IN THIS FIXTURE SHALL BE 120 VOLT AND HAVE A POWER FACTOR OF 1.0. PROVIDE ONE FOUR LAMP BALLAST ADVANCE CAT# IGN-4554-2L6@120 (FOCUS ON ENERGY INCENTIVE) AND ONE TWO LAMP BALLAST ADVANCE BALLAST CAT# IGN2554-90C@120 (FOCUS ON ENERGY INCENTIVE)
- PROVIDE A CLEAR THICK LENS FOR THIS FIXTURE HANG USING AIRCRAFT CABLE
- THE BALLASTS IN THIS FIXTURE SHALL BE 120 VOLT AND HAVE A MINIMUM POWER FACTOR OF 0.96. THEY SHALL BE AS FOLLOWS:
 2 LAMP - ADVANCE CAT# IGP-2P32-SC@120 (FOCUS ON ENERGY INCENTIVE) OR EQUAL
 4 LAMP - ADVANCE CAT# IGP-4P32-SC@120 (FOCUS ON ENERGY INCENTIVE) OR EQUAL
- PROVIDE WITH PHOTOCELL CONTROL UNIT WIRE SWITCH IN SERIES WITH PHOTOCELL UNIT SUCH THAT LIGHTS WILL NOT TURN ON WHEN DAYLIGHT IS PRESENT
- ARCHITECT TO SELECT COLOR FROM MANUFACTURERS STANDARD OR CUSTOM COLOR CHOICES. SUBMIT 4X4 COLOR SAMPLE OF SELECTED COLOR

ELECTRICAL SYMBOLS AND ABBREVIATIONS				
THIS IS A COMPREHENSIVE SYMBOL AND ABBREVIATION LIST NOT ALL SYMBOLS ARE APPLICABLE TO THESE DRAWINGS				
S	SINGLE POLE SWITCH, 3-3 WAY, 4-4 WAY, P-PILOT, R-RELAY, K-KEYED, I-ILLUMINATED, D-DIMMER, M-MOTION SENSOR SWITCH	EM	EMERGENCY NOTIFICATION APPLIANCE, X = CD LEVEL	
⊕	DUPLEX RECEPTACLE C=CEILING MOUNTED	⊕	ADDRESSABLE FIRE ALARM INPUT/OUTPUT	
⊕	DUPLEX RECEPTACLE MOUNTED AT 44" TO BOTTOM	⊕	EMERGENCY PUSH BUTTON	
⊕	DOUBLE DUPLEX RECEPTACLE (RECEPTACLES MOUNTED SIDE BY SIDE)	⊕	XENON STROBE, X = CD LEVEL AUDIOVISUAL	
⊕	BLANK OUTLET FOR FUTURE DEVICES 4" DEEP BOX, SINGLE GANG RING, BLANKPLATE, 1" C STUBBED INTO ACCESSIBLE CEILING	⊕	XENON STROBE, CEILING MOUNTED, X = CD LEVEL	
⊕	BLANK OUTLET MTD @ 44" FOR FUTURE DEVICES 4" BOX, SINGLE GANG RING, BLANKPLATE, 1" C STUBBED INTO ACCESSIBLE CEILING	⊕	SPRINKLER TAMPER SWITCH SPRINKLER	
⊕	EQUIPMENT CONNECTION	⊕	FLOW SWITCH	
⊕	NEW SURFACE MOUNTED PANEL SEE PLANS	⊕	FIRE ALARM POWER PANEL	
⊕	EXISTING SURFACE MOUNTED PANEL SEE PLANS	⊕	SMOKE DETECTOR	
⊕		⊕	HEAT DETECTOR	
⊕		⊕	POLE MOUNTED LIGHT FIXTURE	
⊕		⊕	CEILING MOUNTED FLUSH OR SURFACE	
⊕		⊕	WALL MOUNTED, FLUSH OR SURFACE	
⊕		⊕	FLUORESCENT FIXTURE	
⊕		⊕	EMERGENCY LIGHT	
⊕		⊕	EXIT LIGHT	
⊕		⊕	REFERS TO NOTE NUMBER	
⊕		⊕	REFERS TO DETAIL NUMBER	
⊕		⊕	CIRCUIT HOMERUN TO 20A/1P BREAKER UNLESS SHOWN OTHERWISE ON DRAWINGS	
⊕		⊕	INDICATES CONNECTED TO SAME CIRCUIT BUT CONTROLLED SEPARATELY	
⊕		⊕	MOTOR OUTLET TERMINAL, ON ROOF MOUNTED UNITS PROVIDE WEATHER PROOF DISCONNECTS, X = HORSE POWER OR MOTOR NUMBER IF SCHEDULE IS PROVIDED	
⊕		⊕	OCCUPANCY SENSOR	
⊕		⊕	AFF	ABOVE FINISH FLOOR
⊕		⊕	AFG	ABOVE FINISH GRADE
⊕		⊕	C	CONDUIT
⊕		⊕	CKT	CIRCUIT
⊕		⊕	EC	ELECTRICAL CONTRACTOR
⊕		⊕	ELEV	ELEVATION
⊕		⊕	EM	EMERGENCY
⊕		⊕	EQ	EQUIPMENT
⊕		⊕	EUH	ELECTRIC UNIT HEATER
⊕		⊕	EWL	ELECTRIC WALL HEATER
⊕		⊕	FBO	FURNISHED BY OTHERS
⊕		⊕	GUH	GAS UNIT HEATER
⊕		⊕	GC	GENERAL CONTRACTOR
⊕		⊕	GFI	GROUND FAULT INTERRUPTER
⊕		⊕	GND	GROUND
⊕		⊕	HVAC	HEATING, VENTILATING AND AIR CONDITIONING
⊕		⊕	MAU	MAKEUP AIR UNIT
⊕		⊕	MTD	MOUNTED
⊕		⊕	NL	NIGHT LIGHT
⊕		⊕	NIC	NOT IN CONTRACT
⊕		⊕	NTS	NOT TO SCALE
⊕		⊕	OHD	OVERHEAD DOOR
⊕		⊕	OC	ON CENTER
⊕		⊕	PC	PHOTO CONTROL
⊕		⊕	PHL	PANELBOARD
⊕		⊕	TRN	TRANSFORMER
⊕		⊕	TRS	TRANSFER SWITCH
⊕		⊕	UH	UNIT HEATER
⊕		⊕	VFD	VARIABLE FREQUENCY DRIVE
⊕		⊕	WP	WEATHER PROOF



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	19395 West Capitol Drive, Brookfield, Wisconsin 53045			NO. DATE BY REVISION	8105 95TH STREET PLEASANT PRAIRIE, WI 53158			



LIGHTING PLAN
SCALE: 1/4" = 1'-0"

GENERAL NOTES:
1. SEE SHEET ET FOR FIXTURE SCHEDULE

NEC CLASS 1, DIVISION 1
HAZARDOUS LOCATION
(WITHIN 3'-0" OF EQUIPMENT)

NEC CLASS 1, DIVISION 2
HAZARDOUS LOCATION
(WITHIN 8'-0" OF EQUIPMENT AND
WITHIN 3'-0" OF FLOOR)

NEC CLASS 1, DIVISION 1
HAZARDOUS LOCATION
(WITHIN 3'-0" OF EQUIPMENT)

NEC CLASS 1, DIVISION 2
HAZARDOUS LOCATION
(WITHIN 8'-0" OF EQUIPMENT AND
WITHIN 3'-0" OF FLOOR)

DRAFT

SPECTRUM ENGINEERING INCORPORATED
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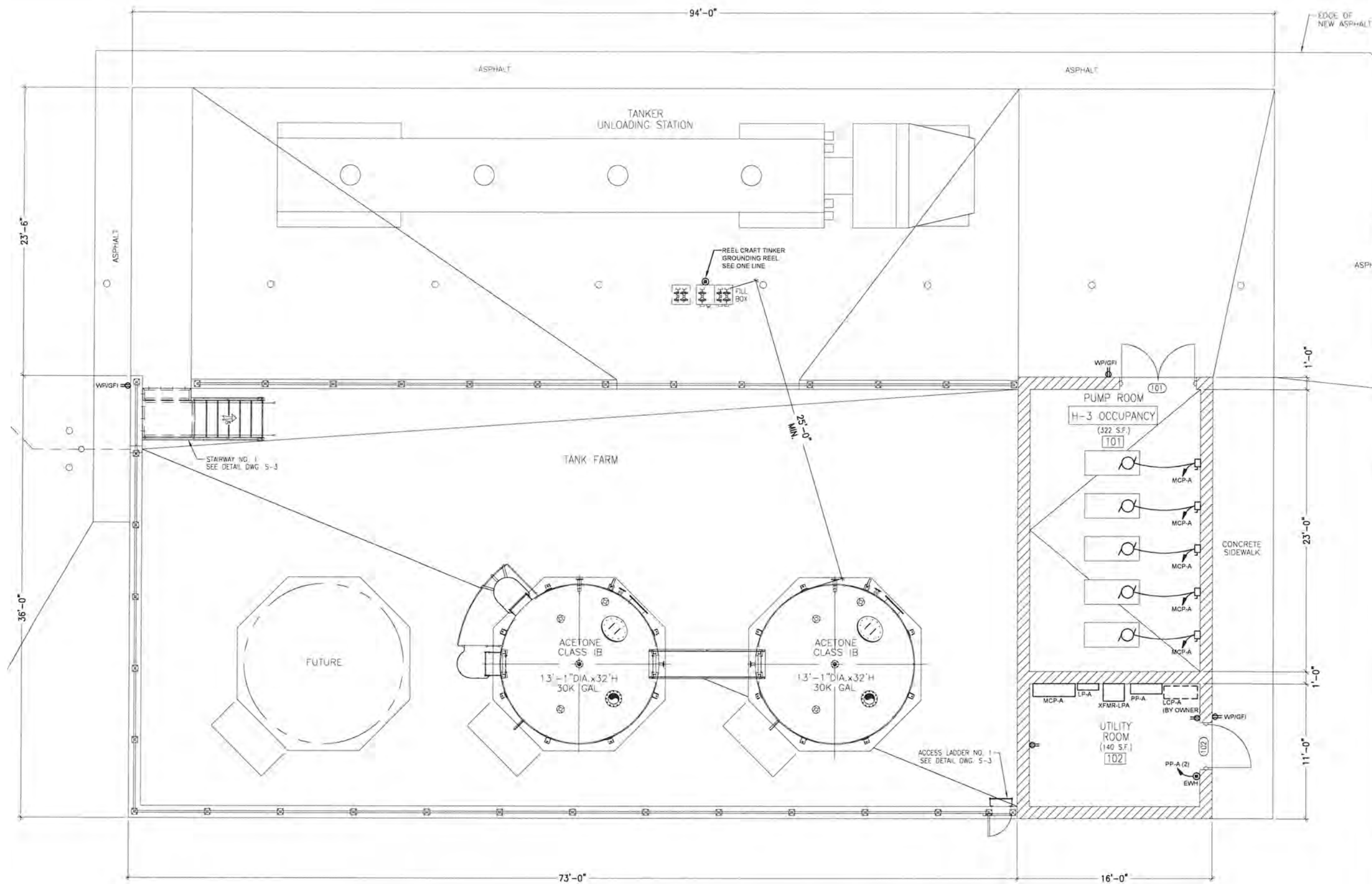
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DRAWN BY: EJM	CHECKED BY: RJJ
DESIGNED BY: R.J. JENSEN	
PROJECT MANAGER: J.M. NOLL, P.E.	

RUST-OLEUM
8105 95TH STREET
PLEASANT PRAIRIE, WI 53158

ACETONE BULK TANK EXPANSION
TANK & PIPING SYSTEM ADDITION
ELECTRICAL - LIGHTING PLAN

DRAWING NUMBER:	13165-E2
DATE:	8/9/13
PROJECT NUMBER:	13165
SHEET NUMBER:	22 OF 25



POWER PLAN
 SCALE: 1/4" = 1'-0"

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DRAWN BY: RJM	CHECKED BY: RJJ
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PROJECT MANAGER: J.M. NOLL, P.E.	

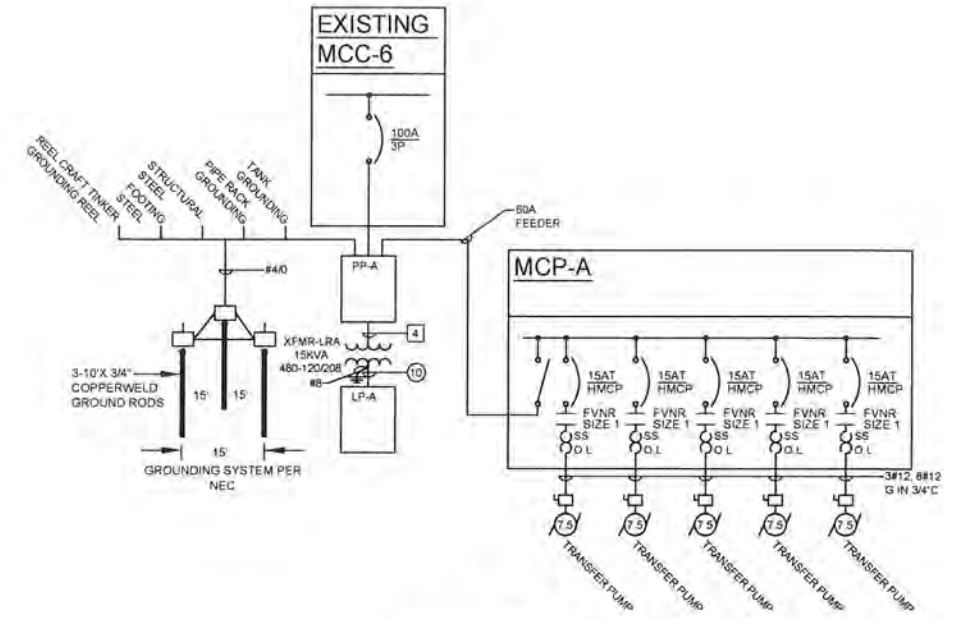
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**ACETONE BULK TANK EXPANSION
 TANK & PIPING SYSTEM ADDITION
 ELECTRICAL - POWER PLAN**

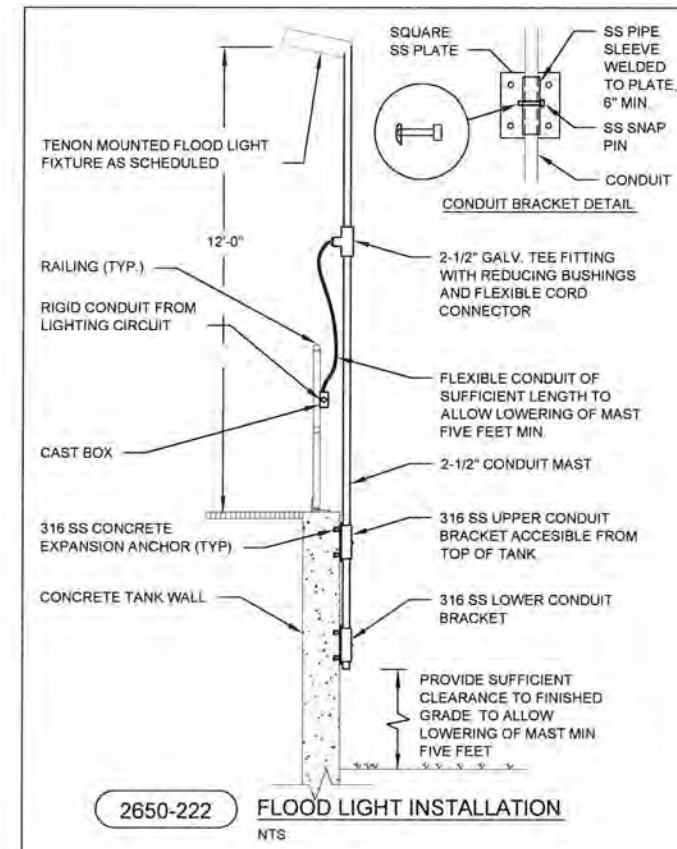
DRAWING NUMBER:	13165-E3
DATE:	8/9/13
PROJECT NUMBER:	13165
SHEET NUMBER:	23 OF 25

IDENTIFIER	THERMAL MAGNETIC CIRCUIT BREAKER	BREAKER PICKUP AMPS (80%)	SINGLE-PHASE TWO-WIRE CIRCUIT		SINGLE OR THREE-PHASE THREE-WIRE CIRCUIT		THREE-PHASE FOUR-WIRE CIRCUIT		ALL	MAX. DISTANCES (FT) 480V 3-PHASE		MAX. DISTANCES (FT) 240V 3-PHASE		MAX. DISTANCES (FT) 120/240V 1-PHASE		
			CONDUIT	CIRCUIT CONDUCTORS	CONDUIT	CIRCUIT CONDUCTORS	CONDUIT	CIRCUIT CONDUCTORS		EQUIPMENT GROUNDING CONDUCTOR	FEEDER (2% DROP)	BRANCH (3% DROP)	FEEDER (2% DROP)	BRANCH (3% DROP)	FEEDER (2% DROP)	BRANCH (3% DROP)
1	10	8	3/4"	(2) #12	3/4"	(3) #12	3/4"	(4) #12	#12	335	502	167	251	145	218	
2	15	12	3/4"	(2) #12	3/4"	(3) #12	3/4"	(4) #12	#12	223	335	112	167	97	145	
3	20	16	3/4"	(2) #12	3/4"	(3) #12	3/4"	(4) #12	#12	157	251	84	125	73	109	
4	25	20	3/4"	(2) #10	3/4"	(3) #10	3/4"	(4) #10	#10	212	317	106	159	92	136	
5	30	24	3/4"	(2) #10	3/4"	(3) #10	3/4"	(4) #10	#10	176	264	88	132	76	115	
6	35	28	3/4"	(2) #8	3/4"	(3) #8	3/4"	(4) #8	#10	241	361	120	181	104	157	
7	40	32	3/4"	(2) #8	3/4"	(3) #8	3/4"	(4) #8	#10	211	316	105	158	91	137	
8	45	36	3/4"	(2) #8	3/4"	(3) #8	3/4"	(4) #8	#10	187	281	94	140	81	122	
9	50	40	3/4"	(2) #8	3/4"	(3) #8	3/4"	(4) #8	#10	169	253	84	125	73	110	
10	60	48	3/4"	(2) #6	3/4"	(3) #6	3/4"	(4) #6	#10	224	336	112	168	97	145	
11	70	56	1"	(2) #4	1"	(3) #4	1-1/4"	(4) #4	#8	305	457	152	228	132	198	
12	80	64	1"	(2) #4	1"	(3) #4	1-1/4"	(4) #4	#8	266	400	133	200	115	173	
13	90	72	1"	(2) #3	1"	(3) #3	1-1/4"	(4) #3	#8	290	436	145	218	126	189	
14	100	80	1"	(2) #3	1"	(3) #3	1-1/4"	(4) #3	#8	251	382	131	196	113	170	
15	110	88	1"	(2) #2	1"	(3) #2	1-1/2"	(4) #2	#6	307	461	154	230	133	200	
16	125	100	1-1/4"	(2) #1	1-1/2"	(3) #1	1-1/2"	(4) #1	#5	340	510	170	255	147	221	
17	150	120	1-1/4"	(1) #1/0	1-1/2"	(3) #1/0	2"	(4) #1/0	#6	355	533	178	266	154	231	
18	175	140	N/A	N/A	2"	(3) #2/0	2"	(4) #2/0	#6	377	566	189	283	163	245	
19	200	160	N/A	N/A	2"	(3) #3/0	2"	(4) #3/0	#5	413	619	205	310	170	268	
20	225	180	N/A	N/A	2"	(3) #4/0	2-1/2"	(4) #4/0	#4	459	688	229	344	199	298	
21	250	200	N/A	N/A	2-1/2"	(3) 250KCMIL	3"	(4) 250KCMIL	#4	484	725	242	363	210	314	
22	300	240	N/A	N/A	3"	(3) 350KCMIL	3"	(4) 350KCMIL	#4	552	829	276	414	239	359	
23	350	280	N/A	N/A	3"	(3) 500KCMIL	3-1/2"	(4) 500KCMIL	#3	647	970	323	485	280	420	
24	400	320	N/A	N/A	3-1/2"	(3) 600KCMIL	4"	(4) 600KCMIL	#3	661	992	331	496	286	430	
25	450	360	N/A	N/A	(2) 2"	2 SETS OF (3) #4/0	(2) 2-1/2"	2 SETS OF (4) #4/0	#2	459	688	229	344	199	298	
26	500	400	N/A	N/A	(2) 2-1/2"	2 SETS OF (3) 250KCMIL	(2) 3"	2 SETS OF (4) 250KCMIL	#2	454	725	242	363	210	314	
27	600	480	N/A	N/A	(2) 3"	2 SETS OF (3) 350KCMIL	(2) 3"	2 SETS OF (4) 350KCMIL	#1	552	829	276	414	239	359	
28	700	560	N/A	N/A	(2) 3"	2 SETS OF (3) 500KCMIL	(2) 3-1/2"	2 SETS OF (4) 500KCMIL	#1/0	647	970	323	485	280	420	
29	800	640	N/A	N/A	(2) 3-1/2"	2 SETS OF (3) 600KCMIL	(2) 4"	2 SETS OF (4) 600KCMIL	#1/0	661	992	331	496	286	430	
30	900	720	N/A	N/A	(3) 3"	3 SETS OF (3) 350KCMIL	(3) 3"	3 SETS OF (4) 350KCMIL	#2/0	552	829	276	414	239	359	
31	1000	800	N/A	N/A	(4) 2-1/2"	4 SETS OF (3) 250KCMIL	(4) 3"	4 SETS OF (4) 250KCMIL	#2/0	484	725	242	363	210	314	
32	1200	960	N/A	N/A	(4) 3"	4 SETS OF (3) 350KCMIL	(4) 3"	4 SETS OF (4) 350KCMIL	#3/0	552	829	276	414	239	359	
33	1600	1280	N/A	N/A	(4) 3-1/2"	4 SETS OF (3) 600KCMIL	(4) 4"	4 SETS OF (4) 600KCMIL	#4/0	661	992	331	496	286	430	
34	1800	1440	N/A	N/A	(8) 3"	8 SETS OF (3) 350KCMIL	(6) 3"	6 SETS OF (4) 350KCMIL	250KCMIL	552	829	276	414	239	359	
35	2000	1600	N/A	N/A	(6) 3"	6 SETS OF (3) 500KCMIL	(6) 3-1/2"	6 SETS OF (4) 500KCMIL	250KCMIL	679	1019	340	509	294	442	
36	2500	2000	N/A	N/A	(6) 3-1/2"	6 SETS OF (3) 600KCMIL	(6) 4"	6 SETS OF (4) 600KCMIL	350KCMIL	635	952	317	476	275	413	
37	3000	2400	N/A	N/A	(8) 3"	8 SETS OF (3) 500KCMIL	(8) 3-1/2"	8 SETS OF (4) 500KCMIL	400KCMIL	604	905	302	453	262	392	
38	4000	3200	N/A	N/A	(10) 3-1/2"	8 SETS OF (3) 600KCMIL	(10) 4"	8 SETS OF (4) 600KCMIL	500KCMIL	529	793	284	397	229	344	
39	20	16	N/A	N/A	1"	3C#12 SHIELDED MOTOR CABLE	N/A	N/A	(3) #10	167	251	84	126	73	109	
40	30	24	N/A	N/A	1"	3C#10 SHIELDED MOTOR CABLE	N/A	N/A	(3) #10	176	264	88	132	76	115	
41	50	40	N/A	N/A	1"	3C#8 SHIELDED MOTOR CABLE	N/A	N/A	(3) #10	169	253	84	126	73	110	
42	60	48	N/A	N/A	1-1/4"	3C#8 SHIELDED MOTOR CABLE	N/A	N/A	(3) #10	224	336	112	168	97	145	
43	80	64	N/A	N/A	1-1/4"	3C#4 SHIELDED MOTOR CABLE	N/A	N/A	(3) #10	256	400	133	200	115	173	
44	100	80	N/A	N/A	1-1/2"	3C#3 SHIELDED MOTOR CABLE	N/A	N/A	(3) #10	281	392	131	196	113	170	
45	125	100	N/A	N/A	2"	3C#1 SHIELDED MOTOR CABLE	N/A	N/A	(3) #8	340	510	170	255	147	221	
46	175	140	N/A	N/A	2"	3C#2/0 SHIELDED MOTOR CABLE	N/A	N/A	(3) #6	377	566	189	283	163	245	
47	200	160	N/A	N/A	2"	3C#3/0 SHIELDED MOTOR CABLE	N/A	N/A	(3) #4	413	619	205	310	170	268	
48	225	180	N/A	N/A	2"	3C#4/0 SHIELDED MOTOR CABLE	N/A	N/A	(3) #4	459	688	229	344	199	298	
49	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	
50	300	240	N/A	N/A	2-1/2"	3C#50 KCMIL SHIELDED MOTOR CABLE	N/A	N/A	(3) #2	552	829	276	414	239	359	
51	350	280	N/A	N/A	3"	3C#50 KCMIL SHIELDED MOTOR CABLE	N/A	N/A	(3) #1	647	970	323	485	280	420	
52	450	360	N/A	N/A	(2) 2"	2 SETS 3C#40 SHIELDED MOTOR CABLE	N/A	N/A	(3) #4 EACH	459	688	229	344	199	298	
53	600	480	N/A	N/A	(2) 2-1/2"	2 SETS 3C#50 KCMIL SHIELDED MOTOR CABLE	N/A	N/A	(3) #2 EACH	552	829	276	414	239	359	
54	700	560	N/A	N/A	(2) 3"	2 SETS 3C#50 KCMIL SHIELDED MOTOR CABLE	N/A	N/A	(3) #1 EACH	647	970	323	485	280	420	

PLAN NOTATION
 △ SINGLE-PHASE TWO-WIRE FEEDER, NUMBER IS THE FEEDER IDENTIFIER
 □ SINGLE OR THREE-PHASE, THREE-WIRE FEEDER, NUMBER IS THE FEEDER IDENTIFIER
 ○ THREE-PHASE, FOUR-WIRE FEEDER, NUMBER IS THE FEEDER IDENTIFIER



ONE LINE



DRAFT

ELECTRICAL SPECIFICATIONS

PART 1 - GENERAL

1.1 ELECTRICAL CONTRACTOR REQUIREMENTS

- A. The contractor shall furnish and install all the necessary materials, apparatus, and devices to complete the electrical equipment and systems installation herein specified, except such parts as are specifically exempted herein.
- B. Materials and labor shall be new, of highest quality, and shall be subject at all times to the LAHD (Local Authority Having Jurisdiction) inspections, tests, and approval from the commencement of work until the acceptance of the completed work.

1.2 DAMAGE TO OTHER WORK

- A. The electrical contractor will be held rigidly responsible for all damages to the work of his own or any other trade resulting from the execution of his work. Adequately protect work at all times. All damages resulting from EC operations shall be repaired or the damaged portions replaced by the party originally performing the work (to the entire satisfaction of the architect), and all cost thereof shall be borne by the contractor responsible for the damage.

1.3 EXAMINATION OF PLANS, SPECIFICATIONS AND SITE

- A. Before submitting a bid, familiarize yourself with all features of the building and site which may affect the execution of this work. No extra payment will be allowed for the failure to obtain this information. If, in the opinion of the contractor, there are omissions or errors in the plans or specifications, the contractor shall clarify these points with the architect before submitting his bid.

PART 2 - PRODUCTS AND EXECUTION

2.1 INSTALLATION

- A. Scope
 - 1. All raceways shall be run concealed. The exception is mechanical spaces and storerooms. Where concealment is not possible in finished spaces, provide surface metal raceway.
- B. Cutting and patching
 - 1. Beams or columns shall not be pierced without permission of the ARCHITECT and then only as directed. If any openings are required through walls or floors where no sleeve has been provided, the hole for the sleeve shall be core drilled to avoid all unnecessary damage and structural weakening.
 - 2. All cutting and patching required for complete installation of systems shall be by this CONTRACTOR unless specifically noted elsewhere. All new or existing work cut or damaged shall be patched and restored to its original condition.
 - 3. Coordinate the location of sleeves, openings, chases, lined spaces, etc. Provide during the progress of construction all sleeves, hangers and inserts that are to be built into the structure.
 - 4. Provide sleeves for conduits and cables passing through masonry, concrete or other similar construction. Sleeves shall be of rigid conduit and shall extend completely through the construction.
 - 5. Sleeves for conduit 4 inch and smaller shall be at least two sizes larger than the conduit passing through. Sleeves for conduit larger than 4 inches shall be at least one size larger than conduit passing through.
 - 6. Sleeves in floor shall extend 3/8 inch above the floor, except in mechanical rooms and other areas where water may accumulate, sleeves shall extend 2 inches above the floor.
 - 7. Conduits or cables penetrating smoke or fire barriers must not destroy the barrier's integrity.
 - 8. Grout openings between conduits and concrete or masonry walls and floors. Where penetrations occur through fire rated walls or floors, fill space with the resistive insulation.
 - 9. Wherever cables must pass through fire or smoke rated walls for floors, provide approved, sleeved, foam filled fire stops around cables as manufactured by O.Z., Dow, Square D, or equal.
 - 10. All materials required for patching shall be provided by this CONTRACTOR unless otherwise noted.
 - 11. Where alterations disturb lawns, paving, walks, etc., the surfaces shall be repaired, refinished and left in the condition existing prior to commencement of work.
- C. Attachments and supports
 - 1. Provide proper fittings and support for each item of equipment and materials installed under this contract. Be responsible for the proper application, installation and location of all necessary and required inserts, supports and anchor bolts. Where same are to be installed by other trades, the EC shall supply same to the contractor in whose work they occur with instructions for placement and proper installation.
 - 2. The E.C. shall establish method and nature and select accessories necessary for proper support appropriate to item and point of attachment with due consideration given to ambient/environmental conditions and service duty. Attachments, supporting devices and accessories shall be specifically designed for the application suitable for the duty imposed in service and acceptable to the ARCHITECT.
 - 3. Attachments shall be made to structural components of the structure in such manner not to jeopardize the integrity of the structure and otherwise consistent with trade practices.
 - 4. Generally, anchors shall be concrete insert type in poured concrete and drilled expansion type in precast concrete. Powder actuated anchors shall not be used in concrete work.
 - 5. Provide all mounting backboards as required to mount electrical and electronic equipment. That equipment which is normally assumed to be mounted on some type of a backboard shall be mounted on backboards provided by the electrical contractor.
 - 6. All mounting backboards used by the contractor shall be 3/4" marine duty plywood. All plywood shall be painted on both sides and edges with two coats of fire resistant white enamel paint. Have subcontractors provide back mounting panels to meet this specification.
 - 7. Steel channel to be painted or galvanized steel.
 - 8. All sleeves to be furnished and installed by electrical contractor.

2.2 BID DRAWINGS

- A. It must be understood that electrical drawings and details are diagrammatic. They are not intended to be shop drawings. It is expected that it may be necessary to move conduit, outlets and/or equipment in some cases to get coordinated installation and such changes are considered a part of the Contract obligation without cost to the Owner. No outlets or equipment shall be located where the usefulness and/or operation will be affected by the work of other trades, door swing, counter, equipment, etc.

2.3 GUARANTEE

- A. Acknowledges acquaintance with the plans and specifications and its respective requirements. Guarantees that the electrical system has been installed strictly in accordance with the electrical plans and specifications using only the best of materials available, installed in a substantial manner by experienced labor.
- B. Place various components of the electrical system in service prior to completion date as instructed by Owner, but this shall not change the guarantee period which shall be one year after acceptance by Owner.
- C. Replace and/or repair any items failing from causes of faulty workmanship, materials or design without cost to Owner at any time within one year from date of final acceptance.

2.4 REGULATORY REQUIREMENTS

- A. All work and materials are to conform in every detail to applicable rules and requirements of state and local codes, the National Electrical Code (ANSI/NFPA 70), other applicable National Fire Protection Association codes, the National Electrical Safety Code, and present manufacturing standards (including NEMA), International fire code.

2.5 PERMITS, CERTIFICATES AND INSPECTIONS

- A. Obtain and pay for all required state and local installation permits, certificates, and inspections. Include copies of obtained documents in the Operating and Maintenance Manual.

2.6 WORK BY OTHER TRADES

- A. Every attempt has been made to indicate in this trade's specifications and drawings all work required of this Contractor. However, there may be additional specific paragraphs in other trade specifications and addenda, and additional notes on drawings for other trades which pertain to this Trade's work, and thus those additional requirements are hereby made a part of these specifications and drawings.
- B. Electrical details on drawings for equipment to be provided by others is based on preliminary design data only. This Contractor shall lay out the electrical work and shall be responsible for its correctness to match equipment actually provided by others.

2.7 QUALITY ASSURANCE

- A. All materials shall be listed by and shall bear the label of an approved electrical testing laboratory. The following laboratories are approved for providing electrical product safety testing and listing services as required in these specifications: Underwriters Laboratories, Inc. and Electrical Testing Laboratories, Inc.
- B. Comply with NFPA70.
- C. Provide submittals for engineer's review of all products installed.

2.8 PANELBOARDS

- A. Panels shall be Square D, Cutler Hammer, Siemens of the type specified on the associated panel schedules.
- B. Bus Material: Copper standard size. Provide copper ground bus in each panelboard. Ground bus shall extend the length of each switchboard.
- C. All lighting and appliance panelboards shall be of the circuit breaker type with bolt-on circuit breakers.
- D. Each panel shall be provided with a typewritten directory mounted on inside of panel.
- E. Branch Circuit Breakers: Shall be thermal magnetic, quick-make and quick-break. Multi-pole breakers to have common trip. Handle ties of any sort not allowed.
- F. Load centers not allowed.

2.9 NAMEPLATES

- A. Type: Engraved three-layer laminated plastic, white letters on black background.
- B. Locations: Each switchboard, panelboard, control enclosure and relay cabinet.

2.10 GROUNDING

- A. An effective grounding system shall be installed per NEC, state and local codes. Refer to detail for use as a partial guideline.
- B. An insulated grounding conductor, sized and identified per NEC, shall be included in all conduits supplying panelboard feeders, motor circuits and branch circuits. Provide #12 pigtail to ground all metal boxes.

2.11 FIRESTOPPING

- A. Acceptable manufacturers listed in the UL Fire Resistance Directory - Volume 2.
- B. Provide through-penetration firestop systems that are compatible with one another, with the substrates forming openings, and with the items, if any, penetrating through-penetration firestop systems, under conditions of service and application, as demonstrated by through-penetration firestop system manufacturer based on testing and field experience.
- C. Provide components for each through-penetration firestop system that are needed to install fill materials. Use only components specified by the firestopping manufacturer and approved by the qualified testing agency for the designated fire-resistance-rated systems.
- D. Provide products that upon curing, do not re-emulsify, dissolve, leach, breakdown or otherwise deteriorate over time from exposure to atmospheric moisture, sweating pipes, ponding water or other forms of moisture characteristic during and after construction.
- E. Openings within walls and floors designed to accommodate cabling systems subjected to frequent cable changes shall be provided with re-enterable products specifically designed for retrofit.

2.12 CONDUIT AND FITTING REQUIREMENTS

- A. Minimum size 1/2"
- B. EMT fittings shall be steel with insulated throat bushings.
- C. A conduit raceway system shall be used throughout.
- D. EMT shall be used for indoor dry locations.
- E. Rigid heavy wall galvanized steel conduits (GRC) shall be used outdoors. Underground, unless PVC is shown on drawings or called out in other portions of this specification. In and under ALL concrete slabs, except for where PVC is allowed as stated in nonmetallic conduit portion of this specification. In sizes 2-1/2" and larger, where the conduit is exposed and where it is installed between the floor and 8' AFF. Above this height EMT conduit may be used. In areas having moisture, dust or gases. Exposed conditions where such mechanical protection is required in hazardous locations.
- F. Flexible metal conduit (FMC) shall be used for the connection of light fixtures and motors. Maximum length to be 6'-0". Use in existing building interior walls to fish outlets vertically. FMC may not be used to connect light fixtures where connections are at exposed structure.
- G. Liquidtight Flexible Metal Conduit (LFMC), minimum size 1/2" maximum length 36" for connection to HVAC equipment, provide ground wire. Use in wet, damp and outdoor locations.
- H. Nonmetallic conduit (PVC) shall be used where indicated on drawings. In or under concrete slabs for 3 phase panelboards and 3 phase motor feeders only, NO single phase circuits or networks feeding single phase loads allowed. Where PVC conduit penetrates floor, it must be installed per conduit installation detail. PVC not allowed indoors above slab, except for single ground conductors in non-plenum areas.
- I. Mark conduit with printed adhesive labels or stenciled spray paint indicating function every 3'-0". Coordinate with other trades, specifically plumbing and HVAC.

A. All branch circuit conductors shall be copper. Minimum size No. 12 AWG.

- B. Insulation to be THW, THHN/THWN.
- C. All feeders shall be copper.
- D. Voltage drop per NEC.
- E. Use 10 AWG conductors for 20 Amp, 120-volt circuits longer than 75 feet and 20 Amp 277 Volt circuits longer than 200 feet.
- F. Each 20 amp, 120-volt branch circuit phase conductor shall have a separate neutral conductor.
- G. Color Code: 120/208 Volt - Black, Red, and Blue Neutral - White 277/480 Volt - Brown, Orange, and Yellow Neutral - Gray
- H. Identify conductors and cable. Identify each conductor with its respective circuit number or other designation indicated at each panelboard, junction box, relay junction box, switch, and receptacle location.
- I. Provide an insulated green ground wire with all circuits.
- J. Provide separate system for fire alarm, exit and emergency lighting per NEC.
- K. No branch circuit networks (shared neutrals) shall be used.

2.14 BOXES

- A. Flush-mounting boxes shall not be mounted back-to-back in walls. Provide minimum 12-inch separation.
- B. All boxes to be flush mounted in new walls. Surface boxes may be used on existing walls where impossible to fish.
- C. Standard flush receptacle boxes to be 4"x4"x2-1/8" deep plus the appropriate plaster ring.

2.15 MOUNTING HEIGHTS

- A. See floor plans for special device heights.
- B. Verify actual location of equipment with owner prior to rough-in.
- C. Mounting heights for all mounted devices and equipment to be measured from finished floor to top of device and unless otherwise noted on plans shall be as follows:
 - Switches - 44"
 - Receptacles - 20"
 - Above Counter Receptacle - mount just above back splash
 - Communication outlets - to match adjacent receptacle outlet. If receptacle outlet is not shown, provide 22" above floor to center of device or 8" above counter.
 - Wall Telephone - 42"
 - Fire Alarm Horn/Stroke - 82" above the floor (shall be to the Signal Highest point in the space i.e. above highest riser level) or 6" below ceiling (whichever is lower).
 - Fire Alarm Pull Station - 42"
 - FA Xenon Stroke - 82" above the floor (shall be to the highest point in the space i.e. above highest riser level) or 6" below ceiling (whichever is lower).

2.16 DEVICES

- A. Acceptable manufacturers: Pass & Seymour, Hubbell, Cooper and Leviton.
- B. All devices to be Specification Grade with one piece brass strap.
- C. Switches, 20A, 277 Volt NEMA WD6, specification grade. Color to be ivory.
- D. Receptacles, 20A 125 Volt NEMA WD6, specification grade. Color to be ivory.
- E. GFCI receptacles, 20A 125 Volt. Color to be ivory.
- F. Connect wiring devices by wrapping solid conductor around screw terminal. If stranded conductors are used in lieu of solid, then fork terminals shall be crimped on for all device terminations. Bare stranded conductors shall not be placed directly under terminal screws.
- G. Cover Plates
 - 1. Finished areas. Plates shall be stainless steel to match existing in quality control lab.
 - 2. Exposed areas. 4" square raised steel box covers.

2.17 MOTOR WIRING

- A. Motor will be furnished by other trades.
- B. Provide wiring for all motors.
- C. Provide disconnect for all motors.

2.18 FUSIBLE AND NON-FUSIBLE SWITCH ASSEMBLIES AND FUSES

- A. Description: Nema KS1 type heavy duty enclosed load interrupter knife switch. Handle lockable in off position.
- B. Enclosure: Interior dry locations, Type 1. Exterior locations, Type 3R.
- C. Fuses: Fuses shall have the proper voltage rating, coordinated with the voltage at the point of application. All fuses shall be of high interrupting rating, current limiting type, and be listed and labeled by Underwriters' Laboratories. All fuses shall be of the same manufacturer, either: Bussman "Low Peak Yellow", Gould Shawmut "Amp-Trap Orange", or Littelfuse. Provide fuses sized per manufacturer's recommendations for the equipment being protected.

2.19 TRANSFORMERS

- A. Furnish and install complete and operable lighting and distribution type transformers as indicated on the drawings and as specified herein.
- B. Approved manufacturers: Square D, Cutler Hammer, Or equal.
- C. Ratings
 - 1. Insulating materials shall exceed NEMA ST20 standards and be rated for 220 degree C, UL component recognized insulation system.
 - 2. Transformers rated 15kVA and larger shall be 150 degree C temperature rise above 40 degree C ambient.
 - 3. Transformers rated 25kVA and larger shall have a minimum of 4 - 2.5 percent full capacity primary taps.
 - 4. The maximum temperature of the top of the enclosure shall not exceed 50 degree C rise above a 40 degree C ambient.
 - 5. Transformer voltage and kVA ratings shall be as indicated on the drawings.
- D. All transformers shall be low loss type with minimum efficiencies per NEMA TP1 and Department of Energy "Energy Star" Program when operated at 35 percent of full load capacity. Efficiency shall be tested in accordance with NEMA TP2.
- E. Take precautions such that the transformer vibration does not transmit into any building surfaces.
- F. Transformer shall not be mounted tight against a wall, provide a minimum of 6" air space per NEC between the wall and the transformer. The contractor is to coordinate wall mounting with other mechanical equipment in the space.
- G. The transformer shall be equipped with internal rubber isolating pads. At the time that the transformer is set in place, loosen the hold-down bolts of the rubber isolating pads, as indicated per manufacturer's instructions.
- H. The transformer shall not be directly connected with rigid conduit, as indicated per manufacturer's specifications. All transformers shall be connected using flexible steel conduit.
- I. All equipment shall be grounded in accordance with NEC, these specifications and drawings, and the equipment supplier's recommendations.
- J. Measure primary and secondary voltages and make appropriate tap adjustments with 2-1/2 percent of the nominal operating voltage after the building is in full operation.

DRAFT

SPECTRUM ENGINEERING INCORPORATED
 262-783-7725
 FAX 262-783-7726
 19395 West Capitol Drive,
 Brookfield, Wisconsin 53045

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VERIFY SCALES
 BAR IS ONE INCH ON ORIGINAL DRAWING.
 IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY.

NO.	DATE	BY	REVISION
0	8/9/13	J.M.N.	ISSUED FOR VILLAGE OF PLEASANT PRAIRIE REVIEW SUBMITTAL

DRAWN BY:	CHECKED BY:
EJM	RJJ
DESIGNED BY:	
R.J. JENSEN	
PROJECT MANAGER:	
J.M. NOLL, P.E.	

RUST-OLEUM
 8105 95TH STREET
 PLEASANT PRAIRIE, WI 53158

ACETONE BULK TANK EXPANSION
 TANK & PIPING SYSTEM ADDITION
 ELECTRICAL - SPECIFICATIONS

DRAWING NUMBER:	13165-E5
DATE:	8/9/13
PROJECT NUMBER:	13165
SHEET NUMBER:	25 OF 25

ZONING CHANGE OR Conditional Use Permit to operate a
 CONDITIONAL USE manufacturing, research, and development PARCEL 0290-0, #92-4-122-212-0300-0
facility #92-4-122-212-0310-0
 PETITIONER Rust-Oleum Corporation, Michael T. Murphy, Esq.

June 10, 1988	DATE FILED
\$125.00	FEE PAID
July 19, 1988	DATE SENT TO COUNTY BOARD
July 1, 1988 and July 6, 1988	DATES PUBLISHED
June 29, 1988	DATE NOTICES MAILED
July 13, 1988	DATE OF HEARING
M-2 Heavy Manufacturing District	ZONING DISTRICT
Pleasant Prairie	TOWNSHIP
Approved - July 13, 1988	PLANNING & ZONING COMMITTEE ACTION
Approved - July 19, 1988	COUNTY BOARD ACTION
Approved - July 27, 1988	COUNTY EXECUTIVE ACTION
July 29, 1988	DATE TOWN CLERK NOTIFIED
July 29, 1988	DATE PETITIONER NOTIFIED

Kenosha



County

BOARD OF SUPERVISORS

RESOLUTION NO. 94

Subject: RUST-OLEUM CORP. - Conditional Use Permit to operate a manufacturing research and development facility on part of CSM #482, part of Parcels #92-4-122-212-0270-0, 92-4-122-212-0351-0, and all of Parcels #92-4-122-212-0280-0, 92-4-122-212-0290-0, 92-4-122-212-0300-0, 92-4-122-212-0310-0, NW 1/4, Section 21, Town of Pleasant Prairie			
Original <input checked="" type="checkbox"/>	Corrected <input type="checkbox"/>	2nd Correction <input type="checkbox"/>	Resubmitted <input type="checkbox"/>
Date Submitted: July 19, 1988		Date Resubmitted:	
Submitted By: Land Use Committee			
Fiscal Note Attached <input type="checkbox"/>		Legal Note Attached <input type="checkbox"/>	
Prepared By: George E. Melcher Dir., Planning & Development		Signature:	

The County Board of Supervisors of Kenosha County do ordain as follows:

WHEREAS, On June 10, 1988 Lawrence J. Jost of the law firm of Quarles and Brady, legal counsel for Rust-Oleum petitioned the Kenosha County Board of Supervisors for a Conditional Use Permit to operate a manufacturing research and development facility on part of Certified Survey Map #482 being part of Parcels #92-4-122-212-0270-0, #92-4-122-212-0351-0 and all of Parcels #92-4-122-212-0280-0, #92-4-122-212-0290-0, #92-4-122-212-0300-0, #92-4-122-212-0310-0 all located in the northwest quarter of Section 21, Township 1 North, Range 22 East, Town of Pleasant Prairie, and

WHEREAS, the Land Use Committee held a public hearing on the request on July 13, 1988 and Mr. Michael T. Murphy, Esq. general counsel and agent for the petitioner agreed to the following conditions:

1. Liquid waste materials shall be properly recovered and stored in barrels. Other waste materials shall be stored in dumpsters. All liquid and solid materials shall be disposed of in a licensed landfill facility.
2. A fire protection system shall be installed which complies with the laws of the State of

Wisconsin and is approved by the Town of Pleasant Prairie.

3. Pollution controls shall be in compliance with State Statutes 144.392 and any other federal, state, and local air and water quality standards.
4. A detailed site plan shall be submitted and approved by the Office of Planning and Development and the Town of Pleasant Prairie. Such site plan shall include a stormwater drainage plan, traffic flow plan, structures, parking lot design, lighting, employee and guest parking, loading dock facilities, dumpsters and disposal area, driveway and highway access, signage.
5. The performance bond requirement is to be waived as the proposed plans and specifications address air, water quality, and waste disposal regulations. In addition, the location is in a preplanned industrial park environment and it is believed that the proposed Rust-Oleum facility will not be detrimental to the health, safety, and welfare of the general public.
6. A statement was provided as to how potential health hazards are avoided. This statement should address safety and preventive maintenance measures.
7. All permits to be issued by the Office of Planning and Development for structures shall be based on a plat of survey and shall be subsequently verified with a foundation survey.

WHEREAS, the subject parcels have the appropriate zoning for the operation of a manufacturing research and development facility, and

WHEREAS, the Town of Pleasant Prairie recommended approval of the proposed manufacturing facility,

NOW, THEREFORE, BE IT RESOLVED that the request of Rust-Oleum Corporation for a Conditional Use Permit to operate a manufacturing research and development facility on the above described parcels be approved subject to the conditions presented above.

Approved by:

James L. Fonk

Stanley Kerkman

Fred C. Schmalfeldt

Richard Lindgren

Geoffrey Wheeler

LAND USE COMMITTEE

PROPOSED RUST-OLEUM CONDITIONAL USE PERMIT CONDITIONS

1. Liquid waste materials shall be properly recovered and stored in barrels. Other waste materials shall be stored in dumpsters. All liquid and solid materials shall be disposed of in a licensed landfill facility.
2. A fire protection system shall be installed which complies with the laws of the State of Wisconsin and is approved by the Town of Pleasant Prairie.
3. Pollution controls shall be in compliance with State Statutes 144.392 and any other federal, state, and local air and water quality standards.
4. A detailed site plan shall be submitted and approved by the Office of Planning and Development and the Town of Pleasant Prairie. Such site plan shall include a stormwater drainage plan, traffic flow plan, structures, parking lot design, lighting, employee and guest parking, loading dock facilities, dumpsters and disposal area, driveway and highway access, signage.
5. The performance bond requirement is to be waived as the proposed plans and specifications address air, water quality, and waste disposal regulations. In addition, the location is in a preplanned industrial park environment and it is believed that the proposed Rust-Oleum facility will not be detrimental to the health, safety, and welfare of the general public.
6. A statement shall be provided as to how potential health hazards are avoided. This statement should address safety and preventive maintenance measures.
7. All permits to be issued by the Office of Planning and Development for structures shall be based on a plat of survey and shall be subsequently verified with a foundation survey.



3 1 4 3 0 2
Exhibit 4 VOL 1559 PAGE 537 - 556

REGISTER'S OFFICE
KENOSHA COUNTY, WI.
RECORDED AT

DEC 22 8 23 AM '92

48 / DONNA M. DITTMAR
REGISTER OF DEEDS

VILLAGE OF PLEASANT PRAIRIE CONDITIONAL USE GRANT

NO. 92-009

Before the Village Board of the Village of Pleasant Prairie, Kenosha County, Wisconsin, in regard to premises located at 8105 Fergusson Drive, identified as Tax Parcel No. 92-4-122-212-0355-0, in Section 21, Township 1 North, Range 22 East, Kenosha County, State of Wisconsin, further described as follows:

Legal Description:

Parcel 1 of Certified Survey Map No. 1203 in LakeView Corporate Park, located in the Northwest One-Quarter of U.S. Public Land Survey Section 21, Township 1 North, Range 22 East in the Village of Pleasant Prairie, Kenosha County, Wisconsin.

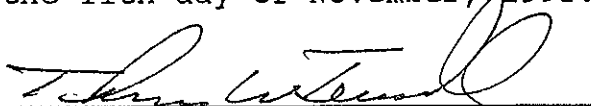
WHEREAS, the Zoning Code and Zoning District Map of the Village of Pleasant Prairie, pursuant to State Statute, provide that the premises may not be used of right for the purpose hereinafter described but that upon petition such use may be approved by the Village of Pleasant Prairie as a Conditional Use Grant in particular circumstances as defined by the standards in the Zoning Ordinance; and

Petition therefore having been made, and public hearing held thereon, and the Village Board of the Village of Pleasant Prairie having determined that by reason of the particular nature, character and circumstances of the proposed use, and of the specific and contemporary conditions, grant of such use upon the terms and conditions hereinafter prescribed would be consistent with the requirements of the Zoning Ordinance;

NOW THEREFORE, a conditional use is granted, subject to compliance with the terms and conditions hereinafter stated, that the Premises may be used for the purpose of the expansion and operation of an aerosol product storage area within the existing Rust-Oleum Corporation manufacturing facility.

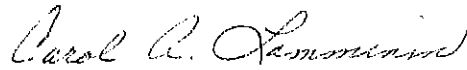
9. Obtaining building (remodel) and zoning permits from the Village's Community Development Department.
10. Building and Zoning Permit fees shall be tripled because work was completed prior to obtaining Village permits.
11. Any other requirements as set forth by the Village staff or Plan Comm as a part of the Site and Operational Plan review and approval.

Granted by the action of the Village Board of the Village of Pleasant Prairie, the 11th day of November, 1992.



Thomas W. Terwall
Village President

Attest:



Carol A. Lamminen
Village Clerk

Original filed in the Community Development Department of the Village of Pleasant Prairie.

Conditional Use Grant 92-009
Rust-Oleum Corporation

Page 5 of 20

Receipt of a True Copy of this instrument on behalf of the petitioner
acknowledged this 20 day of November, 1992.

Jane M. Romanowski

This document is to be returned to:

Village of Pleasant Prairie
9915 39th Avenue
P.O. Box 89
Pleasant Prairie, Wisconsin 53158-0089

CONDUSGR.116

**RUST-OLEUM
CORPORATION**

Attachment #1

February 6, 1992

Ms. Jean M. Werbie
Village Planner & Zoning Administrator
9915-39th. Avenue
Pleasant Prairie, Wisconsin 53258-0089

RE: Expansion of aerosol product storage in the Rust-Oleum
warehouse.

Dear Ms. Werbie:

As requested in your Operational Plan Approval Application and Checklist I am providing a written narrative of our operational plan. I will address each of the 19 questions in the order presented on your form.

- 1) Rust-Oleum warehouse aerosol product storage expansion.
- 2) Rust-Oleum Corporation 8105 Fergusson Drive Pleasant Prairie, WI
- 3) Louis C. Noto
Engineering Manager
Rust-Oleum Corporation
- 4) February 6, 1992
- 5) Not Applicable
- 6) In order of completion: Increase sprinkler protection in expansion area, install chain link wire mesh barriers at aisle end of existing racks, install 3 new fire exits on outside wall adjacent to this storage area, install fire pull boxes, exit lights and security system at these doors. Where possible, all equipment is to duplicate equivalent equipment already in place as to style, model and appearance.
- 7) Attached
- 8) None
- 9) The entire facility is used for Research and Development, storage of components, manufacture and storage of paint products. The specific area under consideration is

presently used for storage of non-aerosol paint products products and we seek to improve fire protection in said area to allow storage of packaged aerosol products.

- 10) Normal operating hours would be 6:00AM to 10:30PM Monday thru Friday.
- 11) 125
- 12) Expansion of this storage area will reduce truck traffic to and from the facility by 3 to 5 trucks per day. At this time product must be trucked from this facility to an outside warehouse for storage and then returned to this facility at a later date for distribution to our customers resulting in additional truck traffic.
- 13) Packaged and palletized aerosol paint products.
- 14) Not Applicable
- 15) Electronic security as used throughout the facility.
- 16) In-rack sprinkler system as installed in adjacent aerosol storage area. Accessibility for fire fighters and their equipment will be identical to that for the adjacent aerosol storage area and with additional fire doors.
- 17) No change from original facility plan.
- 18) None
- 19) Attached copies of petition for variance submitted to and approved by Wisconsin Department of Industry, Labor and Human Relations for the original aerosol storage area, copies of estimates form all contractors involved in this project, drawings of proposed changes to sprinkler system and building interior and exterior modifications.

I believe I have answered all applicable points from your check list, if not please let me know. My telephone number is 947-6740

Very truly yours,

Rust-Oleum Corporation



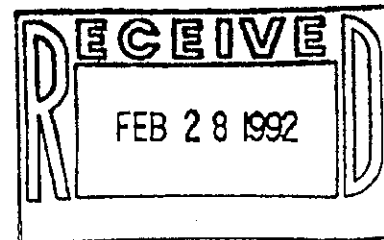
Louis C. Noto
Engineering Manager



8105 Fergusson Drive • Pleasant Prairie, Wisconsin 53158-0769
Tel.: (414) 947-7220

February 28, 1992

COPY



Ms. Jean M. Werbie
Village Planner & Zoning Administrator
9915-39th. Avenue
Pleasant Prairie, Wisconsin 53158-0089

Dear Ms. Werbie:

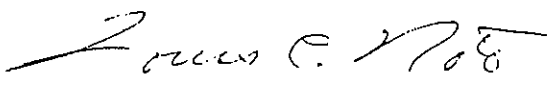
We are seeking a Conditional Use Permit as part of a plan to expand our aerosol storage capacity. It is our intention to reproduce the conditions described in our original petition for variance as well as address any new or additional requirements which may be applicable. The following information describes how we intend to meet said requirements to expand our finished goods warehouse aerosol storage area by 10,664 sq.ft.

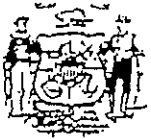
- 1) Addition of face sprinklers at all levels and bays of the rack system in accordance with state, local, NFPA 13 and NFPA 30B regulations.
- 2) Provide three (3) additional fire exits direct to grade with spacing as agreed upon in the original petition.
- 3) Reduce the number of sides of aerosol storage exposure to the adjacent warehouse from two to one and eliminate the need for a variance to separate stored aerosols from the adjacent stock with a wire mesh fence rather than a masonry wall.
- 4) Provide wire mesh end partitions as well as any additional equipment determined necessary to protect adjacent areas of the warehouse from fire hazards in the expanded storage area.

I have enclosed a copy of the original petition for variance as well as the checklist, responses and drawings submitted for the Operational Plan Approval Application to your office on 2/7/92.

Very truly yours,

Rust-Oleum Corporation


Louis C. Noto
Engineering Manager



SAFETY & BUILDINGS DIVISION

201 E. Washington Avenue
P.O. Box 7969
Madison, Wisconsin 53707

October 10, 1988

File Number E-10983

Attachment #3

Petition No. 1-88-00328

Mark Levine
Rust-Oleum Corporation
11 Hawthorne Parkway
Vernon Hills, IL 60061Designer: Howard Needles Tammen
Bergendoff
11270 West Park Place
Milwaukee, WI 53224

Dear Mr. Levine:

Re: Manufacturing/Warehouse/Office
Highway "T" - Highway "H"
Pleasant Prairie, Kenosha CountyYour petition for variance of section ILHR 54.14 (1)(a) and (2),
1986 Wisconsin Building Code, has been reviewed.

The rule being petitioned requires the following:

Except as provided in par. (b), all fuel-fired heating boilers and furnaces, power boilers, fuel rooms and breeching, storage vaults for paints, oils, and similar combustibles and other similar hazards in a building shall be isolated from the rest of the building by at least a 2-hour fire-resistive enclosure as specified in ss. ILHR 51.04 to 51.049; except that in buildings not more than two stories in height and having a floor area of not more than 3,000 square feet per floor, a 1-hour fire-resistive enclosure as specified in ss. ILHR 51.04 to 51.049, or better, shall be provided.

All openings shall be protected with self-closing fire-resistive doors as specified in s. ILHR 51.047.

The variance requested was to allow the omission of the 2-hour enclosure for an aerosol can storage area and to allow the substitution of deluge water curtains in lieu of fire-resistive door assemblies for conveyor openings in 2-hour isolation enclosure.

Considered were your statements as follows:

1. The proposed building contains an area of 9,600 square feet within the finished goods warehouse which is designated for the storage of paint in aerosol cans. The cans are contained on pallets which will be stacked four high (total height of 22 feet 5 inches on racks).
2. This area is considered a hazardous area due to the nature of aerosol products, and therefore requires a 2-hour separation from the rest of the warehouse area.



Mark Levine
October 10, 1988
Page 2

201 E. Washington Avenue
P.O. Box 7859
Madison, Wisconsin 53707

3. Fork trucks must access these racks through the aisles from the warehouse floor. This would require nine 6 foot wide by 12 feet high openings in the fire wall, each which would require a separate fire door. These openings would interfere with fork truck operations and create a greater potential for accidents. The fire wall would also greatly reduce visibility into the area. The large number of openings would also tend to negate the purpose of the fire wall.
4. The paint manufacturing operation utilizes a conveyor system to transport packaged paint products in closed containers from the manufacturing/filling area to the finished goods warehouse. The proposed location of the 2-hour fire wall enclosing the manufacturing area was designed for two primary reasons:
 - a. To maximize the separation of packaged finished goods from the manufacturing area.
 - b. To increase fork truck access to the palletizers located at the end of the conveyors and minimize fork truck traffic within the manufacturing area.
5. It is, therefore, necessary for the conveyors to penetrate the 2-hour fire wall. Since this is a continuous machine and operation, it is not feasible to protect the opening with a fire door, which would be obstructed by the conveyor apparatus.
6. The aerosol storage area is located in an exterior corner of the building so that only two sides are exposed to the adjacent warehouse. Since one hazard associated with aerosol storage is the potential for rocketing or exploding cans in fires, this location will greatly reduce the potential for cans to effect adjacent rack areas. *now only*
7. The aerosol storage area will be enclosed with a full-height (floor to roof deck) wire mesh partition to separate it from the adjacent racks to the north. The partition will also fully cover the ends of the racks between aisles on the west side. This further reduces the area open to the warehouse.
8. The aerosol storage area will be completely protected by an automatic sprinkler system, including ceiling sprinklers and in-rack sprinklers at each level, in accordance with Factory Mutual 7-296 - Storage of Aerosol Products.
9. A letter (attached) from Verlan, Ltd., Rust-Oleum's insurance carrier, demonstrates that past experience in other paint manufacturing and warehouse facilities has shown that the proper sprinkler protection is much more effective in controlling aerosol fires than fire walls. This sprinkler system will be continuously monitored and tested.



Mark Levine
October 10, 1988
Page 3

10. The aerosol storage area may be exited within a maximum travel distance of 50 feet. The aisles can be exited to the east through three exit doors and to the west through the main warehouse aisle leading to additional standard exits to grade. The fire department will be able to access the area through four exterior doors - three within aerosol storage and one immediately adjacent.
11. The wire mesh partition will allow the fire department to fight a fire from outside the aerosol storage area whereas a solid wall would require firefighters to enter the area.
12. The wire mesh partition will increase visibility into the area to monitor activities and help provide early detection of potential hazards.
13. All fork trucks operating in the warehouse will be EE rated. In addition, all fork trucks will be automatically guided by an in-floor wiring system.
14. The conveyor openings will be protected on both sides by a deluge water curtain sprinkler system designed in accordance with NFPA 13. The system will be activated by a smoke and heat detection system of both sides of the opening.
15. The size of the conveyor openings is relatively small (four openings 4 feet wide by 4 feet high, two future openings 4 feet wide by 4 feet high) and account for only 2% of the wall area. All other openings in the fire wall will be protected with approved 1-1/2-hour rated fire door assemblies.
16. Both sides of the fire wall are completely protected by an automatic sprinkler system.
17. The fire alarm system in the plant is designed to automatically shut down all filling, packaging and conveyor machinery when activated.
18. The manufacturing area enclosed by the 2-hour fire wall is provided with a ventilation system to maintain six air changes per hour. This will prevent any hazardous fumes associated with the manufacturing operation from building up to dangerous levels or entering the warehouse area.
19. It is Rust-Oleum's feeling, as well as Verian, Ltd.'s, that the design proposed for the aerosol storage area will provide superior protection of the building and a safer condition for occupants than a 2-hour fire wall. The best protection for aerosol fires is early detection and suppression. The wire mesh partition will contain aerosol cans from entering other rack storage areas. In addition, a very short distance is required to exit or access the area.



Mark Levine
October 10, 1988
Page 4

20. Addressing s. ILHR 54.14 (2) at Manufacturing:

A properly designed deluge water curtain has been shown to provide adequate protection of openings in fire walls. Along with the other design features discussed, we feel that the proposed design provides a superior degree of safety compared with the alternative of fire shutters in this situation. In addition, the projection of conveyors through the fire wall will provide a safer operating plant by maximizing the separation of the manufacturing area from the warehouse.

21. We would also like to reference the following petitions for variance previously reviewed and conditionally approved by the Department for similar building conditions:

File No. E-78163	Petition No. 87-172
File No. E-8694	Petition No. 85-207
File No. E-29580	Petition No. 87-089
File No. E-1422	Petition No. 87-060
File No. E-47637	Petition No. 87-077
File No. E-109294	Petition No. 87-119

The following comments were made in the petition analysis:

1. The intent of the rule being petitioned is limit the possible spread of fire from a potentially hazardous source to other portions of a building.
2. The Pleasant Prairie Fire Department recommends the approval of this petition request.
3. Relative to the conveyor openings, the Department has accepted the equivalency of deluge curtains for fire door assemblies to protect such openings, under petitions 87-77 and 87-83; therefore, this issue of the petition can be accepted by precedence.
4. From the plans it is not evident that the hazard posed by the aerosol can storage is significantly different than that posed by the adjacent spaces and functions.
5. The enclosure of the aerosol can storage area was called for during the preliminary design review as a means of recognizing different maximum exit distances.
6. Flammable aerosols are liquids in pressurized containers which are likely to rupture under fire exposure conditions spreading fire as the containers rocket.
7. The wire enclosure should help to prevent the rocketing and thereby spread fire to other parts of the building.



Mark Levine
October 10, 1988
Page 5

201 E. Washington Avenue
P.O. Box 7969
Madison, Wisconsin 53707

8. The sprinkler system in accordance with Factory Mutual should limit the potential for a fire occurring in the aerosol can storage area.

Departmental Action: Approval.

This approval is granted with the understanding that all of the petitioner's statements and any conditions of approval cited above will be carried out.

Prepared by: James D. Junot/RLB
James Quast, Architect
Code and Variance Consultant
(508) 265-9292

Reviewed by: Ronald Lewis Buchholz
Ronald Lewis Buchholz, Architect
Assistant Director, Office of Division Codes and Application

Departmental Signature: Richard L. Meyer Date: 10/2/88
Richard L. Meyer, Architect
Director, Office of Division Codes and Application

JG:2984e

Enc.

cc: R-2 Waldburger (414) 521-5065 Thursday
Building Inspector, Pleasant Prairie
Pleasant Prairie Fire Department

VOL 1559 PAGE 551

Name of Owner Mark Levine	Building Occupancy or Use Manuf/Warehouse/Office	Agent, Architect or Engineering Firm HNTB
Company Must-Oleum Corporation	Tenant Name, if any	Street & No. 11270 W. Park Place
Street & No. 11 Hawthorne Parkway	Building Location, Street & No. Hwy "T" - Hwy "H"	City Milwaukee, WI
City Vernon Hills, IL	State & Zip 60061	State & Zip 53224
City Vernon Hills, IL	State & Zip 60061	City Pleasant Prairie, Kenosha
Phone 312-367-7700	Plan Number(s) IF KNOWN 88-09-0109-C	Phone 414-359-2300
		Name of Contact Person Richard Toyne

21810 13-

1. Rule ILHR 54.14 of the Wisconsin Administrative code cannot be entirely satisfied because:

See Exhibit A attached

3410.00
499081
Public Petition

2. In lieu of complying exactly with the rule, the following alternative is proposed as a means of providing an equivalent degree of safety:

See Exhibit B attached

3. Supporting arguments are:

See Exhibit C attached

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SEP 30 1988

OFFICE OF DIVISION
DES AND APPLICATIONS

VERIFICATION BY OWNER - PETITION IS VALID ONLY IF NOTARIZED

For Fee Information See ILHR 69.15 or Contact The Department at 16031-267-7840

NOTE: Petitioner must be building owner. Tenants, agents, designers, contractors, attorneys, etc. may not sign petition unless a Power of Attorney is submitted with the Petition.

Richard Manning

(NAME of PETITIONER Please type/print)

being duly sworn, I state as petitioner; that I have read

the foregoing petition, that I believe it to be true and I have significant ownership rights in the subject building.

Richard Manning

Signature of Owner

Subscribed and sworn to me this date: 9-28-88

Lake County, Wisconsin

Adriana A. Kavours

Notary Public

My commission expires: Jan. 10, 1989

OFFICE USE ONLY		
Date Received <u>9-30-88</u>	Amount Paid <u>\$40.00</u>	Receipt No. <u>40099031</u>
Department Action <i>[Signature]</i>		
Office of the Secretary <i>[Signature]</i>		Date <u>10/12/88</u>

EXHIBIT A

Certain aspects of ILHR 54.14 cannot be entirely satisfied at two different areas of the proposed building as described below:

1. Addressing ILHR 54.14 at Aerosol Storage:

The proposed building contains an area of 9,600 square feet within the finished goods warehouse which is designated for the storage of paint in aerosol cans. The cans are contained on pallets which will be stacked four high (total height of 22'-6") on racks.

This area is considered a hazardous area due to the nature of aerosol products, and therefore requires a two-hour separation from the rest of the warehouse area.

Fork trucks must access these racks through the aisles from the warehouse floor. This would require nine 6 foot wide by 12 feet high openings in the fire wall, each which would require a separate fire door. These openings would interfere with fork truck operations and create a greater potential for accidents. The fire wall would also greatly reduce visibility into the area. The large number of openings would also tend to negate the purpose of the fire wall.

2. Addressing ILHR 54.14(2) at Manufacturing:

The paint manufacturing operation utilizes a conveyor system to transport packaged paint products in closed containers from the manufacturing/filling area to the finished goods warehouse. The proposed location of the two-hour fire wall enclosing the manufacturing area was designed for two primary reasons:

1. To maximize the separation of packaged finished goods from the manufacturing area.
2. To increase fork truck access to the palletizers located at the end of the conveyors and minimize fork truck traffic within the manufacturing area.

It is, therefore, necessary for the conveyors to penetrate the two hour fire wall. Since this is a continuous machine and operation, it is not feasible to protect the opening with a fire door, which would be obstructed by the conveyor apparatus.

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OFFICE OF DIVISION
ORDS AND APPLICATIONS

EXHIBIT B

In lieu of complying exactly with the rule, the following alternatives are proposed as a means of providing an equivalent degree of safety:

1. Addressing ILHR 54.14 at Aerosol Storage:

- A. The aerosol storage area is located in an exterior corner of the building so that only two sides are exposed to the adjacent warehouse. Since one hazard associated with aerosol storage is the potential for rocketing or exploding cans in fires, this location will greatly reduce the potential for cans to effect adjacent rack areas.
- B. The aerosol storage area will be enclosed with a full-height (floor to roof deck) wire mesh partition to separate it from the adjacent racks to the north. The partition will also fully cover the ends of the racks between aisles on the west side. This further reduces the area open to the warehouse.
- C. The aerosol storage area will be completely protected by an automatic sprinkler system, including ceiling sprinklers and in-rack sprinklers at each level, in accordance with Factory Mutual 7-296 - Storage of Aerosol Products.

A letter (attached) from Verlan, Ltd., Rust-Oleum's insurance carrier, demonstrates that past experience in other paint manufacturing and warehouse facilities has shown that the proper sprinkler protection is much more effective in controlling aerosol fires than fire walls. This sprinkler system will be continuously monitored and tested.

- D. The aerosol storage area may be exited within a maximum travel distance of 50 feet. The aisles can be exited to the east through three exit doors and to the west through the main warehouse aisle leading to additional standard exits to grade. The fire department will be able to access the area through four exterior doors - three within aerosol storage and one immediately adjacent.
- E. The wire mesh partition will allow the fire department to fight a fire from outside the aerosol storage area whereas a solid wall would require firefighters to enter the area.
- F. The wire mesh partition will increase visibility into the area to monitor activities and help provide early detection of potential hazards.
- G. All fork trucks operating in the warehouse will be EE rated. In addition, all fork trucks will be automatically guided by an in-floor wiring system.

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SEP 30 1989

2. Addressing ILHR 54.14(2) at Manufacturing:

- A. The conveyor openings will be protected on both sides by a deluge water curtain sprinkler system designed in accordance with NFPA 13. The system will be activated by a smoke and heat detection system on both sides of the opening.
- B. The size of the conveyor openings is relatively small (4 openings 4'-0" wide by 4'-0" high, 2 future openings 4'-0" wide by 4'-0" high) and account for only 2% of the wall area. All other openings in the fire wall will be protected with approved 1-1/2 hour rated fire door assemblies.
- C. Both sides of the fire wall are completely protected by an automatic sprinkler system.
- D. The fire alarm system in the plant is designed to automatically shut down all filling, packaging and conveyor machinery when activated.
- E. The manufacturing area enclosed by the two hour fire wall is provided with a ventilation system to maintain six air changes per hour. This will prevent any hazardous fumes associated with the manufacturing operation from building up to dangerous levels or entering the warehouse area.

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OFFICE OF DIVISION
CODES AND APPLICATIONS

1. Addressing ILHR 54.14 at Aerosol Storage:

It is Rust-Oleum's feeling, as well as Verlan, Ltd.'s, that the design proposed for the aerosol storage area will provide superior protection of the building and a safer condition for occupants than a two-hour fire wall. The best protection for aerosol fires is early detection and suppression. The wire mesh partition will contain aerosol cans from entering other rack storage areas. In addition, a very short distance is required to exit or access the area.

2. Addressing ILHR 54.14(2) at Manufacturing:

A properly designed deluge water curtain has been shown to provide adequate protection of openings in fire walls. Along with the other design features discussed, we feel that the proposed design provides a superior degree of safety compared with the alternative of fire shutters in this situation. In addition, the projection of conveyors through the fire wall will provide a safer operating plant by maximizing the separation of the manufacturing area from the warehouse.

We would also like to reference the following petitions for variance previously reviewed and conditionally approved by the Department for similar building conditions:

File No. E-76163	Petition No. 87-172
File No. E-8694	Petition No. 85-207
File No. E-29580	Petition No. 87-089
File No. E-1422	Petition No. 87-060
File No. E-47637	Petition No. 87-077
File No. E-109294	Petition No. 87-119

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OFFICE OF DIVISION
CODES AND APPLICATIONS

Name of Owner Mr. Levine	Building Occupancy or Use Manuf/Warehouse/Office	Agent, Architect or Engineering Firm HNTB
Company Rust-Oleum Corporation	Tenant Name, if any	Street & No. 11270 W. Park Place
Street & No. 11 Hawthorne Parkway	Building Location, Street & No. Hwy "T" - Hwy "H"	City Milwaukee, WI
City Vernon Hills, IL	State & Zip 60061	State & Zip 53224
City Pleasant Prairie,	County Kenosha	Phone 414-359-2300

1. I have read the petition for variance of rule: 54.14

2. I recommend (Check appropriate box)

Denial	Approval XXX	Conditional Approval	No Comment
--------	-----------------	----------------------	------------

3. Explanation for Recommendation:

In my judgement the variances that HNTB is requesting on behalf of the Rust-Oleum Corporation are workable as alternatives to the DILHR code.

If desired, Fire Departments may indicate "No Comment" on non-fire safety issues such as sanitary, energy conservation, structural, barrier free environments, etc.

4. I find no conflict with local rules and regulations
 I find that the petition is in conflict with local rules and regulations

Explanation

The Town of Pleasant Prairie has adopted the DILHR code as our minimum fire prevention code. Pleasant Prairie has not made any enhancements to the "basic" code, therefore there are no additional local regulations which address the variances requested by Rust-Oleum.

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SEP 30 1993
OFFICE OF DIVISION
CODES AND APPLICATIONS

Signature of Fire Chief: Paul G. Guilbert, Jr., Pleasant Prairie F & R Date: 09/28/93



**VILLAGE OF PLEASANT PRAIRIE
CONDITIONAL USE GRANT**

NO. 95-017

Before the Village Board of the Village of Pleasant Prairie, Kenosha County, Wisconsin, in regard to the property located at **8105 Fergusson Drive**, identified as Tax Parcel No. **92-4-122-212-0355-0**, in U.S. Public Land Survey Section 21, Township 1 North, Range 22 East, Kenosha County, State of Wisconsin.

Legal Description:

CSM 1203 in Lakeview Corporate Park and a part of the Northwest One-Quarter of U. S. Public Land Survey Section 21, Township 1 North, Range 22 East in the Village of Pleasant Prairie, Kenosha County, Wisconsin.

WHEREAS, the Zoning Code and Zoning District Map of the Village of Pleasant Prairie, pursuant to State Statute, provide that the premises may not be used of right for the purpose hereinafter described but that upon petition such use may be approved by the Village of Pleasant Prairie as a Conditional Use Grant in particular circumstances as defined by the standards in the Zoning Ordinance; and

WHEREAS, such petition having been made, and public hearing held thereon, and the Village Board of the Village of Pleasant Prairie having determined that by reason of the particular nature, character and circumstances of the proposed use, and of the specific and contemporary conditions, grant of such use upon the terms and conditions hereinafter prescribed would be consistent with the requirements of the Zoning Ordinance;

NOW THEREFORE, a conditional use is granted, subject to compliance with the terms and conditions hereinafter stated, that the property may be developed according to the approved plans for Rust-Oleum Corporation to construct a 480 square foot precast concrete building. The new structure is proposed to be used in the recovery of paint and propellant from returned/rejected aerosol containers of Rust-Oleum product.

The **CONDITIONS** of this Grant are:

1. Subject to the attached Fire Chief's Comments.
2. Two sets of Registered Architect or Engineer signed and sealed plans should be submitted to the Village Building Inspector for review and issuance of building/zoning permits.

3. Signed and sealed pre-cast plans should be submitted to the Village Building Inspector prior to their installation.
4. Emergency lighting per the State Code is required in the building.
5. Heat Loss and Ventilation Design for Building is needed per ILHR Chapter 64.
6. Any alterations, additions or changes to the project plans shall be approved by the Village and WisPark Corporation.
7. Any conditions of the Conditional Use Grant shall apply to the owners, agents or employees of the property.
8. Construction and operation of the use granted shall be in strict conformity to the approved site, building and operational plans filed in connection with the petition for this permit.
9. The Conditional Use Grant shall become effective upon the execution and recording by the Village for the Owners and Tenants of the Premises of an acceptance hereof in such form as to constitute an effective covenant running with the land.
10. The Conditional Use Grant shall be void unless proper execution (signatures and recording) of the conditional use grant, pursuant to the Building Code and Zoning Ordinance of the Village, for appropriate Building, Zoning and Occupancy Permits in conformity to this Grant, is made within six (6) months of the date hereof.
11. The Conditional Use Grant is subject to amendment and termination in accordance with the provisions of the Zoning Ordinance of the Village.
12. Construction and operation of the use granted shall be in strict conformity to the approved site, building and operational plans filed in connection with the petition for this permit.

Granted by the action of the Village Board of the Village of Pleasant Prairie, the 6th day of November, 1995.

Attest:

John P. Steinbrink
Village President

Jane M. Romanowski
Village Clerk

Signed:
Owner _____
Mark Levine
Rust-Oleum Corporation

ACKNOWLEDGMENT
STATE OF _____)
SS
_____ COUNTY)

Personally came before me this _____ day of _____, 1995, the above named _____, to me known to be the person(s) who executed the foregoing instrument and acknowledge the same.

Notary Public, _____ County, _____.
My Commission expires: _____.

THIS INSTRUMENT WAS DRAFTED BY:
Peggy L. Keuler
Assistant Village Planner and
Assistant Zoning Administrator

This document is to be returned to:
Village of Pleasant Prairie
9915 39th Avenue
Pleasant Prairie, Wisconsin 53158-0089

TO: JEAN WERBIE
FROM: PAUL GUILBERT JR., CHIEF
RE: RUST OLEUM AEROSOL RECOVERY BUILDING

I HAVE REVIEWED THE SITE PLANS FOR RUST OLEUM THAT WERE RECEIVED BY YOU ON SEPTEMBER 21, 1995.

The proposed facility is to be used as an aerosol recovery building. The size of the structure is 480 square feet.

The design firm, Pierce Engineering, Inc., has indicated on the plans we reviewed that the building will be constructed in accordance with but not limited to: NFPA 30, 30b, 70-NEC, and DILHR 10, 54 and 69. They indicated that the building will be protected by a wet pipe fire sprinkler system. The sprinkler system will be installed in accordance with NFPA 13 and 30b.

The design firm has also indicated the following:

- a. Fire alarm pull stations will be provided.
- b. Automatic smoke detectors will be provided.
- c. Heat detectors will be provided.
- d. Fire extinguishers will be provided.

The following should be noted:

The fire sprinkler system will be reviewed in consideration of Village Ordinance, 5.16, automatic fire sprinklers. The fire protection contractor providing the sprinklers should review the ordinance prior to submitting the drawings.

A permit is required before work begins and will be issued only after a satisfactory review of the system is performed.

Annunciator Panel: All fire alarms originating from the aerosol recovery building shall be identified on the annunciator panel found at the main entrance to Rust Oleum. The alarms shall be identified in a manner that will provide the firefighters on scene with the most accurate information, or example:

Aerosol Recovery Building:

- Sprinkler water flow
- Heat/Smoke detector
- Pull station

All life safety and fire protection shall be in place prior to this new building being occupied.



18

Exhibit 6

DOCUMENT NUMBER
1050202
CONDITIONAL USE PERMIT
RECORDED
at Kenosha County, Kenosha, WI 53140
Louise I. Principec, Register of Deeds
on 2/26/1997 at 2:41 PM
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REGDRENZ
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PATC

**VILLAGE OF PLEASANT PRAIRIE
CONDITIONAL USE GRANT NO. 96-01**

Before the Village Board of the Village of Pleasant Prairie, Kenosha County, Wisconsin, in regard to the property located at **8105 Fergusson Drive**, and located in U.S. Public Land Survey Section 21, Township 1 North, Range 22 East, Kenosha County, State of Wisconsin.

Return Document to:
Village of Pleasant Prairie
P.O. Box 905
Pleasant Prairie, WI 53158

Parcel #:
92-4-122-212-0355-0

Legal Description:

CSM 1203 in Lakeview Corporate Park and a part of the Northwest One-Quarter of U. S. Public Land Survey Section 21, Township 1 North, Range 22 East in the Village of Pleasant Prairie, Kenosha County, Wisconsin.

WHEREAS, the Zoning Code and Zoning District Map of the Village of Pleasant Prairie, pursuant to State Statute, provide that the premises may not be used of right for the purpose hereinafter described but that upon petition such use may be approved by the Village of Pleasant Prairie as a Conditional Use Grant in particular circumstances as defined by the standards in the Zoning Ordinance; and

WHEREAS, such petition having been made, and public hearing held thereon, and the Village Board of the Village of Pleasant Prairie having determined that by reason of the particular nature, character and circumstances of the proposed use, and of the specific and contemporary conditions, grant of such use upon the terms and conditions hereinafter prescribed would be consistent with the requirements of the Zoning Ordinance;

NOW THEREFORE, a conditional use is granted, subject to compliance with the terms and conditions hereinafter stated, that the property may be developed according to the approved plans for Rust-Oleum Corporation to construct a 564 square foot structure to house equipment used to inject propellant into aerosol cans of Rust-Oleum paint. The **CONDITIONS** of this Grant include:


1. Subject to the attached Fire Chief's comments.
2. Subject to State approval for Building and HVAC Plans and providing two (2) copies of the State approved plans and the approval letter.

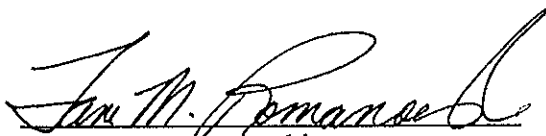
68

3. Building permits shall be obtained from the Community Development Department and Sprinkler permits should be obtained through the Fire & Rescue Department.
4. The Conditional Use Grant shall become effective upon the execution and recording by the Village for the Owners of the Premises of an acceptance hereof in such form as to constitute an effective covenant running with the land.
5. The Conditional Use Grant shall be void unless proper execution (signatures and recording) of the conditional use grant, pursuant to the Building Code and Zoning Ordinance of the Village, for appropriate Building, Zoning and Occupancy Permits in conformity to this Grant, is made within six (6) months of the date hereof.
6. The Conditional Use Grant is subject to amendment and termination in accordance with the provisions of the Zoning Ordinance of the Village.
7. Construction and operation of the use granted shall be in strict conformity to the approved site, building and operational plans filed in connection with the petition for this permit.
8. Any alterations, additions or changes to the project plans shall be approved by the Village and WisPark Corporation.
9. Any conditions of the Conditional Use Grant shall apply to the owners, agents or employees of the property.

Granted by the action of the Village Board of the Village of Pleasant Prairie, the 1st day of April, 1996.

Attest:


John P. Steinbrink
Village President

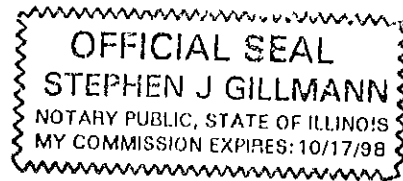

Jane M. Romanowski
Village Clerk

Signed: William C. Whiting
Owner ~~Mark Levine~~ William C. Whiting ^{man}
Rust-Oleum Corporation

ACKNOWLEDGMENT
STATE OF Illinois)
SS
Lake COUNTY)

Personally came before me this 11 day of April, 1996, the above named William C. Whiting, to me known to be the person(s) who executed the foregoing instrument and acknowledge the same.

Stephen J. Gillmann
Notary Public, LAKE County, IL.
My Commission expires: 10/17/98.



THIS INSTRUMENT WAS DRAFTED BY:
Peggy L. Keuler
Assistant Village Planner and
Assistant Zoning Administrator

This document is to be returned to:
Village of Pleasant Prairie
9915 39th Avenue
Pleasant Prairie, Wisconsin 53158-0089

MEMORANDUM

TO: Jean Werbie, Director
Community Development Department
Village of Pleasant Prairie

FROM: Paul G. Guilbert Jr., Chief
Pleasant Prairie Fire & Rescue

RE: Rust-Oleum Corp. New Aerosol Gas House
8105 95th Street

DATE: February 22, 1996

The Rust-Oleum Corp., 8105 95th Street, has proposed to build an additional room to fill aerosol cans. This addition will be located immediately west of the current aerosol filling room and five feet (north) remote of the existing main building.

The owner has committed to build this room in accordance with the following conditions:

1. All materials methods and means utilized to construct this facility shall conform to all applicable codes and standards suitable for the intended use of the facility, including but not limited to the following:
NFPA 30, NFPA 30(B), NFPA 70-NEC, DILHR 10, DILHR 54, DILHR 69
2. Provide and install ten pound capacity UL rated dry chemical type cast steel tank fire extinguishers for Class A, B, and C fires at locations designated by local authority.
3. A wet pipe automatic sprinklers shall be installed in accordance with all applicable codes and guidelines suitable for the use of the facility, including NFPA 13 and NFPA 30B, Section 3-9. Tap existing fire sprinkler loop and locate riser where shown on plan. Complete all necessary testing upon completion of work.
4. Provide fire alarm pull stations, horns, strobes, automatic smoke detectors, heat detectors, etc., as required by code, extended from the existing buildings fire alarm system.

5. We have met with representatives of Rust-Oleum, Pleasant Prairie regarding this project. In addition to the protection identified above, an explosion detector, using ultraviolet flame detectors in combination with thermal detectors will be installed in the new 'gas house'. In the event an incipient explosion is sensed, the detectors send a signal causing the suppressant (fine water fog) to be charged.

Rust-Oleum believes this should prevent or minimize the damage from such an explosion. We feel that Rust-Oleum is providing an above adequate level of protection with this system.

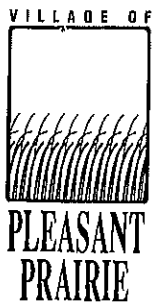
Plan review, Permits and Fees:

The plans for both the fire protection underground and aboveground must be submitted for review. A satisfactory review must be completed before permits will be issued.

Permits must be obtained for all underground mains that are used as part of the fire protection system, in addition to the aboveground sprinkler system. Permits must be obtained from the Fire & Rescue Department, prior to installing the underground fire mains and aboveground sprinkler protection.

The fee for review of the fire protection systems is due after we have reviewed the plans and before we will issue a permit. Work on the fire protection underground or aboveground cannot begin until a permit has been issued.

Fees also apply to the review of the annunciator panel, pull stations as well as smoke and or heat detection.



COPY

**VILLAGE OF PLEASANT PRAIRIE
CONDITIONAL USE GRANT NO. 03-03**

Before the Village of Pleasant Prairie Plan Commission,
Kenosha County, Wisconsin, in regard to the property
located at 8105 95th Street

Return to:
Village of Pleasant Prairie
9915 39th Avenue
Pleasant Prairie, WI 53158

Parcel Number:
92-4-122-212-0355-0

Legal Description:

See Attached for Legal Description

WHEREAS, the Zoning Code and Zoning District Map of the Village of Pleasant Prairie, pursuant to State Statute, provides that the premises may not be used of right for the purpose hereinafter described but that upon petition such use may be approved by the Village of Pleasant Prairie as a Conditional Use in particular circumstances as defined by the standards in the Zoning Ordinance; and

WHEREAS, such petition having been made the installation of thermal oxidizer and the interior relocation of the maintenance shop at Rust-Oleum Corporation as described in **Exhibit 1** located at 8105 95th Street in LakeView Corporate Park, and public hearing held thereon, and the Village Plan Commission having determined that by reason of the particular nature, character and circumstances of the proposed use, and of the specific and contemporary conditions, grant of such use upon the terms and conditions hereinafter prescribed would be consistent with the requirements of the Zoning Ordinance. Specifically, based upon the information presented at the public hearing the project meets the following standards for granting a Conditional Use Permit including Site and Operational Plan for the specified project in that the project:

- does not impede the traffic patterns on the site or cause traffic congestion or traffic circulation problems and the traffic patterns on the site do not hinder, harm or distract the provisions of public services;
- does not impair an adequate supply of light and air to the adjacent properties;
- does not increase danger of fire--in so far as the danger of fire does not exceed the capabilities of the Village Fire and Rescue Department as shown in the **Exhibit 2**—comments dated December 17, 2002 and January 7, 2003;



DOCUMENT NUMBER

1328698

RECORDED

At Kenosha County, Kenosha, WI 53140
Louise I. Principe, Register of Deeds
on 5/20/2003 at 7:59AM
30628464 \$29.00

RESERVED

KARP

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- does not create storm water flooding or drainage, create obnoxious odors, problems or otherwise endanger the public health, safety or welfare;
- has no existing identified hazard, danger, harm, noxiousness, offensiveness, nuisance or other adversity or inconsistency that would endanger the public's health, safety or welfare related to the proposed use;
- the proposed and applied for use on this particular parcel is not inherently inconsistent with either the M-2, Heavy Manufacturing District in which it is located or the adjoining Zoning Districts or the industrial neighborhood; and
- the proposed and applied for use will comply with all applicable Village ordinance requirements and all other applicable Federal, State or local requirements relating to land use, buildings, development control, land division, environmental protection, sewer service, water service, storm water management, streets and highways and fire protection.

NOW THEREFORE, a Conditional Use Permit and including Site and Operational Plan approval is granted, subject to compliance with the terms and conditions hereinafter stated for the installation of thermal oxidizer and the interior relocation of the maintenance shop at Rust-Oleum Corporation on said property:

1. Compliance with the attached Village Fire & Rescue Chief's comments dated December 17, 2002 and January 7, 2003 (See Exhibit 2).
2. Comm 61.31 may require the Building and HVAC plans to be reviewed by the Department of Commerce. Comm 82.20 requires that the Plumbing plans also be reviewed by the Department of Commerce. Verify with the architect whether the plans need Dept. of Commerce review. All Building plans shall be designed in compliance with the Wisconsin Enrolled Commercial Building Code, and may need to be State Approved prior to submitting for building permits from the Village of Pleasant Prairie.
3. Article 700 of the National Electric Code and the Pleasant Prairie Fire & Rescue Department require that the exit and emergency lighting be on easily identifiable local lighting circuit(s), separate circuit(s) or other pre-approved circuit(s), so that when tested will not cause disruption or inconvenience.
4. This building is proposed as being protected by an automatic fire sprinkler system, which shall be reviewed and approved by the Village of Pleasant Prairie Fire & Rescue Department. All work requires Fire & Rescue Department review, approval, inspection and permit. In addition, the selection, location, installation and maintenance, of fire extinguishers, fire suppression and/or detection devices, and/or fire alarms require Fire & Rescue approval. Contact the Chief of the Pleasant Prairie Fire & Rescue Department at 262-694-8027.
5. Although State submittal is unnecessary for Lighting plans, the Village of Pleasant Prairie requires complete Lighting Plans to be submitted with the Electrical Permit application to assure compliance with Comm 63 energy requirements.
6. The owner/contractor shall obtain permits for Building, Plumbing, HVAC and Electrical from the Village prior to beginning work.
7. If the water main is to serve both domestic and fire protection combined, the plans will need Comm approval and Village Fire & Rescue Department approval prior to obtaining permits or commencing work.

8. Per Comm 61.50 (4). The architect(s)/professional engineer(s) shall submit to the State the compliance statement(s) (SBD 9720), covering Building, HVAC and Lighting, prior to the final inspection. A copy of the compliance statement(s) shall be submitted the Village prior to the building being occupied.
9. A copy of the approved plans and letters must be on site during the construction process and to complete the final inspection for occupancy. **Occupancy will not be permitted in absence of these items.**
10. **The installation of a replacement thermal oxidizer shall be considered as a maintenance issue. A commercial electrical permit is required.**
11. **A Commercial application and related materials shall be submitted to the Village for review and issuance of required permits.**
12. For purposes of drawing a building permit, a site and operational plan approval shall be effective for a period of 180 days from the date of written notification of the decision to the applicant. If permits are not issued within said 180 days the Site and Operational Plan approval shall be void.
13. No building permit shall be issued by the Community Development Department until site and operational plan approval has been granted, and until all conditions precedent set forth in the approval have been satisfied, and until the final plans have been fully signed as required. (Note that the Chief of the Village Fire & Rescue Department has review and approval authority with respect to matters relating to fire protection, independent of the Community Development Department, pursuant to Chapter 5 of the Village Municipal Code. In a situation where review of a signage plan and/or landscaping plan has been deferred pursuant to Subsection 12.11-05(g) of the Village Zoning Ordinance no permit relating to signage and/or landscaping, respectively, shall be issued until approval of the deferred plan has been granted, and until all conditions precedent set forth in such approval have been satisfied, and until the final plan has been fully signed as required by Subsection 12.11-05(h), of the Village Zoning Ordinance.
14. No changes to the exterior site or building conditions shall be made without the Village's approval. In addition, any addition, alteration, extension, expansion, repair or other proposed change in the approved operation shall be subject to the Village's Conditional Use procedures as if such use were being established anew.
15. The Conditional Use Grant shall become effective upon the execution and recording of said document and shall constitute an effective covenant running with the land.
16. The Conditional Use Grant is subject to amendment and termination in accordance with the provisions of the Village Zoning Ordinance.
17. Construction and operation of the use granted shall be in strict conformity to the approved plans filed in connection with the petition for this permit. Violations of these conditions may result in the revocation of the conditional use permit or zoning violation prosecution, or both.

Legal Description


Parcel 1 of CSM 1203, a re-division of a part of CSM 482, located in a part of the Northwest One Quarter of U.S. Public Land Survey Section 21 Township 1 North Range 22 East of the Fourth Principal Meridian lying and being in the Village of Pleasant Prairie, County of Kenosha, State of Wisconsin.

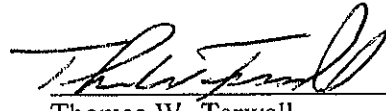
Commencing at the North $\frac{1}{4}$ corner of said Section 21, running thence S $2^{\circ} 49' 19''$ E and along the East line of said $\frac{1}{4}$ section 1303.24 feet to a point in the centerline of 95th Street (C.T.H. "T"); thence S $89^{\circ} 00' 44''$ W and along said centerline, 150.08 feet to the place of beginning of the following description;

Thence S $2^{\circ} 49' 19''$ E and parallel to the East line of said $\frac{1}{4}$ section, 1150.59 feet; thence S $89^{\circ} 00' 44''$ W and parallel to the centerline of 95th Street (C.T.H. "T"), 1135.22 feet; thence N $0^{\circ} 59' 16''$ West and at right angles to the aforesaid line, 1150.00 feet to a point in the centerline of said 95th Street; thence N $89^{\circ} 00' 44''$ E and along the centerline of said 95th Street, 1098.40 feet to the place of beginning.

Granted by the action of the Village of Pleasant Prairie Plan Commission the 10th day of February 2003.

ATTEST:

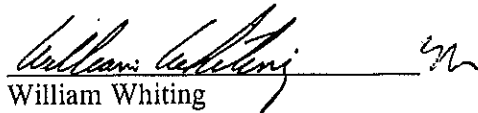

Donald Hackbart
Secretary


Thomas W. Terwall
Plan Commission Chairman

OWNER: Rust-Oleum Corporation



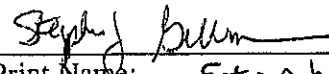



William Whiting
Senior Vice President

ACKNOWLEDGMENT

STATE OF ~~WISCONSIN~~ ILLINOIS
LAKE SS
~~KENOSHA~~ COUNTY)

Personally came before me this 27 day of February, 2003, the above named to me known to be the person (William Whiting, Senior Vice President) who executed the foregoing instrument and acknowledge the same.


Print Name: Stephen Gillmann
Notary Public, ~~Kenosha County, WI~~
My Commission expires: 10-17-06

THIS INSTRUMENT WAS DRAFTED BY:

Jean M. Werbie, Community Development Director
Village of Pleasant Prairie
9915 39th Avenue
Pleasant Prairie, Wisconsin 53158

Item 1: Thermal Oxidizer

Installation of a Thermal Oxidizer on a concrete pad located outside and adjacent to our warehouse building. This new installation replaces our existing volatile organic compound (VOC) emissions control system. Currently, passing our process exhaust ventilation through a carbon adsorption system controls our VOC emissions. This system is in operation and performing its design function. However, it will require major work in the near future to continue performing this function. It is therefore being replaced.

The Wisconsin Department of Natural Resources (WDNR) has been contacted by letter concerning this replacement. Subsequent telephone conversations confirmed that a State Operating or Construction Permit is not required. This system does not reduce our control of VOC emissions. The WDNR requires a twenty business day advance notice prior to performing a VOC destruction efficiency performance test. The test will be performed following installation and functional testing of the oxidizer. The tests are completed in accordance with Environmental Protection Agency test criteria.

No changes to the grading and drainage, exterior plant lighting, signage, or Industrial/Commercial waste survey are involved with this work. The equipment is skid mounted and to be installed on new concrete pad located in the back section of our property. The area is currently asphalt paved. This installation will not be visually unpleasant from any roadway or neighboring industrial properties. The oxidizer creates no odors. The oxidizer converts VOC air pollutants into carbon dioxide and water that become part of the total exhaust air flow from the plant. The natural gas burner and fuel train assemblies incorporate a fully approved gas valve/safety train. No additional employees will be added for operation of the new equipment. No change to the basic operation of the facility is involved.

Item 2: Relocation of the existing maintenance shop.

The maintenance shop will be moved to a more centralized location inside the building. The maintenance office and clean work area is a 20 foot x 40 foot fully sprinkled building within our warehouse. The work shop area also in the warehouse and adjacent to this office will be walled and steel fenced without a roof. All of the changes are located inside of our existing facility and have no effect on site grading and drainage, exterior plant lighting, signage, or Industrial/Commercial waste survey. The functions performed by maintenance will not change. No additional employees will be added as a result of this shop relocation.

The existing maintenance shop area vacated will be used for the production of water based paint products containing no VOCs. Two to three people may be added to our work force to support this operation. No change to our State Operating Permit is required.



Exhibit 2

VILLAGE STAFF MEMORANDUM

TO: Jean Werbie, Community Development Director

FROM: Paul G. Guilbert, Jr., Chief, Fire and Rescue Department

CC: Lt. Thomas Clark, Fire and Rescue Department

SUBJECT: Review of Rust-Oleum Office Addition

DATE: 17 December 2002

The facility is located at NE corner of 116th Street and 88th Avenue. The total square footage will be 250,366 sq. ft.

The Facility is classified under Wisconsin Administrative Code, Wisconsin Enrolled Commercial Building Code

The Fire and Rescue Department will be responsible for providing fire prevention inspections of this facility, twice annually.

The concerns of the Fire and Rescue Department are as follows:

1. The owner states the building will be fully protected by fire sprinklers, in accordance with NFPA 13.
2. **Stairway:** The underside of the stairway shall be protected by fire sprinklers or sealed off to prevent using as a storage space.
3. **Exit Distance:** Exit distance shall be maintained in accordance with current code.



VILLAGE STAFF MEMORANDUM

TO: Jean Werbie, Community Development Director

FROM: Paul G. Guilbert, Jr., Chief, Fire and Rescue Department

CC: Lt. Thomas Clark, Fire and Rescue Department

SUBJECT: Review of Rust-Oleum Thermal Oxidizer Project

DATE: 7 January 2003

The concerns of the Fire and Rescue Department are as follows:

1. **Installation:** The unit must be installed per all applicable codes, and Factory Mutual recommendations.
2. **Safety Devices:** All appropriate safety devices must be in place and tested, i.e. Excess Temperature Limit Controller
3. **Final Inspection:** The General Contractor shall provide the following documentation at the time the Final Inspection takes place and before a building occupancy certificate will be issued.
 - Copies of the test certificates.
 - The Pleasant Prairie Fire and Rescue Department shall have all information needed for our pre-fire plan.
4. **Occupancy:** All fire and life safety requirements must be in place prior start up of this equipment.

Fire and Rescue Department Review and Comments:

4. **Plan Review, Permits and Fees:** The plans for the fire protection underground, aboveground and fire alarm system must be submitted for review. The Village will use an independent fire safety consultant for the review of all fire protection plans submitted. A satisfactory review must be completed before any permits will be issued.
5. **The following Fees and Permits are generated directly from the Fire & Rescue Department.**

**Bulk Water
Water Usage
Fire Protection Plans for Underground and Aboveground
Fire Alarm System Plans
Kitchen Hood System Plans**

6. An invoice for permit fees will be issued upon achieving a satisfactory review. Work cannot begin until all permits have been issued. A typical review turnaround is three weeks.
7. **Required Licenses:** A Wisconsin licensed fire protection contractor and Wisconsin licensed sprinkler fitters must install underground fire mains and aboveground fire protection. Periodic inspections of the job site will be made by fire inspectors to assure compliance.
8. **Fire Extinguishers:** Shall meet NFPA 10 (Portable Fire Extinguishers) for the specific use of the building and be in sufficient number. Final approval, of fire extinguisher locations and quantity, will not be given until occupancy is taken, to see how a tenant furnishes the space. The company providing the fire extinguishers shall submit a letter to the Fire and Rescue Department stating the locations and size of the extinguishers are in compliance with NFPA 10.
9. **Emergency and Exit Lighting:** In addition to required Exit lighting, Emergency Lighting shall be provided. Combination units are acceptable and recommended. Both the Exit and Emergency Lighting shall have battery back-up. Exit and Emergency Lighting shall not be placed on electrical circuits that cannot be disturbed or interrupted, this is for test purposes. These circuits shall be clearly labeled.

10. Final Inspection: The General Contractor shall provide the following documentation at the time the Final Inspection takes place and before a building occupancy certificate will be issued.

- The fire protection contractor shall provide the owner with a letter (upon completion of the sprinkler work) stating the sprinkler system, or portion thereof, is "100% operational and built according to the design", Village Ordinance, 5.16(10).
- Copies of the fire sprinkler operational test certificates.
- The Pleasant Prairie Fire and Rescue Department shall have all information needed for our pre-fire plan prior to occupancy.

11. Occupancy: All fire and life safety requirements must be in place prior to this building being occupied.



Exhibit 8



DOCUMENT

1520438

RECORDED
At Kenosha County, Kenosha, WI 53140
Louise J. Princiolo, Register of Deeds
on 5/11/2007 at 2:15PM
70019977 \$27.00

JOES

REGDEED3

**VILLAGE OF PLEASANT PRAIRIE
CONDITIONAL USE GRANT NO. 07-01**

Before the Village of Pleasant Prairie Plan Commission,
Kenosha County, Wisconsin, in regard to the property
located at 8105 95th Street.

Return to:

Village of Pleasant Prairie
9915 39th Avenue
Pleasant Prairie, WI 53158

Tax Parcel Numbers:

92-4-122-212-0355

27

Legal Description: CSM #1203 located in a part of the Northwest One Quarter of U.S. Public Land Survey Section 21, Township 1 North, Range 22 East of the Fourth Principal Meridian, lying and being the Village of Pleasant Prairie, Kenosha County, Wisconsin.

WHEREAS, the Zoning Code and Zoning District Map of the Village of Pleasant Prairie, pursuant to State Statute, provides that the premises may not be used of right for the purpose hereinafter described but that upon petition such use may be approved by the Village of Pleasant Prairie as a Conditional Use in particular circumstances as defined by the standards in the Zoning Ordinance; and

WHEREAS, such petition having been made for the construction of an addition to the Rust-Oleum facility, and public hearing held thereon, and the Village Plan Commission having determined that by reason of the particular nature, character and circumstances of the proposed use, and of the specific and contemporary conditions, grant of such use upon the terms and conditions hereinafter prescribed would be consistent with the requirements of the Zoning Ordinance. Specifically, based upon the information presented at the public hearing the project meets the following standards for the granting a Conditional Use Permit for the specified project in that the project:

- does not impede the traffic patterns on the site or cause traffic congestion or traffic circulation problems and the traffic patterns on the site do not hinder, harm or distract the provisions of public services;
- does not impair an adequate supply of light and air to the adjacent properties;
- does not increase danger of fire--in so far as the danger of fire does not exceed the capabilities of the Village Fire & Rescue Department as shown in the attached comments dated March 16, 2007 from the Village Fire Chief;
- does not create storm water flooding or drainage, create obnoxious odors, problems or otherwise endanger the public health, safety or welfare;
- has no existing identified hazard, danger, harm, noxiousness, offensiveness, nuisance or other adversity or inconsistency that would endanger the public's health, safety or welfare related to the proposed use;
- the proposed and applied for use on this particular parcel is not inherently inconsistent with either the M-2 - Heavy Manufacturing District in which it is located

- or the surrounding industrially zoned districts and surrounding neighborhood; and
- the proposed and applied for use will comply with all applicable Village ordinance requirements and all other applicable federal, state or local requirements relating to land use, buildings, development control, land division, environmental protection, sewer, water, and storm water services, streets and highways and fire protection.

NOW THEREFORE, a Conditional Use Permit is granted, subject to compliance with the terms and conditions hereinafter stated for the construction of a 3,320 square foot addition to be used for testing new products with proper temperature and humidity controls, and to re-route the emergency access roadway to accommodate the addition:

1. Continued compliance with all previously approved, valid Conditional Use Permits pertaining to this property as on file with the Village.
2. Compliance with the **attached** Village Fire & Rescue Department Chief's comments dated March 16, 2007.
3. **Subject to the following comments from the Village Building Inspector:**
 - a. All building, plumbing, and HVAC plans will need to be designed to the Wisconsin Enrolled Commercial Building Code and be State Approved prior to submitting (2 sets) for building permits from the Village of Pleasant Prairie.
 - b. As of September 1, 2000 Lighting plans are no longer reviewed at the state level. However, the Village will continue to review plans. The Lighting Worksheets L-1 through L-5 are required for municipal level review.
 - c. Comm 52.24 requires that this building be provided with a separate room or designated space within or adjacent to the building for the separation, temporary storage and collection of recyclable materials likely to be generated by the building occupants/ operations.
 - d. Halls, corridors, stairways, passageways, work aisles and other means of egress shall have emergency lighting and exit lighting per Article 700 of the NEC, Comm 16.46, 51.15(5), and 55.11. The Village Fire and Rescue Department should be contacted for further information and requirements. Contact Chief Paul Guilbert at 262-694-8027.
 - e. Complete erosion control measures shall be installed per Wisconsin Construction Site Best Management Practice Handbook and be inspected within 24 hours of any land disturbing activity.
 - f. This parcel and building must comply with all requirements of Comm 69 Barrier-Free Design.
 - g. The architect(s)/ professional engineer(s) shall submit, to the Village and State, the compliance statement, Form SBD 9720, **prior to the final inspection with the Village Buildings and Fire departments.**
 - h. Building plans will need to show detail on fire stopping of all penetrations through fire rated walls and fire separation walls as required by emergency rule that took effect on January 28, 1998.
 - i. Sprinkler plans are required to be submitted to, and reviewed by the Village Fire and Rescue Department.
 - j. Any and all fire alarm installations require plan review and permit from the Village of Pleasant Prairie Fire and Rescue Department.
 - k. This plan was approved by the Village Engineer to discharge the roof storm water to the adjacent surface.

4. No changes shall be made without the Village's approval. In addition, any addition, alteration, extension, expansion or other proposed change in the approved operation shall be subject to the Village's Conditional Use procedures as if such use were being established anew.
5. Construction and operation of the use granted shall be in strict conformity to the approved plans filed in connection with the petition for this permit. Violations of these conditions may result in the revocation of the conditional use permit or zoning violation prosecution, or both.
6. All plans shall conform to applicable Village ordinance requirements, and to all other applicable local, state and federal requirements relating to land use, buildings, development control, land division, environmental protection, sewer service, water service, storm water management, streets and highways and fire protection; and in the event of conflicting requirements or standards, the most restrictive shall apply.
7. No use shall be conducted in such a way as to constitute a public or private nuisance or to violate any of the performance standards set out in Section 12.12 of the Village Zoning Ordinance.
8. All buildings, structures, site improvements and sites shall be maintained in a safe, structurally sound, neat, well-cared-for and attractive condition.
9. The Conditional Use Grant shall become effective upon the execution and recording of said document and shall constitute an effective covenant running with the land. The Conditional Use Grant is subject to amendment and termination in accordance with the provisions of the Village Zoning Ordinance. Construction and operation of the use granted shall be in strict conformity to the approved plans filed in connection with the petition for this permit. Violations of these conditions may result in the revocation of the conditional use permit or zoning violation prosecution, or both.
10. If building permits are not issued within said 180 days the Site and Operational Plan approval said approval shall be void.

Granted by the action of the Village of Pleasant Prairie Plan Commission this 9th day of April 2007.




Thomas W. Terwall
Plan Commission Chairman

ATTEST:



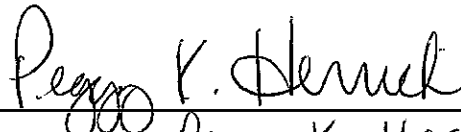
Donald Hackbarth
Secretary

OWNERS: Rust-Oleum Corporation


Herman Bacchus
Title: VICE PRESIDENT

ACKNOWLEDGMENT
STATE OF WISCONSIN)
SS
KENOSHA COUNTY)

Personally came before me this 12th day of April, 2007, the above named signatory to me known to be the person (**Herman Bacchus**) who executed the foregoing instrument and acknowledge the same.



Print Name: Peggy K. Herrick
Notary Public, Kenosha County, State of WI
My Commission expires: 2-7-10

THIS INSTRUMENT WAS DRAFTED BY:
Jean M. Werbie, Community Development Director
Village of Pleasant Prairie
9915 39th Avenue
Pleasant Prairie, Wisconsin 53158

-VILLAGE STAFF MEMORANDUM

TO: Jean Werbie, Community Development Director
FROM: Paul G. Guilbert, Jr., Chief, Fire & Rescue Department
CC: Lt. Thomas Clark, Fire & Rescue Department

SUBJECT: Review of the Site and Operational Plan for an addition to the Rust-Oleum Building, 8105 95th Street.

DATE: March 16, 2007

Rust-Oleum currently manufactures and warehouses paint at the facility identified above. This is a review of the Site and Operational Plan for the proposed addition of 3,320 square feet that be attached to the southeast corner of the existing building. The new area will be used for the further research and development of concrete type coatings. Rust-Oleum has indicated that the existing fire suppression system will be extended to include this addition.

The Facility is classified under Wisconsin Administrative Code, Wisconsin Enrolled Commercial Building Code.

The Fire & Rescue Department will be responsible for providing fire prevention inspections of this facility, twice annually. The concerns of the Fire & Rescue Department are as follows:

1. **Exit distance**, the addition will be to include an existing exterior exit door. **The addition shall not adversely effect the exit requirements of the existing building.**
2. **Fire Lane:** The existing fire lane will be moved slightly to the east, it is proposed that the width will remain as is, 30 feet.
3. **Fire Suppression Systems:** Fire suppression systems applicable to the products being handled within this area, shall be installed. It is proposed that both solid and water based products will be found within this area.
4. **Compliance:** A letter shall be submitted to the Fire & Rescue Department prior to receiving a building permit, stating that the project will comply with all requirements addressed within this document.
5. The building shall be constructed in accordance with the State of Wisconsin, COMM. 61, The IBC as Modified by Chapter COMM 62, The IECC as Modified by Chapter COMM 63, The IMC as Modified by Chapter COMM 64, The IFC as Modified by Chapter COMM 65, and in particular those items that pertain to fire protection and life safety.

- 6. In the event a conflict in code(s) is identified, or a conflict with the insurance carrier criteria occurs, the more stringent shall apply. In the event this conflicts with any codes adopted by the State of Wisconsin, the owner must petition the State directly for a variance. The Owner must demonstrate that they will provide materials or design equivalent to the code or that they will exceed the code when petitioning the State.

Upon review of the plans submitted, we have the following concerns:

- Fire hydrants: Are currently in place and may be affected by the relocation of the fire lane, if this is the case the spacing shall remain as is. Fire hydrants shall always be visible and accessible, in particular in any area where trailer trucks will be parked or staged.
- Truck staging shall not decrease the width of the fire lanes.

7. Fire and Rescue Department Review and Comments:

A. Site and Operational Permits

- | | |
|-------------------------|------------------|
| 1. Site accessibility | Shown |
| 2. Fire hydrant spacing | Not shown |

B. Conditional Use and Operational

- | | |
|--------------------------------|------------------|
| 1. Fire alarm pull stations | Not shown |
| 2. Emergency and Exit Lighting | Not shown |
| 3. Fire extinguishers | Not shown |

- 8. **Plan Review, Permits and Fees:** The plans for the fire protection underground (when applicable), aboveground and fire alarm system shall be submitted for review a minimum of four (4) weeks before installation is scheduled to begin. The Village will use an independent fire safety consultant for the review of all fire protection plans submitted. A satisfactory review must be completed before any permits will be issued and before construction can begin.

9. The following information must be submitted with the sprinkler plans for review:

- Building height:
- Number of stories/floors:
- Mezzanines:
- Clear space:
- Elevators:
- Hazard class:
- Commodity:
- Maximum storage height:

Square footage, office space:
Square footage, Manufacturing including maintenance and equipment:
Square footage, receiving space:
Square footage, shipping space:
Square footage, warehouse space:
Exterior storage:
Fire protection:

10. The following Fees and Permits are generated directly from the Fire & Rescue Department.

- Bulk Water
- Water Usage
- Fire Protection Plans for Underground and Aboveground
- Fire Alarm System Plans
- Kitchen Hood Systems Plans

An invoice for permit fees will be issued upon achieving a satisfactory review. Work cannot begin until all permits have been issued. A typical review turnaround is four weeks.

11. Required Licenses: A Wisconsin licensed fire protection contractor and Wisconsin licensed sprinkler fitters must install underground fire mains and aboveground fire protection. Periodic inspections of the job site will be made by fire inspectors to assure compliance.

12. Pre-Construction Meeting: A pre-construction meeting shall take place with the general contractor, the fire protection contractor, the Fire & Rescue Department and any other sub-contractor prior to the installation of any underground fire protection. The purpose of this meeting is to assure that the requirements of the State of Wisconsin that only a Wisconsin licensed sprinkler fitter shall perform the installation of all devices, etc. All parties will be asked to initial this document and or permit. Any violation of the installing requirements will be reported in writing to the State of Wisconsin Department of Commerce.

13. Site Access: The current fire lane will remain.

- a. All exterior exit pathways as well as access to the Sprinkler Riser Room shall have a hard surface, leading to a hard surface.
- c. All exterior personnel doors shall be exit to a hard surface and continue that pathway to a larger paved surface.

14. Sprinkler System: The addition will be equipped with an "automatic fire

sprinkler system". The systems shall be designed and constructed to the current edition of NFPA 13, Automatic Fire Sprinklers and the Village of Pleasant Prairie Ordinance 180-16, Automatic Fire Sprinklers.

- **Storage:** The Owner must be aware of the restrictions that apply to the storage of pallets, cardboard, finished products, etc. Maximum height, width and aisle ways must be maintained and will be enforced. The same concerns apply to the storage of large quantities of combustibles (plastics, plastic wrap and cardboard) such as those used in packaging and storage.
15. **Plan Review (Underground):** A review of the underground drawings is required along with the fire protection drawings before a permit will be issued by the Fire & Rescue Department. Underground plans shall be submitted a minimum of four (4) weeks before installation begins.
 16. **Fire Hydrants:** Are currently in place and shall remain at the current spacing. The distance from the finished grade line to the lowest discharge shall be no less than 18 inches and no more than 23 inches and of sufficient height where typical snow fall or snow removal operations will not obstruct access.
 17. **Strobe Light:** In the event a new sprinkler riser is constructed, a strobe light shall be provided for that riser and installed vertically above the sprinkler water flow bell. The strobe light shall operate for a sprinkler water flow. The lens color shall be RED. The strobe light shall meet Village specifications as found in section 180-16 K of the Sprinkler Ordinance.
 18. **Fire Alarm System:** The system shall be extended to the new addition and shall include as a minimum pull stations and audiovisual devices.
 - a. **Pull Stations and Audiovisual Alarms:** Shall be installed per ADA requirements.
 - b. **Smoke and Heat Detection:** Shall be installed as required.
 - c. **Tamper Switches:** Tamper switches shall be placed on all sprinkler valves and be identified on the annunciator panel.
 19. **Fire Detection/Suppression:** Systems shall be applicable to the addition.
 20. **Knox Box:** One (1) Knox Box shall be provided for the building. The Knox Box shall be Model 4400. Two sets of all keys (Master, fire alarm pull station, annunciator, elevator, etc.) shall be placed within the box, as well as a copy of the pre-fire plan.
 21. **Fire Extinguishers:** Shall meet NFPA 10 (Portable Fire Extinguishers)

for the specific use of the building and be in sufficient number. Final approval, of fire extinguisher locations and quantity, will not be given until occupancy is taken, to see how a tenant furnishes the space. The company providing the fire extinguishers shall submit a letter to the Fire & Rescue Department stating the locations and size of the extinguishers are in compliance with NFPA 10.

- 22. Emergency and Exit Lighting:** Exit and Emergency Lighting shall be provided and shall have battery backup. Combination units are acceptable and recommended. An Emergency Generator eliminates the need for battery backup. Exit and Emergency Lighting shall not be placed on electrical circuits that cannot be disturbed or interrupted, this is for test purposes. These circuits shall be clearly labeled. The Fire & Rescue Department will evaluate this lighting prior to occupancy during the evening hours after sunset.
- 23. Final Inspection:** The General Contractor shall provide the following documentation at the time the Final Inspection takes place and before a building occupancy certificate will be issued.
- a. A Fire & Rescue Department final occupancy inspection fee will apply to this project.
 - b. The fire protection contractor shall provide the owner with a letter (upon completion of the sprinkler work) stating the sprinkler system, or portion thereof, is "100% operational and built according to the design", Village Ordinance, 180-16 N.
 - c. Copies of the fire protection underground flushing documents, if applicable.
 - d. Copies of the underground and fire sprinkler hydrostatic test certificates.
 - e. Copies of the fire sprinkler operational test certificates.
 - f. Copies of the fire alarm test documents.
 - g. Copies of other test documents such as, hood/duct, smoke, etc...
 - h. All information needed for our pre-fire plan prior to occupancy.
 - i. Provide two- (2) CD's, one for the property owner and one for the Fire & Rescue Department. The disks shall include all Floor plans and fire protection plans for the building in an as-built condition. The disks shall be in AutoCAD rev 14 format.
 - j. Maps of the fire alarm and fire sprinkler system shall be placed in the fire pump room, near the fire alarm control panel, the maps shall be hung on the wall, with a waterproof covering and accessible to firefighters wearing bulky clothes and equipment.
- 24. Occupancy:** All fire and life safety requirements must be in place prior to any building being occupied.



**VILLAGE OF PLEASANT PRAIRIE
CONDITIONAL USE GRANT NO. 12-07**

Before the Village of Pleasant Prairie Plan Commission,
Kenosha County, Wisconsin, in regard to the property
located at 8105 95th Street.



DOCUMENT
1697943

RECORDED
At Kenosha County, Kenosha WI 53140
JoEllyn H. Storz, Register of Deeds
March 25, 2013 2:33 PM
\$38.00
Pages 6

Return to:
Village of Pleasant Prairie
9915 39th Avenue
Pleasant Prairie, WI 53158

Tax Parcel Number:
92-4-122-212-0355

Legal Description: CSM 1203 (document # 803842) located in the Northwest One Quarter of U.S. Land Survey Section 21, Township 1 North, Range 22 East in the Fourth Principal Meridian, lying and being in the Village of Pleasant Prairie, Kenosha County Wisconsin.

WHEREAS, the Zoning Code and Zoning District Map of the Village of Pleasant Prairie, pursuant to State Statute, provides that the premises may not be used of right for the purpose hereinafter described but that upon petition such use may be approved by the Village of Pleasant Prairie as a Conditional Use Grant in particular circumstances as defined by the standards in the Zoning Ordinance; and

WHEREAS, such petition having been made to install a new aerosol spray-paint filling equipment that includes the installation of a 192 square foot pre-fabricated structure that will house the required equipment that adds propellant to the cans outside in the rear of the facility and public hearing held thereon, and the Village Plan Commission having determined that by reason of the particular nature, character and circumstances of the proposed use, and of the specific and contemporary conditions, that the grant of such use upon the terms and conditions hereinafter prescribed would be consistent with the requirements of the Zoning Ordinance. Specifically, based upon the information presented at the public hearing, and in particular the memorandum from the Village Fire & Rescue Department, the project meets the following standards for granting a Conditional Use Permit in that the project/use:

- The project does not impede the traffic patterns on the site or cause traffic congestion or traffic circulation problems and the traffic patterns on the site do not hinder, harm or distract the provisions of public services.
- The project does not impair an adequate supply of light and air to the adjacent properties.
- The project does not increase danger of fire.
- The project does not create storm water flooding or drainage, create obnoxious odors, problems or otherwise endanger the public health, safety or welfare.
- There are no existing identified hazard, danger, harm, noxiousness, offensiveness, nuisance or other adversity or inconsistency that would endanger the public's health, safety or welfare related to the proposed use.

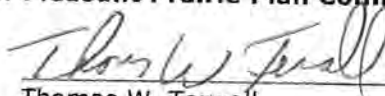
- The proposed and applied for use on this particular parcel is not inherently inconsistent with the Manufacturing Districts in which it is located or the adjoining zoning districts and land uses.

NOW THEREFORE, a Conditional Use Permit is granted, subject to compliance with the terms and conditions hereinafter stated to install a new aerosol spray-paint filling equipment which includes the installation of a 192 square foot pre-fabricated structure that will house the required equipment that adds propellant to the cans outside in the rear of the facility located on said property.


1. Continued compliance with all previously approved, valid Conditional Use Permits pertaining to this property recorded at the Kenosha County Register of Deeds Office.
2. Compliance with the **attached** Village Fire & Rescue Department Chief's comments dated October 3, 2012.
3. Compliance with the existing Wisconsin Department of Natural Resources Air Quality Permit.
4. The following the Village Building Inspector comments:
 - a. All building, plumbing, lighting and HVAC plans will need to be designed to the IBC Codes, prior to submitting (4 sets) for building permits from the Village of Pleasant Prairie. Since the total cubic footage of the accessory structure is less than 100,000 cubic ft. this can be a Municipal review. All sub-contractors will be required to apply for permits.
 - b. Halls, corridors, stairways, passageways, work aisles and other means of egress from factories, offices and mercantile buildings shall have emergency lighting and exit lighting per Article 700 of the NEC, SPS 316.46. The Village Fire & Rescue Department must be contacted for further information and requirements. Contact Fire & Rescue Chief Doug McElmury at 262-694-8027.
 - c. The electrical contractor will be required to be licensed by the Village of Pleasant Prairie. The electrical contractor shall obtain a permit from the Village prior to beginning work. All contractors must be licensed or registered with the State of Wisconsin.
 - d. Any sprinkler plans and any fire alarm installations are required to be submitted to, and reviewed by the Village Fire & Rescue Department.
 - e. The architect(s)/ professional engineer(s) shall submit, to the Village and State, the compliance statement, Form SBD 9720, prior to the final inspection with the Village Building Inspection and Fire & Rescue Departments.
5. Construction and operation of the use granted shall be in strict conformity to the approved plans filed in connection with the petition for this permit. Violations of these conditions may result in the revocation of the conditional use permit or zoning violation prosecution, or both.
6. The property owner shall comply with all provisions of the Conditional Use Permit and Site & Operational Plan submittal, including compliance with the Village Performance Standards.
7. Operation of the use granted herein shall be in strict conformity to both plans and documents filed and approved in connection with the petition for Site and Operational Plan approval. Any violation of these conditions may result in the revocation of the approval or zoning violation prosecution, or both.

- 8. No use shall be conducted in such a way as to constitute a public or private nuisance or to violate any of the performance standards set out in Section 420-38 of the Village Zoning Ordinance.
- 9. All plans and the proposed and applied for use shall conform to applicable Village Ordinance requirements, and to all other applicable local, County, State and Federal requirements relating to land use, buildings, development control, land division, environmental protection, sewer service, water service, storm water management, noise, streets and highways and fire protection; and in the event of conflicting requirements or standards, the most restrictive shall apply.
- 10. This Conditional Use Grant shall become effective upon the execution and recording of said document and shall constitute an effective covenant running with the land.
- 11. The Conditional Use Grant is subject to amendment and termination in accordance with the provisions of the Village General Zoning and Floodplain/Shoreland Zoning Ordinance.

Granted by the action of the Village of Pleasant Prairie Plan Commission the 8th day of October 2012.


 Thomas W. Terwall
 Plan Commission Chairman

ATTEST:


 Donald Hackbart
 Secretary

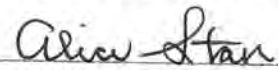
OWNER: RUST-OLEUM CORPORATION


 Bill Whiting
 Executive Vice President

ACKNOWLEDGMENT

STATE OF ILLINOIS
 SS
LAKE COUNTY)

This instrument was acknowledged before me in VERNON HILLS (city) 3
ILLINOIS (state), on this 7 day of FEBRUARY, 2012 by **Bill Whiting, Executive Vice President on behalf of Rust-Oleum Corporation.**


 Print Name: ALICE STARR
 Notary Public, LAKE County, LAKE COUNTY
 My Commission Expires: OCT. 3, 2015 IL.

THIS INSTRUMENT WAS DRAFTED BY:

Jean M. Werbie-Harris
 Community Development Director
 Village of Pleasant Prairie
 9915 39th Avenue
 Pleasant Prairie, Wisconsin 53158





Page 4
Office of the Village
Fire & Rescue Chief
Doug McElmury

VILLAGE STAFF MEMORANDUM

TO: Jean Werbie-Harris, Community Development Director
FROM: Doug McElmury, Chief Fire & Rescue Department
CC: Lt. Thomas Clark, Fire & Rescue Department
Peggy Herrick, Assistant Planner, Community Development
SUBJECT: Review of the Site and Operational Plan for the Rust-Oleum Spray Paint Filling Addition
DATE: October 3, 2012

This is a review of the Site and Operational Plan to install an aerosol spray paint filling room. The proposed addition is 192 square feet. The building is located at 8105 95th Street.

The Fire & Rescue Department will be responsible for providing fire prevention inspections of this facility, twice annually. The concerns of the Fire & Rescue Department are as follows:

1. **Distribution of Comments:** *the person who obtains the building permit to all Contractors and Subcontractors affected by this document shall distribute Copies of these comments. This document outlines critical times and deadlines. All recipients of this document need to become familiar with the contents.*
2. **Compliance:** A letter shall be submitted to the Fire & Rescue Department prior to receiving a building permit, stating that the project will comply with all requirements addressed within this document.
3. In the event a conflict in code(s) is identified, or a conflict with the insurance carrier criteria occurs, the more stringent shall apply. In the event this conflicts with any codes adopted by the State of Wisconsin, the owner must petition the State directly for a variance. The Owner must demonstrate that they will provide materials or design equivalent to the code or that they will exceed the code when petitioning the State and or Village when applicable.

Upon review of the plans submitted, we have the following concerns:

- This is a review of the Final Site and Operational plan, however, it is understood, that typical and customary fire protection features have not been shown on the plans, dated: September 6, 2012.
- Fire safety system plans, such as fire sprinkler and fire alarm plans, may need to be submitted to the State of Wisconsin Department of Safety and Professional Services and also to this fire department for review. No installation of any fire protection system is allowed until a satisfactory review is obtained from both departments.

The Fire & Rescue Department will be responsible for providing fire prevention inspections of this facility, twice annually. The concerns of the Fire & Rescue Department are as follows:

4. **Fire Suppression Systems:** Fire suppression systems applicable to the products being handled within this area, shall be installed.
5. **Plan Review, Permits and Fees:** The plans for the fire protection aboveground and fire alarm system shall be submitted for review a minimum of four (4) weeks before installation is scheduled to begin. The Village will use an independent fire safety consultant for the review of all fire protection plans submitted. A satisfactory review must be completed before any permits will be issued and before construction can begin.
6. **The following information must be submitted with the sprinkler plans for review:**
 - Building height:
 - Hazard class:
 - Commodity:
 - Fire protection:
7. **Sprinkler System:** The addition will be equipped with an "automatic fire sprinkler system". The systems shall be designed and constructed to the current edition of NFPA 13, Automatic Fire Sprinklers and the Village of Pleasant Prairie Ordinance 180-16, Automatic Fire Sprinklers.
 - **Storage:** The Owner must be aware of the restrictions that apply to the storage of pallets, cardboard, finished products, etc. Maximum height, width and aisle ways must be maintained and will be enforced.
8. **Fire Alarm System:** The system shall be extended to the new addition and shall include as a minimum pull stations and audiovisual devices.
 - a. **Pull Stations and Audiovisual Alarms:** Shall be installed per ADA requirements.
 - b. **Smoke and Heat Detection:** Shall be installed as required.
 - c. **Tamper Switches:** Tamper switches shall be placed on all sprinkler valves and be identified on the annunciator panel.
9. **Fire Detection/Suppression:** Systems shall be applicable to the addition.

10. **Fire Extinguishers:** Shall meet NFPA 10 (Portable Fire Extinguishers) for the specific use of the building and be in sufficient number. Final approval, of fire extinguisher locations and quantity, will not be given until occupancy is taken, to see how a tenant furnishes the space. The company providing the fire extinguishers shall submit a letter to the Fire & Rescue Department stating the locations and size of the extinguishers are in compliance with NFPA 10.
11. **Emergency and Exit Lighting:** Exit and Emergency Lighting shall be provided and shall have battery backup. Combination units are acceptable and recommended. An Emergency Generator eliminates the need for battery backup. Exit and Emergency Lighting shall not be placed on electrical circuits that cannot be disturbed or interrupted, this is for test purposes. These circuits shall be clearly labeled. The Fire & Rescue Department will evaluate this lighting prior to occupancy during the evening hours after sunset.
12. **Final Inspection:** The General Contractor shall provide the following documentation at the time the Final Inspection takes place and before a building occupancy certificate will be issued.
 - a. The fire protection contractor shall provide the owner with a letter (upon completion of the sprinkler work) stating the sprinkler system, or portion thereof, is "100% operational and built according to the design", Village Ordinance, 180-16 N.
 - b. Copies of the fire sprinkler hydrostatic test certificates.
 - c. Copies of the fire sprinkler operational test certificates.
 - d. Copies of the fire alarm test documents.
 - e. Copies of other test documents such as, hood/duct, smoke, etc...
 - f. The Pleasant Prairie Fire and Rescue Department shall have all information needed for our pre-fire plan prior to occupancy.
 - g. Provide two- (2) CD's, one for the property owner and one for the Fire & Rescue Department. The disks shall include all Floor plans and fire protection plans for the building in an as-built condition.
 - h. Occupancy inspection fee and re-inspection fee will be assessed at the final inspection in accordance with ordinance 180-17.
13. **Occupancy:** All fire and life safety requirements must be in place prior to any building being occupied.

- C. **PUBLIC HEARING AND CONSIDERATION OF A CONDITIONAL USE PERMIT** for the request of Wolf Korndoerfer, agent for Korndoerfer Homes, Inc., owner, to use the single family house located at 9966 Cooper Road in the Village Green Heights Addition #1 Subdivision as a model home.

Recommendation:

Village staff recommends that the Plan Commission approve the **Conditional Use Permit** subject to the attached comments and conditions of the Village Staff Report of September 9, 2013.

VILLAGE STAFF REPORT OF SEPTEMBER 9, 2013

CONSIDERATION OF A CONDITIONAL USE PERMIT for the request of Wolf Korndoerfer, agent for Korndoerfer Homes, Inc., owner, to use the single family house located at 9966 Cooper Road in the Village Green Heights Addition #1 Subdivision as a model home.

PUBLIC HEARING COMMENTS:

As a part of the hearing record, the Village staff has compiled a listing of findings, exhibits and conclusions regarding the petitioner's request as presented and described below:

Findings of Fact

1. The petitioner is requesting a **Conditional Use Permit** for Korndoerfer Homes, Inc., to use the house located at 9966 Cooper Road as a model home. (**Exhibit A**). The subject property is known as Lot 159 in the Village Green Heights Addition #1 Subdivision, located in a part of the Southwest One Quarter of U.S. Public Land Survey Section 23, Township 1 North, Range 22 East in the Village and further identified as Tax Parcel Number 92-4-122-233-0659.
2. The single-family lots within the Village Green Heights Subdivision are zoned R-4, Urban Single Family Residential District. Pursuant to Section 420-108 C (1) (b) of the Village Zoning Ordinance, model single-family homes and related temporary real estate sales offices or marketing centers are allowed in the R-4 District with the approval of a Conditional Use Permit issued by the Plan Commission.
3. On April 23, 2013 the Village issued the required zoning, building and erosion control permits (Permit No. 13-04-002) for the construction of a 3,581 square foot single-family dwelling. A verbal to occupy the house as a model home was issued by the Village on August 21, 2013. In addition, the property shall be completely landscaped and the driveway shall be paved by prior use of the home as a model home/sales center.
4. Pursuant to Section 420-148 (67) of the Village Zoning Ordinance, the Model Home and Sales Center may be located in a new development for a period not to exceed two (2) years from the date of occupancy and the Plan Commission may set specific time frames for which the model home and marketing center can be open.
5. The petitioner is proposing to have the model home open during the following hours: Monday through Friday from noon to 5:00 p.m., Saturday and Sunday from 11:00 a.m. to 3:00 p.m. or by appointment.
6. Parking shall be provided on the driveway and is allowed on Cooper Road adjacent to the lot. Vehicular parking shall not block any driveways or fire hydrants and shall not be allowed on the street during a snow emergency or hinder traffic visibility.
7. The conditions for approval of a model home, including the Village Zoning Ordinance Conditional Use Permit standard conditions pursuant to Section 420-148 (67), are set forth in the staff recommended conditions of approval as identified in this Village Staff memorandum.
8. Notices were sent to adjacent property owners via regular mail on August 22, 2013 and the required notice was published in the Kenosha News on August 26 and September 2, 2013.
9. The petitioner was emailed a copy of this Plan Commission Memorandum on September 6, 2013.
10. According to Article XVIII of the Village's Zoning Ordinance, the Plan Commission shall not approve a Conditional Use Permit unless they find after viewing the findings

of fact, the application and related materials and information presented at the public hearing that the project as planned, will not violate the intent and purpose of all Village Ordinances and meets the minimum standards for granting of a Conditional Use Permit.

Village Staff Conclusions and Recommendation:

The Village staff has determined that based upon the foregoing information presented in the application and at the public hearing that the project meets the following standards for granting of a Conditional Use Permit in that the project:

- does not impede the traffic patterns on the site or cause traffic congestion or traffic circulation problems and the traffic patterns on the site do not hinder, harm or distract the provisions of public services;
- does not impair an adequate supply of light and air to the adjacent properties;
- does not increase danger of fire;
- does not create storm water flooding or drainage, create obnoxious odors, problems or otherwise endanger the public health, safety or welfare;
- has no existing identified hazard, danger, harm, noxiousness, offensiveness, nuisance or other adversity or **inconsistency that would endanger the public's health, safety or welfare** related to the proposed use;
- the proposed and applied for use on this particular parcel is not inherently inconsistent with either the R-4, Urban Single Family Residential District in which it is located or the adjoining residential neighborhood; and
- the proposed and applied for use will comply with all applicable Village ordinance requirements and all other applicable federal, state or local requirements relating to land use, buildings, development control, land division, environmental protection, sewer and water services, storm water management, streets and highways and fire protection.

Based on the foregoing information, the Village staff recommends that if the Plan Commission determines that the petitioner has met the specific standards for granting of a Conditional Use Permit as specified above; then approval of the Conditional Use Permit to use the house as a model home shall be approved subject to the following conditions:

1. **The property shall be completely landscaped and the driveway shall be paved by prior use of the home as a model home/sales center.**
2. The garage shall not be converted for use as a showroom or sales office.
3. The petitioner is responsible to ensure that any brochures or informational marketing materials used to market the model home that are distributed on-site do not blow onto adjacent properties. All litter or debris generated at the site shall be picked up at the end of every business day.
4. Proper exterior maintenance of the property shall be provided, such as but not limited to lawn and yard maintenance and snow removal.
5. Said model home shall be handicapped accessible and meet all ADA requirements.
6. Parking shall be provided on the driveway and is allowed on Cooper Road adjacent to the lot. Vehicular parking shall not block any driveways or fire hydrants and shall not be allowed on the street during a snow emergency or hinder traffic visibility.

7. The model home may operate from this location for a period not to exceed two (2) years from August 21, 2013 (the date of **the inspection for the Building Inspector's verbal approval to occupy the house**), or until the house is sold, whichever comes first.
8. The petitioner is proposing to have the model home open during the following hours: Monday through Friday from noon to 5:00 p.m., Saturday and Sunday from 11:00 a.m. to 3:00 p.m. or by appointment.
9. The model home shall **not** be used as living quarters pursuant to the Conditional Use Permit.
10. Prior to any model home sign being installed, the property owner shall obtain the required sign permit. (*A sign application has been submitted and will be issued upon approval of the Conditional Use Permit and execution of the required Conditional Use Grant Document.*)
11. **The model home site shall not display any streamers, banners, triangle flags, pennants, strings of pennants, pinwheels, etc., at any time on the property. No off-lot directional, marketing or off-premise advertizing signage is allowed during the week or on the weekends. Violation of this requirement may result in immediate revocation of this conditional use permit.**
12. All plans shall conform to applicable Village ordinance requirements, and to all other applicable local, State and Federal requirements relating to land use, buildings, development control, land division, environmental protection, sewer service, water service, storm water management, noise, streets and highways and fire protection; and in the event of conflicting requirements or standards, the most restrictive shall apply.
13. No use on site shall be conducted in such a way as to constitute a public or private nuisance or to violate any of the performance standards set out in Section 420-38 of the Village Zoning Ordinance.
14. No changes to the exterior site or house conditions shall be made without the **Village's approval. In addition, any addition, alteration, extension, expansion, repair** or other proposed change in the approved model home operation shall be subject to **the Village's Conditional Use procedures as if such** use were being established anew.
15. Upon approval of the Conditional Use Permit the property owner shall sign the Conditional Use Grant Document and the document shall be recorded at the Kenosha County Register of Deeds office.
16. The Conditional Use Grant shall become effective upon the execution and recording of the document and shall constitute an effective covenant running with the land. The Conditional Use Grant is subject to amendment and termination in accordance with the provisions of the Village Zoning Ordinance. Construction and operation of the use granted shall be in strict conformity to the approved plans filed in connection with the petition for this permit. Violations of these conditions may result in the revocation of the Conditional Use Permit(s) or zoning violation prosecution, or both.
17. The Conditional Use Grant is subject to amendment and termination in accordance with the provisions of the Village Zoning Ordinance.



Filed 8/15 2013 Published 8/26 2013
Public Hearing 9/9 2013 9/2 2013
Fee Paid 8/15 2013 Approved _____ 20____
Notices Mailed 8/22 2013 Denied: _____ 20____

**VILLAGE OF PLEASANT PRAIRIE
CONDITIONAL USE PERMIT**

(Use this application only if a Site and Operational Plan approval is not required.)

To: Village Plan Commission and Village Board of Trustees of the Village of Pleasant Prairie:

I, (We), the undersigned owner(s)/agent do hereby petition the Village Plan Commission for a Conditional Use Permit as hereinafter requested.

It is petitioned that the following Conditional Use Permit be approved: A SALES CENTER /
MODEL HOME

on the property located at: 9966 COOPER RD and is legally described as follows
(address)

as follows: LOT 159 VILLAGE GREEN HEIGHTS ADDITION NO. 1 in
SW 1/4 SECTION 23-1-22

Tax Parcel Number(s): 92-4-122-233-0659

The proposed use for this property is: RESIDENTIAL HOME SALES / Model Home

Current zoning of the property: RESIDENTIAL

Proposed zoning of the property: _____

I (We), have contacted the Community Development Department to arrange a pre-application meeting to discuss the proposed request with the Village staff to determine additional information that may be needed to consider the request.

I, (We), hereby certify that all the above statements and attachments submitted herewith are true and correct to the best of my knowledge.

PROPERTY OWNER:

Print Name: WOLF KORNDORFER

Signature: [Signature]

Address: 7900 DURAND AVE. #10
STURTEVANT WI 53177
(City) (State) (Zip)

Phone: 262-884-9550

Fax: 262-884-9433

Date: _____

OWNER'S AGENT:

Print Name: KORNDORFER HOMES

Signature: [Signature]

Address: 7900 DURAND AVE. #10
STURTEVANT WI 53177
(City) (State) (Zip)

Phone: 262-884-9550

Fax: 262-884-9433

Date: _____

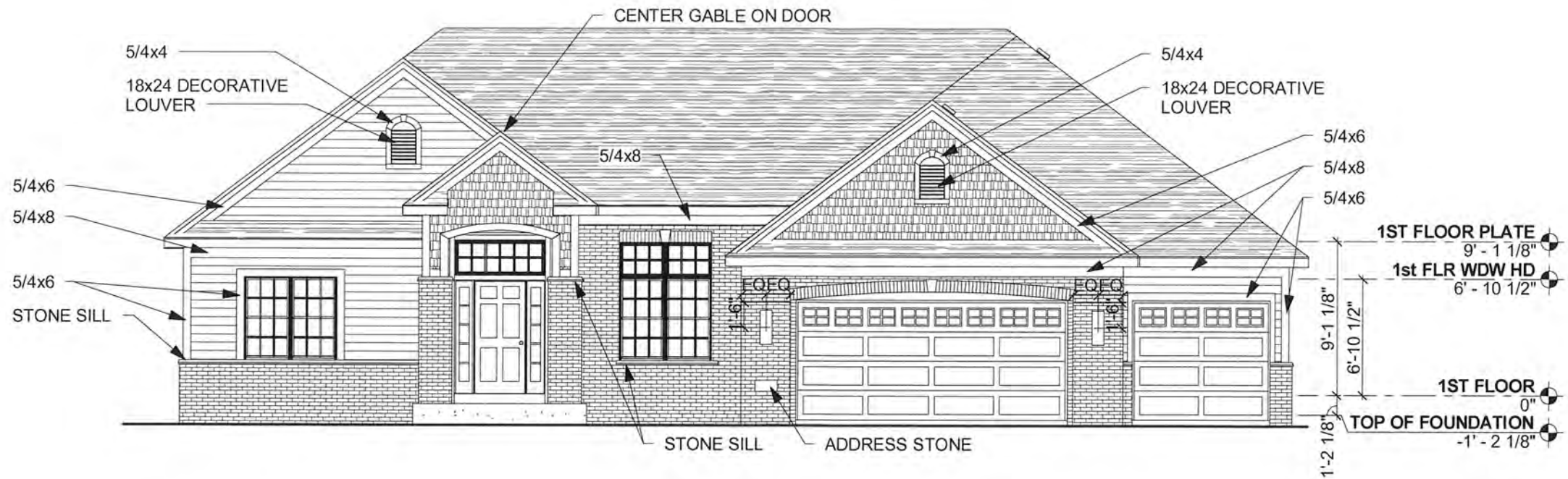
MODEL HOME

WATERFORD

KORNDORFER
HOMES

WWW.KORNDORFER.INFO

(262) 898-2688



1 Front View - Elev. C
1/8" = 1'-0"

© COPYRIGHT
2013 KORNDORFER HOMES



2 Left View - Elev. C
1/8" = 1'-0"

F

DRAWN BY: MN
DATE: 03/14/2013, 03/22/2013,
03/25/2013, 04/12/2013,
04/23/2013
PRINT DATE: 4/24/2013 10:23:34 AM

7900 DURAND AVE
BUILDING 10
STURTEVANT, WI 53177
PH. 262.884.9550
FAX 262.884.9433

KORNDORFER HOMES
WWW.KORNDORFER.INFO

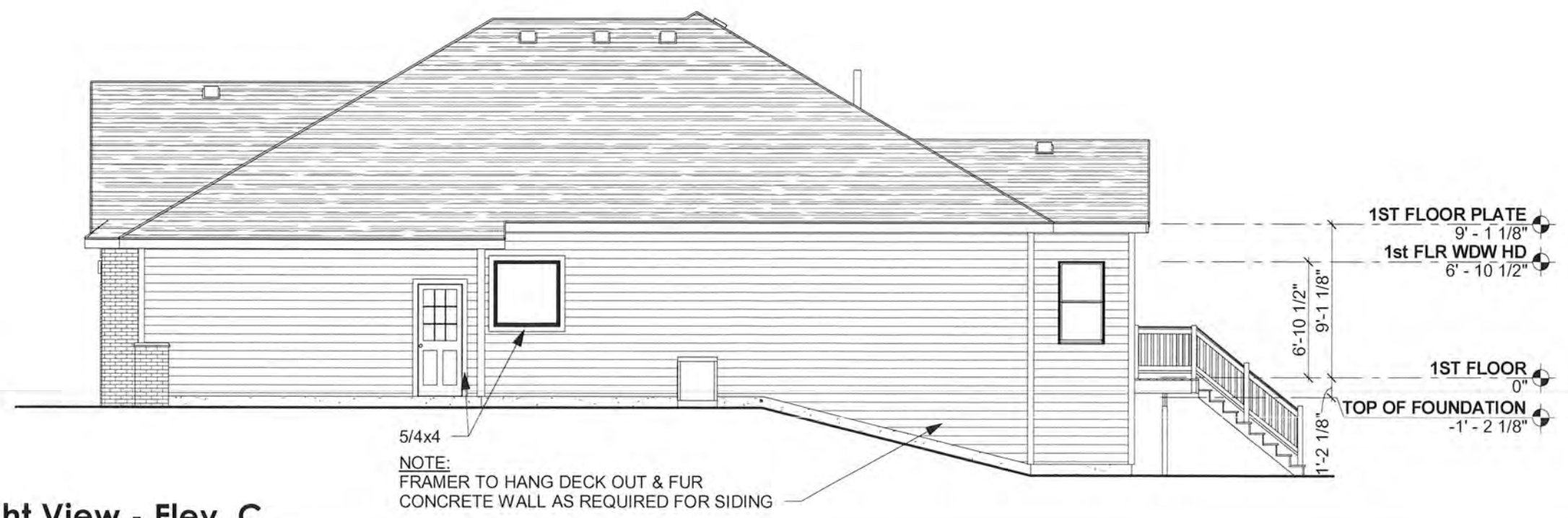
CLASSIC COLLECTION
PLAN TYPE: WATERFORD
© COPYRIGHT 2013
KORNDORFER HOMES

2013 WATERFORD MODEL
LOT 159
VILLAGE GREEN HEIGHTS

1.1



1 Rear View - Elev. C
1/8" = 1'-0"



2 Right View - Elev. C
1/8" = 1'-0"

F

DRAWN BY: MN
DATE: 03/14/2013, 03/22/2013, 03/25/2013, 04/12/2013, 04/23/2013
PRINT DATE: 4/24/2013 10:23:36 AM

7900 DURAND AVE
BUILDING 10
STURTEVANT, WI 53177
PH. 262.864.9550
FAX 262.864.9433

KORNDORFER HOMES
WWW.KORNDORFER.INFO

CLASSIC COLLECTION
PLAN WATERFORD
TYPE: © COPYRIGHT 2013
KORNDORFER HOMES

2013 WATERFORD MODEL
LOT 159
VILLAGE GREEN HEIGHTS

1.2

**THESE ITEMS ARE RELATED AND WILL BE DISCUSSED AT THE SAME TIME
HOWEVER SEPARATE ACTION IS REQUIRED.**

- D. **PUBLIC HEARING AND CONSIDERATION OF PLAN COMMISSION RESOLUTION #13-08 FOR THE FOLLOWING AMENDMENTS TO THE VILLAGE COMPREHENSIVE PLAN** for the request of Jonah Hetland of Bear Development, representing the owner of the vacant property generally located at northwest corner of STH 50 and 91st Avenue: 1) to amend a portion of the Village of Pleasant Prairie 2035 Comprehensive Land Use Plan Map 9.9 to remove the Urban Reserve Designation from a 5,312 square foot portion of Lot 19 of the Westfield Subdivision that is being added to Lot 20 of the Westfield Heights Subdivision located at the northwest corner of STH 50 and 91st Avenue (the underlying community commercial land use designation will remain) for the proposed development of Goddard School and 2) to update Appendix 10-3 of the Village of Pleasant Prairie Wisconsin, 2035 Comprehensive Plan to include said amendment.

Recommendation: Village staff recommends approval of **Plan Commission Resolution #13-08** to approve amendments to the Comprehensive Plan as outlined in said Resolution.

- E. **PUBLIC HEARING AND CONSIDERATION OF A ZONING MAP AND TEXT AMENDMENT** for the request of Jonah Hetland of Bear Development, representing the owner of the vacant property generally located at northwest corner of STH 50 and 91st Avenue to rezone the 5,312 square foot portion of Lot 19 of the Westfield Subdivision that is being added to Lot 20 of the Westfield Heights property from B-2 (UHO) Community Business District with an Urban Landholding Overlay District to B-2 (PUD), Community Business District with a Planned Unit Development Overlay District and to amend the legal description of the Westfield Heights Commercial Area Planned Unit Development to include a 5,312 square foot portion of Lot 19 of the Westfield Subdivision that is being added to Lot 20 of the Westfield Heights. These amendments are being requested so that all the improvements associated with the proposed Goddard School development on Lot 20 will be located entirely within the lot area being acquired for the developed for Goddard School.

Recommendation: Village staff recommends that the Plan Commission send a favorable recommendation to the Village Board to approve the **Zoning Map and Text Amendments** as presented in the Village Staff Report of September 9, 2013.

VILLAGE STAFF REPORT OF SEPTEMBER 9, 2013

CONSIDERATION OF PLAN COMMISSION RESOLUTION #13-08 FOR THE FOLLOWING AMENDMENTS TO THE VILLAGE COMPREHENSIVE PLAN

for the request of Jonah Hetland of Bear Development, representing the owner of the vacant property generally located at northwest corner of STH 50 and 91st Avenue: 1) to amend a portion of the Village of Pleasant Prairie 2035 Comprehensive Land Use Plan Map 9.9 to remove the Urban Reserve Designation from a 5,312 square foot portion of Lot 19 of the Westfield Subdivision that is being added to Lot 20 of the Westfield Heights Subdivision located at the northwest corner of STH 50 and 91st Avenue (the underlying community commercial land use designation will remain) for the proposed development of Goddard School and 2) to update Appendix 10-3 of the Village of Pleasant Prairie Wisconsin, 2035 Comprehensive Plan to include said amendment.

CONSIDERATION OF A ZONING MAP AND TEXT AMENDMENT for the request of Jonah Hetland of Bear Development, representing the owner of the vacant property generally located at northwest corner of STH 50 and 91st Avenue to rezone the 5,312 square foot portion of Lot 19 of the Westfield Subdivision that is being added to Lot 20 of the Westfield Heights property from B-2 (UHO) Community Business District with an Urban Landholding Overlay District to B-2 (PUD), Community Business District with a Planned Unit Development Overlay District and to amend the legal description of the Westfield Heights Commercial Area Planned Unit Development to include a 5,312 square foot portion of Lot 19 of the Westfield Subdivision that is being added to Lot 20 of the Westfield Heights. These amendments are being requested so that all the improvements associated with the proposed Goddard School development on Lot 20 will be located entirely within the lot area being acquired for the developed for Goddard School.

THESE ITEMS ARE RELATED AND WILL BE DISCUSSED AT THE SAME TIME HOWEVER SEPARATE ACTION IS REQUIRED.

On August 5, 2013 the Village Board approved the petitioners request to amend the lot lines between Lots 19 and 20 of the Westfield Heights Subdivision. Specifically, 5,312 square feet of land is being adjusted and added to Lot 20 from Lot 19. After the Adjustment Lot 19 will be 109,212 square feet (2.507 acres) and Lot 20 will be 56,784 square feet (1.304 acres). The Lot Line Adjustment was requested so that all the improvements associated with the Goddard School development on Lot 20 as conditionally approved by the Plan Commission on April 22, 2013 will be located entirely within a lot area to be owned by the developer of Goddard School.

As a result of amending the property boundaries, the Comprehensive Land Use Map will need to be amended to remove the urban reserve area for the area being added to Lot 20, the Zoning Map will need to be amended to rezone the area being added to Lot 20 from the B-2 (UHO) to the B-2 (PUD), and the Zoning Text will need to be amended to modify the PUD for Goddard School to correct the legal description for the property.

Specifically, the Comprehensive Land Use Plan Amendments include:

- to amend a portion of the Village of Pleasant Prairie 2035 Comprehensive Land Use Plan Map 9.9 to remove the Urban Reserve Designation from a 5,312 square foot portion of land being added to Lot 20 of the Westfield Heights (the underlying community commercial land use designation will remain) and

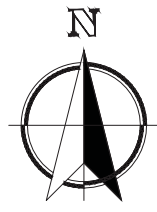
- to update Appendix 10-3 of the Village of Pleasant Prairie Wisconsin, 2035 Comprehensive Plan to include said amendment.

Specifically the Zoning Map and Text Amendments include:

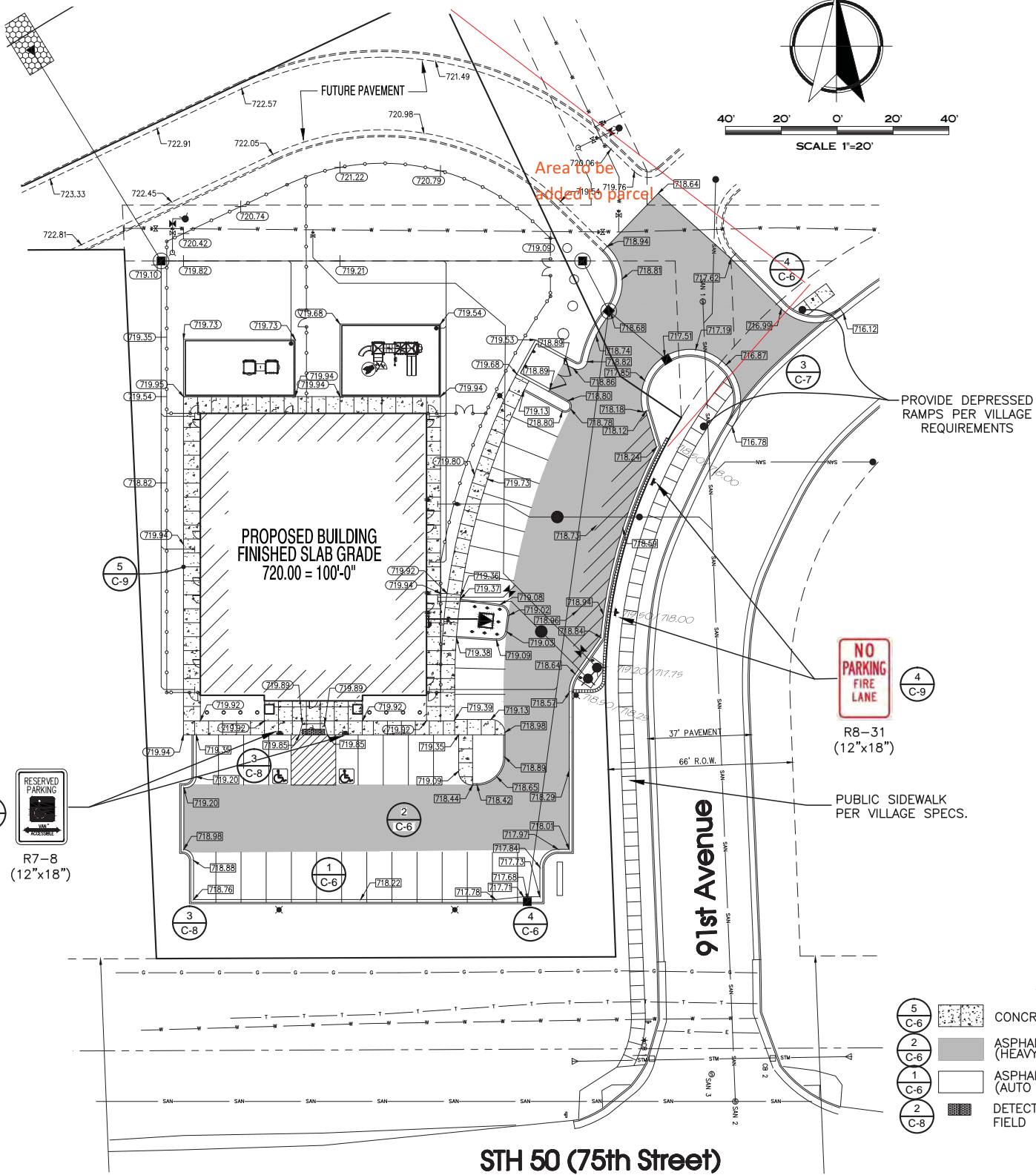
- to rezone the 5,312 square foot portion of land being added to Lot 20 of the Westfield Subdivision from B-2 (UHO) Community Business District with an Urban Landholding Overlay District to B-2 (PUD), Community Business District with a Planned Unit Development Overlay District and
- to amend the legal description of the Westfield Heights Commercial Area Planned Unit Development to revise the legal description to include 5,312 square foot portion that is being added to Lot 20 of the Westfield Heights.

Recommendation for Item D: Village staff recommends approval of **Plan Commission Resolution #13-08** to approve amendments to the Comprehensive Plan as outlined in said Resolution.

Recommendation for Item E: Village staff recommends that the Plan Commission send a favorable recommendation to the Village Board to approve the **Zoning Map and Text Amendments** as presented.



40' 20' 0' 20' 40'
SCALE 1"=20'







PROVIDE DEPRESSED RAMP PER VILLAGE REQUIREMENTS

NO PARKING FIRE LANE

R8-31 (12"x18")

PUBLIC SIDEWALK PER VILLAGE SPECS.

PAVEMENT

-  5 C-6 CONCRETE SIDEWALK
-  2 C-6 ASPHALT PAVEMENT (HEAVY DUTY)
-  1 C-6 ASPHALT PAVEMENT (AUTO PARKING)
-  2 C-8 DETECTABLE WARNING FIELD

STH 50 (75th Street)

A drawing and description of Lot 19, in Westfield Heights, a recorded subdivision, being part the Southwest 1/4 of the Southeast 1/4 of Section 5, Township 1 North, Range 22 East of the Fourth Principal Meridian; lying and being in the Village of Pleasant Prairie, Kenosha County, Wisconsin, EXCEPTING THEREFROM: Begin at the Southwest corner of said Lot 19 on the Northerly right-of-way of 91st Avenue and a point on a curve of Northwesterly convexity whose radius is 183.00 feet and whose chord bears N40°17'56"E 55.35 feet; thence Northeasterly 55.56 feet along the arc of said curve and said right-of-way; thence N48°49'28"W 159.26 feet to the Easterly line of said Lot 20; thence S25°12'19"E 146.17 feet along said Easterly line; thence S55°50'21"E 26.38 feet along said Easterly line to said Northerly right-of-way and the point of beginning.

A drawing and description of all of Lot 20 and part of Lot 19, in Westfield Heights, a recorded subdivision, being part the Southwest 1/4 of the Southeast 1/4 of Section 5, Township 1 North, Range 22 East of the Fourth Principal Meridian; lying and being in the Village of Pleasant Prairie, Kenosha County, Wisconsin, that portion of said Lot 19 described as follows: Begin at the Southwest corner of said Lot 19 on the Northerly right-of-way of 91st Avenue and a point on a curve of Northwesterly convexity whose radius is 183.00 feet and whose chord bears N40°17'56"E 55.35 feet; thence Northeasterly 55.56 feet along the arc of said curve and said right-of-way; thence N48°49'28"W 159.26 feet to the Easterly line of said Lot 20; thence S25°12'19"E 146.17 feet along said Easterly line; thence S55°50'21"E 26.38 feet along said Easterly line to said Northerly right-of-way and the point of beginning.

Certificate

The above-described drawing and description has been prepared under my direction and the map hereon drawn is a correct representation thereof to the best of my knowledge and belief.

07/16/2013 *James E. Robinson*



This drawing and description for the lot lines to be adjusted is hereby submitted to and approved by the Village Board of the Village of Pleasant Prairie as being in compliance with the Village Land Division and Development Control Ordinance on this _____ day of _____, 2013.

Plan Commission
Chairman _____
Thomas W. Terwall

Village
President _____
John P. Steinbrink

Village Clerk _____
Jane M. Romanowski



Nielsen Madsen & Barber S.C.
Civil Engineers and Land Surveyors

1458 Horizon Blvd. Suite 200, Racine, Wisconsin 53406
Phone (262) 634-5588 * Facsimile (262) 634-5024 * Website nmbasc.net

NOTES

BEARING BASE: GRID NORTH, WISCONSIN COORDINATE SYSTEM, SOUTH ZONE. BASED UPON NAD 1927.

Scale: 1" = 80'
Drawn By: SCB
DATE: 7-16-2013
2007.0137.03
Quit Claim Exhibit
LOTS 19 AND 20
WESTFIELD HEIGHTS
Pleasant Prairie,
Kenosha, Wisconsin

**VILLAGE OF PLEASANT PRAIRIE PLAN COMMISSION
RESOLUTION #13-08
TO AMEND THE VILLAGE OF PLEASANT PRAIRIE, WISCONSIN
2035 COMPREHENSIVE PLAN**

WHEREAS, on December 19, 2009 the Village Board adopted the *Village of Pleasant Prairie, Wisconsin 2035 Comprehensive Plan* (Comprehensive Plan); and

WHEREAS, on May 6, 2013, the Village Board approved Ordinance #13-11 to amend the Village of Pleasant Prairie 2035 Comprehensive Land Use Plan Map 9.9 to remove the Urban Reserve designation on Lot 20 of the Westfield Heights Subdivision (Tax Parcel Number 91-4-122-054-0320) and to update Appendix 10-3 of the Village of Pleasant Prairie Wisconsin, 2035 Comprehensive Plan to include said amendment to Map 9.9; and

WHEREAS, the petitioner has requested and the Village Board approved a Lot Line Adjustment to add 5,312 square feet of land from the adjacent lot (Lot 19 of Westfield Heights Subdivision) so that all of the proposed development including shared access to adjacent properties be located on the same site; and

WHEREAS, the 5,312 square feet added to Lot 20 is identified in the Village 2035 Comprehensive Land Use Plan within the Community Commercial land use designation with an Urban Reserve Overlay. The Urban Reserve Overlay designation indicates there is an urban landholding overlay zoning designation on the property since there has been no development plans approved by the Village for this property; and

WHEREAS, as a result of the Lot Line Adjustment, the 5,312 square feet added to Lot 20 the Village Comprehensive Land Use Plan is proposed to be amended to remove this portion from the Urban Reserve land use designation; and

WHEREAS, on August 9, 2013 the required 30-day notice was published in the Kenosha News for the September 9, 2013 public hearing held by the Village Plan Commission and on August 9, 2013 notices were sent to property owners within 300 feet of the proposed amendment.

NOW THEREFORE, BE IT RESOLVED, that pursuant to Sections 62.23 (3) (b) and 66.1001 (4) (b) of the Wisconsin Statutes, the Village of Pleasant Prairie Plan Commission hereby approves the following amendments to the Village of Pleasant Prairie, Wisconsin 2035 Comprehensive Plan:

1. To amend the Village of Pleasant Prairie 2035 Comprehensive Land Use Plan Map 9.9 to remove the Urban Reserve designation for the 5,312 square foot area of Lot 19 of the Westfield Heights Subdivision as legally described below:

Part of Lot 19 of the Westfield Heights Subdivision being part the Southwest 1/4 of the Southeast 1/4 of Section 5, Township 1 North, Range 22 East of the Fourth Principal Meridian; lying and being in the Village of Pleasant Prairie, Kenosha County, Wisconsin, that portion of said Lot 19 described as follows: Begin at the Southwest corner of said Lot 19 on the Northerly right-of-way of 91st Avenue and a point on a curve of Northwesterly convexity whose radius is 183.00 feet and whose chord bears N40°17'56"E 55.35 feet; thence Northeasterly 55.56 feet along the arc of said curve and said right-of-way; thence N48°49'28"W 159.26 feet to the Easterly line of said Lot 20; thence S25°12'19"E 146.17 feet along said Easterly line; thence S55°50'21"E 26.38 feet along said Easterly line to said Northerly right-of-way and the point of beginning.

2. To update Appendix 10-3 of the Village of Pleasant Prairie Wisconsin, 2035 Comprehensive Plan to include said amendment to Map 9.9.

BE IT FURTHER RESOLVED that the Plan Commission does hereby recommend that the Village Board enact the Ordinance adopting the amendment, as referenced above, to the *Village of Pleasant Prairie 2035 Comprehensive Plan*.

Adopted this 9th day of September 2013.

ATTEST:

VILLAGE OF PLEASANT PRAIRIE

Donald Hackbarth
Secretary

Thomas W. Terwall
Plan Commission Chairman

Date Posted: _____

08-Comp Plan Amendments--Goddard School lot area amendments.doc

ORD. # 13-

**ORDINANCE TO AMEND THE OFFICIAL ZONING MAP
OF THE VILLAGE OF PLEASANT PRAIRIE,
KENOSHA COUNTY, WISCONSIN
PURSUANT TO CHAPTER 420-13 OF THE VILLAGE ZONING ORDINANCE**

**BE IT ORDAINED by the Village of Pleasant Prairie Board of Trustees,
Kenosha County, Wisconsin, that the Official Village Zoning Map is hereby amended
as follows:**

The subject property generally located at the northwest corner of STH 50 and 91st Street as legally described on **Exhibit 1** and known as a 5,312 square foot portion of Lot 19 of Westfield Heights Subdivision located in U.S. Public Land Survey Section 5, Township 1 North, Range 22 East in the Village of Pleasant Prairie and further identified as a portion of Tax Parcel Number 91-4-122-054-0319 and the adjacent portion of the right-of-way are hereby rezoned from the B-2 (UHO), Community Business District with an Urban Landholding Overlay District to the B-2 (PUD), Community Business District with a Planned Unit Development Overlay District.

The Village Zoning Administrator is hereby directed to record this Zoning Map Amendment on the appropriate sheet of the Official Village Zoning Map and Appendix B in Chapter 420 of the Village Municipal Code shall be updated to include said amendments.

Adopted this ____ day of _____, 2013.

VILLAGE BOARD OF TRUSTEES

John P. Steinbrink
Village President

ATTEST:

Jane M. Romanowski
Village Clerk

Posted: _____

___-Goddard School PUD lot line amend .doc

EXHIBIT 1

Part of Lot 19 of the Westfield Heights Subdivision being part the Southwest 1/4 of the Southeast 1/4 of Section 5, Township 1 North, Range 22 East of the Fourth Principal Meridian; lying and being in the Village of Pleasant Prairie, Kenosha County, Wisconsin, that portion of said Lot 19 described as follows: Begin at the Southwest corner of said Lot 19 on the Northerly right-of-way of 91st Avenue and a point on a curve of Northwesterly convexity whose radius is 183.00 feet and whose chord bears N40°17'56"E 55.35 feet; thence Northeasterly 55.56 feet along the arc of said curve and said right-of-way; thence N48°49'28"W 159.26 feet to the Easterly line of said Lot 20; thence S25°12'19"E 146.17 feet along said Easterly line; thence S55°50'21"E 26.38 feet along said Easterly line to said Northerly right-of-way and the point of beginning.

ORDINANCE # 13-

**ORDINANCE TO AMEND THE WESTFIELD HEIGHTS COMMERCIAL AREA
PLANNED UNIT DEVELOPMENT
PURSUANT TO SECTION 420-137 OF THE VILLAGE ZONING ORDINANCE
IN THE VILLAGE OF PLEASANT PRAIRIE,
KENOSHA COUNTY, WISCONSIN**

BE IT ORDAINED by the Village Board of Trustees of the Village of Pleasant Prairie, Kenosha County, Wisconsin, that the Section b of the Westfield Heights Commercial Area Planned Unit Development (PUD) Ordinance is hereby amended to read as follows:

- b. Legal Description: The property(ies) included are known as Lot 20 of the Westfield Heights Subdivision as recorded at the Kenosha County Register of Deeds Office Document No. 1469350 located in U.S. Public Land Survey Section 5, Township 1 North, Range 22 East of the Fourth Principal meridian lying and being in the Village of Pleasant Prairie and part of Lot 19 of the Westfield Heights Subdivision, described as follows: Begin at the Southwest corner of said Lot 19 on the Northerly right-of-way of 91st Avenue and a point on a curve of Northwesterly convexity whose radius is 183.00 feet and whose chord bears N40°17'56"E 55.35 feet; thence Northeasterly 55.56 feet along the arc of said curve and said right-of-way; thence N48°49'28"W 159.26 feet to the Easterly line of said Lot 20; thence S25°12'19"E 146.17 feet along said Easterly line; thence S55°50'21"E 26.38 feet along said Easterly line to said Northerly right-of-way and the point of beginning. The above legally described property(ies) are hereinafter referred to as the "DEVELOPMENT".

Adopted this ____ day of _____, 2013.

VILLAGE OF PLEASANT PRAIRIE

ATTEST:

John P. Steinbrink
Village President

Jane M. Romanowski
Village Clerk

Posted: _____

____ - Westfield Heights Commercial PUD-Legal Description Amendment.doc

**THESE ITEMS ARE RELATED AND WILL BE DISCUSSED AT THE SAME TIME
HOWEVER SEPARATE ACTION IS REQUIRED.**

- F. **PUBLIC HEARING AND CONSIDERATION OF A ZONING TEXT AMENDMENT** for the request of Darcy Kennelly Rutzen, agent on behalf of Prime Outlets of Pleasant Prairie, LLC d/b/a Pleasant Prairie Premium Outlets located at 11211 120th Avenue and 11601 108th Street to create Section d. 14. related to specific modifications to the Village of Pleasant Prairie Zoning Ordinance for Pleasant Prairie Premium Outlets as specified in Chapter 420 Attachment 3 Appendix C Specific Development Plan 13 for Pleasant Prairie Premium Outlets Planned Unit Development No. 2. The amendment will allow for a super charging station for electric vehicles to operate 24 hours a day with approval of Site and Operational Plans by the Plan Commission.

Recommendation: Village staff recommends that the Plan Commission send a favorable recommendation to the Village Board to approve the **Zoning Text Amendment** as presented in the Village Staff Report of September 9, 2013.

- G. Consideration of the request of Darcy Kennelly Rutzen, agent on behalf of Prime Outlets of Pleasant Prairie, LLC d/b/a Pleasant Prairie Premium Outlets located at 11211 120th Avenue and 11601 108th Street for approval of **Site and Operational Plans** for a super charging station for electric vehicles to operate 24 hours a day in the parking lot of the Outlet Center.

Recommendation: Village staff recommends that the Plan Commission approve the **Site and Operational Plans** subject to the comments and conditions of the Village Staff Report of September 9, 2013.

VILLAGE STAFF REPORT OF SEPTEMBER 9, 2013

CONSIDERATION OF A ZONING TEXT AMENDMENT for the request of Darcy Kennelly Rutzen, agent on behalf of Prime Outlets of Pleasant Prairie, LLC d/b/a Pleasant Prairie Premium Outlets located at 11211 120th Avenue and 11601 108th Street to create Section d. 14. related to specific modifications to the Village of Pleasant Prairie Zoning Ordinance for Pleasant Prairie Premium Outlets as specified in Chapter 420 Attachment 3 Appendix C Specific Development Plan 13 for Pleasant Prairie Premium Outlets Planned Unit Development No. 2. The amendment will allow for a super charging station for electric vehicles to operate 24 hours a day with approval of Site and Operational Plans by the Plan Commission.

Consideration of the request of Darcy Kennelly Rutzen, agent on behalf of Prime Outlets of Pleasant Prairie, LLC d/b/a Pleasant Prairie Premium Outlets located at 11211 120th Avenue and 11601 108th Street for approval of **Site and Operational Plans** for a super charging station for electric vehicles to operate 24 hours a day in the parking lot of the Outlet Center.

THESE ITEMS ARE RELATED AND WILL BE DISCUSSED AT THE SAME TIME HOWEVER SEPARATE ACTION IS REQUIRED.

Tesla Motors, Inc. (Tesla) is proposing to install a Supercharging Station for electric vehicles in the parking lot of the Pleasant Prairie Premium Outlets located at 11211 120th Avenue and 11601 108th Street.

Tesla is a U.S. based company that designs and manufactures the world's leading electric vehicles. Tesla has delivered more than 10,000 electric vehicles to customers in 31 countries. Pursuant to the application, as part of its mission to further the adoption of electric vehicles, Tesla has initiated the deployment of a fast-charging solution called the Supercharger. These Supercharger stations are proposed to be located along popular and well-travelled routes to provide a fast and convenient network for Tesla customers to charge their vehicles and complete long road trips. These stations are able to recharge 50% battery capacity in as little as 20 minutes and a full charge in less than an hour.

Due to the fact that the proposed charging station is proposed wholly within the existing Premium Outlets mall parking lot (only 8 spaces are being utilized), and because the equipment will be fully screened from view by an attractive fenced enclosure, there will be little to no adverse impacts on neighboring properties. A proposed retaining wall and landscaping further minimize visual impact of the charging station. The site design takes advantage of existing landscaping, and provides a new retaining wall and additional landscaping for added screening.

Tesla's equipment for the proposed charging station will be contained within 1,525 square feet of the site generally located in the parking lot west of the NIKE store near the southeast corner of 108th Street and 120th Avenue (East Frontage Road) and will consist of the following:

- Eight (8) parking spaces, each equipped with a charging post
- Four (4) supercharger cabinets
- One (1) 45KVA transformer
- One (1) 150A Auxiliary 208/120 VAC Distribution Panel
- One (1) QED switchgear assembly located within a fenced-in enclosure near the charging stations
- One (1) 750KVA utility transformer on an 8'-0" x 8'-0" concrete pad

The proposed charging station will be available to motorists 24 hours a day and seven (7) days a week.

There are no employees that will monitor the site as it is a self-service station. The proposed charging station is WI-FI enabled and reports any maintenance issues. Their landlord partner, Premium Outlets, will also **monitor the station's well-being**. The fencing around the equipment protects against vandalism, and the charging cabinets are tamper-proof. Additional security cameras monitored by the Premium Outlets will also be installed and maintained by the Village. The cost associated with the installation, inspection, maintenance and monitoring will be charged by the Village to Premium Outlets.

Tesla, along with Premium Outlets will maintain the charging station and site improvements in a safe, structurally sound, neat, well-cared for, and attractive condition. As noted above, both the WI-FI and the landlord partner (Premium Outlets) will monitor the site.

Pursuant to the application, Tesla believes that the proposed charging station will have a positive effect within the Village, encouraging cleaner energy consumption. As stated above, Tesla has delivered more than 10,000 electric vehicles to customers in 31 countries. These Supercharger stations will be located along popular and well-travelled routes to provide a fast and convenient network for Tesla customers to charge their vehicles and complete long road trips. The station will bring more visitors to the Village, who will likely shop and dine in the area.

Tesla will contact the WI DOT to discuss obtaining/leasing EV charging station signage on IH-94.

ZONING TEXT AMENDMENT: In order to allow the TESLA charging station to operate 24-hours a day, the existing Planned Unit Development (PUD) for Pleasant Prairie Premium Outlets, as specified in Chapter 420 Attachment 3 Appendix C Specific Development Plan 13 for Pleasant Prairie Premium Outlets Planned Unit Development No. 2 is proposed to be amended. Specifically, Section d. 14. related to specific modifications to the Village of Pleasant Prairie Zoning Ordinance is proposed to be amended to read:

14. Section 420-120 K (1) related to hours of Operation is hereby amended to read as follows:

Hours of operation (when the public is allowed to enter or remain on site for business purposes): 5:00 a.m. to 11:00 p.m. maximum; for uses requiring a Village liquor license: as provided in § 125.68(4), Wis. Stats; and for a super charging station for electric vehicles which is allowed to operate within the parking lot area of the DEVELOPMENT 24 hours a day with approval of Site and Operational Plans by the Plan Commission.

Recommendation for Item F: Village staff recommends that the Plan Commission send a favorable recommendation to the Village Board to approve the Zoning Text Amendment as presented.

Recommendation for Item G: Village staff recommends that the Plan Commission approve the **Site and Operational Plans** subject to the above comments and the following conditions:

1. Village Board approval of the Zoning Text Amendment to amend the Pleasant Prairie Premium Outlets Planned Unit Development No. 2 to allow for 24 hour operation of the super charging station. (To be considered by the Village Board on September 16, 2013.)

2. The plans have been reviewed for conformance with the Village Ordinances and generally accepted engineering practices and Village policies. Although the data has been reviewed, the design engineer is responsible for the thoroughness and accuracy of plans and supplemental data and for their compliance with all State and local codes, ordinances, and procedures. Modifications to the plans may be required should errors or changed conditions be found at a future date. **The following changes shall be made to the Site and Operational Plans. Three (3) revised plans along with notations explaining how each of the items below has been addressed shall be submitted for final staff review and approval prior to issuance of the required permit:**
- a. The electrical equipment is proposed to be enclosed by a retaining wall and wooden fencing painted white. The fence or wall enclosure shall be constructed of a maintenance-free, paint-free, durable material, such as composite-type fence or a decorative stone not wood. The colors shall compliment with the Premium Outlet colors—not white. Details shall be shown on the plans and sample colors and materials shall be provided for Village approval. Permits shall be obtained prior to the installation for the fence and the retaining wall.
 - b. It appears that the electrical equipment will be cut into the existing berm – the site must be secured.
 - c. The plans shall show the existing 12-inch water main and 12-inch sanitary sewer located within the same landscape area as the proposed station. The sanitary and water main is located within a 30-foot utility easement based on the construction plans. The charging station shall be located outside of this easement. A utility reference map is **attached** showing the general locations of the sanitary sewer and water main. Show the location of the existing easements and utilities on the plans.
 - d. Show the existing right-of-way boundary along the north and south sides of 108th Street along the work corridor.
 - e. Provide existing and proposed topographic contours at 1-foot intervals on the plan within the work area.
 - f. Show the detailed grading proposed around the transformer pad to create a level surface, since the pad is located on the berm.
 - g. Dimension the height from the top of the concrete pad to the top of cabinet, switchgear assembly, and fence on the site elevation sheet. Also, label the height of the typical charging station on the site elevation sheet and station detail.
 - h. The plan shall show existing utilities, right-of-way boundaries, and easements within the work area and along the proposed 4-inch conduit alignment to the **existing vault. Also, place a note on the plans to “Contact Village Engineering Technician, Steve Wlahovich, at 262-925-6767 prior to boring to schedule inspections”**.
 - i. Clarify the retaining wall height and how it matches to existing grade(s) around the facility. Are parts of the outside wall exposed along the sides? There should be a decorative façade on any outside exposed concrete? Is the **“proposed aggregate surfacing material”** in the detail the concrete pad?

- j. A Village Sign Permit is required for any new signage on the site. A WI DOT Sign Permit is required for a Wayfinding Sign along 120th Avenue or 108th Street (WI DOT East Frontage Road).
 - k. Pursuant to Section 420-48 B. (1), 90 degree parking spaces shall measure a minimum of **9' x 18'**. **The Plan indicates 10' x 17'-4" parking spaces** (According to the plans, the existing Premium Outlets parking spaces **measure 8'-6" x 17'-4"**). Are the parking spaces being enlarged?
 - l. Install a permanent trash receptacle, complementary in materials and colors, near the charging station—show detail on the plans. Indicate what entity will be responsible for the emptying of the trash container. Premium Outlets will be responsible for trash pickup.
 - m. Install required ADA parking signage for the handicapped-accessible charging space. Sign post shall be decorative post with finial. Show details on the plans.
 - n. Stabilize all disturbed turf areas with grass seed or sod. Note on the plans.
 - o. Installation of additional security cameras to monitor the charging station and the entrance area as determined by the Village is required. Additional costs shall be charged by the Village to Premium Outlets for the installation, inspection and maintenance of the new cameras. Contact the Village Technical Services Manager, Ryan Marquart at (262) 948-8915. Note on the plans.
3. Pursuant to the Village Fire & Rescue Department:
- a. The charging station must comply with NFPA 70 (National Electrical Code) Article 625.
 - b. Provide training in emergency response to charging station emergencies.
4. The electrical cabinet detail B notes that the equipment is not Listed, instead it is field listed at the installation. This is acceptable provided the equipment complies with NFPA 70 Article 625 and the 2011 NEC Article 625.5 as per definitions in Article 100. In addition, written verification shall be provided to the Village from a licensed electrical engineer. Is the charging station detail A Listed? If not, then the same requirements apply.
5. The following are comments from the Village Building Inspection Department related to permits required after approval of the Site and Operational Plans by the Plan Commission:
- a. The Village of Pleasant Prairie and State of Wisconsin follow the currently follow the 2008 NEC.
 - b. Based on the current plans submitted, the Charging Station will only require a Commercial Electrical permit from the building inspection department (additional permits may be required if the plans change). A zoning permit is required for a fence or any signs.
 - c. Access shall be maintained for emergency service to the equipment fence, i.e. **daisy chain the contractor's gate lock with the Village's Fire and Rescue gate lock.**
 - d. A commercial electrical permit is required to be obtained by a State of Wisconsin licensed Electrical Contractor.

- e. An electrical inspection for service, underground, rough-in and final inspection shall be scheduled with the Village.
 - f. All requirements of the Wisconsin state electrical code, volume 2, chapter Comm 16 shall be complied with.
6. **Upon approval of the revised Site and Operational Plans, and prior to the issuance of the required permits an electronic pdf of the Site and Operational Plans shall be submitted.**





General Comments:

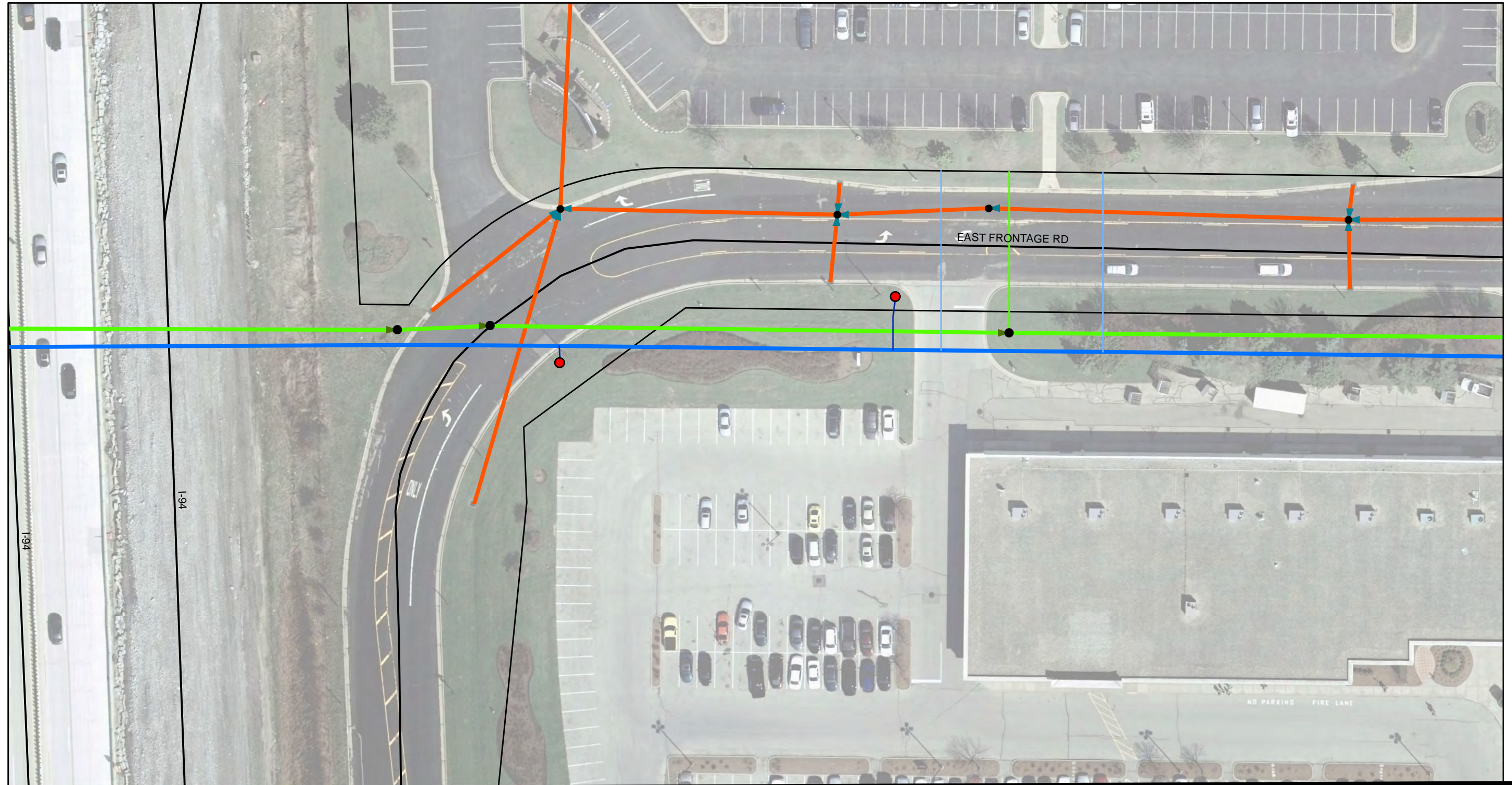
- 1. Prior to work commencing on the site, all required permits shall be issued by the Village, a pre-construction conference shall be held at the job site. The pre-construction conference shall be scheduled and moderated by the Design Engineer/Project Manager. Contact Village Assistant Engineer, Matt Fineour at (262) 925-6778 to coordinate.
- 2. The hours of construction activity, operating heavy machinery or equipment associated with the grading, erosion control device installation, and overall site development shall be limited to Monday through Friday from 7:00 a.m. to 9:00 p.m. and Saturday and Sunday from 8:00 a.m. to 6:00 p.m.
- 3. There shall be no construction parking permitted on 108th Street and 120th Avenue (East Frontage Road). On-site (off-street) parking shall be designed to accommodate all construction related workers and site visitors.
- 4. The Village shall approve of the location of all construction trailers parked on the site during construction activities. No construction trailers shall be parked in any rights-of-way. All construction related signage shall be approved and permitted by the Village.
- 5. There shall be no outside banners, strings of pennants, flags, inflatable devices or streamers affixed or attached to the building(s), light poles, ground or landscaping, etc. on the site.
- 6. The Premium Outlets/Tesla shall comply with all provisions of the Site & Operational Plan approvals, including compliance with the Village Performance Standards.
- 7. **At no time shall the site be used to sell or advertise any vehicles that are "for sale".**
- 8. No vehicular parking will be permitted in driveways, maneuvering lanes, fire lanes or on landscaped areas.
- 9. The site area shall be used for any parking (neither overnight nor during the day) of junked/inoperable/dismantled/unlicensed vehicles. All junked/inoperable/dismantled/ unlicensed vehicles that are parked overnight will be issued citations.
- 10. No use shall be conducted in such a way as to constitute a public or private nuisance or to violate any of the performance standards set out in Section 420-38 of the Village Zoning Ordinance.
- 11. All required landscaping, retaining walls, fencing, signage and other site work shall be installed prior to occupancy. A written letter of verification and certification shall be provided to the Village Community Development Department by the Project Designer that all landscaping, retaining walls, fencing, signage and other site work has been installed in accordance with the approved Village plans prior to the issuance of a certificate of compliance/occupancy.

12. This site work and development shall be in compliance with the Ordinance, the Village Municipal and Zoning Codes, the Village Construction Site Maintenance and Erosion Control Ordinance and the State of Wisconsin Statutes.
13. All Village fees incurred by the Village Engineer, Village Inspectors and/or expert Assistants required by the Village throughout the development process will be billed directly to the Developer. Such fees shall be paid in a timely manner.
14. All Village fees incurred by the Village Community Development Department and/or expert Assistants required by the Village throughout the development process will be billed directly to the Developer. Such fees shall be paid in a timely manner.

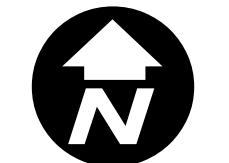
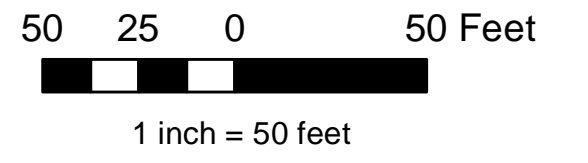


VILLAGE OF PLEASANT PRAIRIE UTILITY REFERENCE MAP

	Water
	Sanitary
	Storm
	Force Main



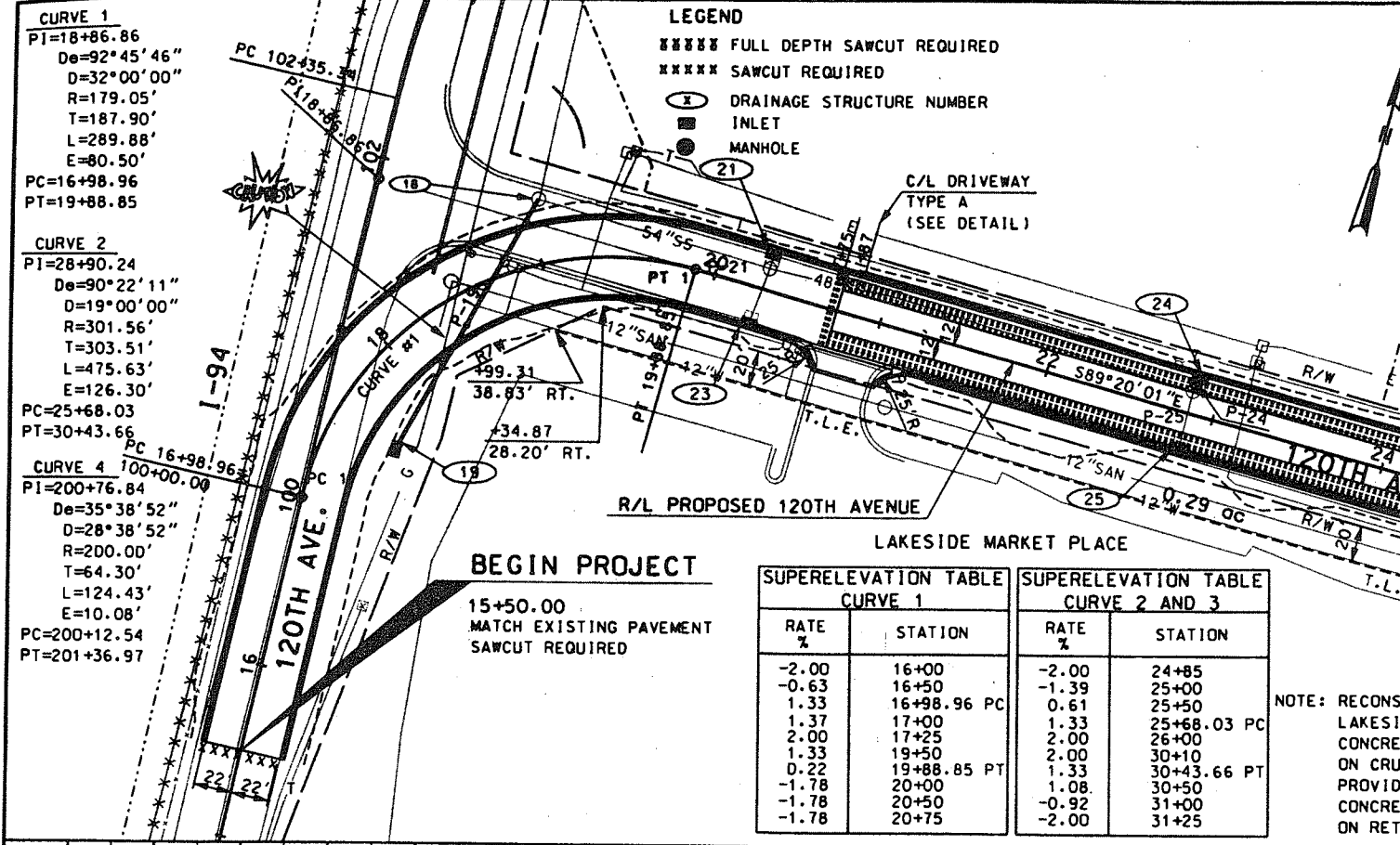
PREPARED BY: VOPP ENGINEERING
DATE: 8/15/13



VILLAGE OF PLEASANT PRAIRIE
9915 39TH AVENUE
PLEASANT PRAIRIE, WI 53158

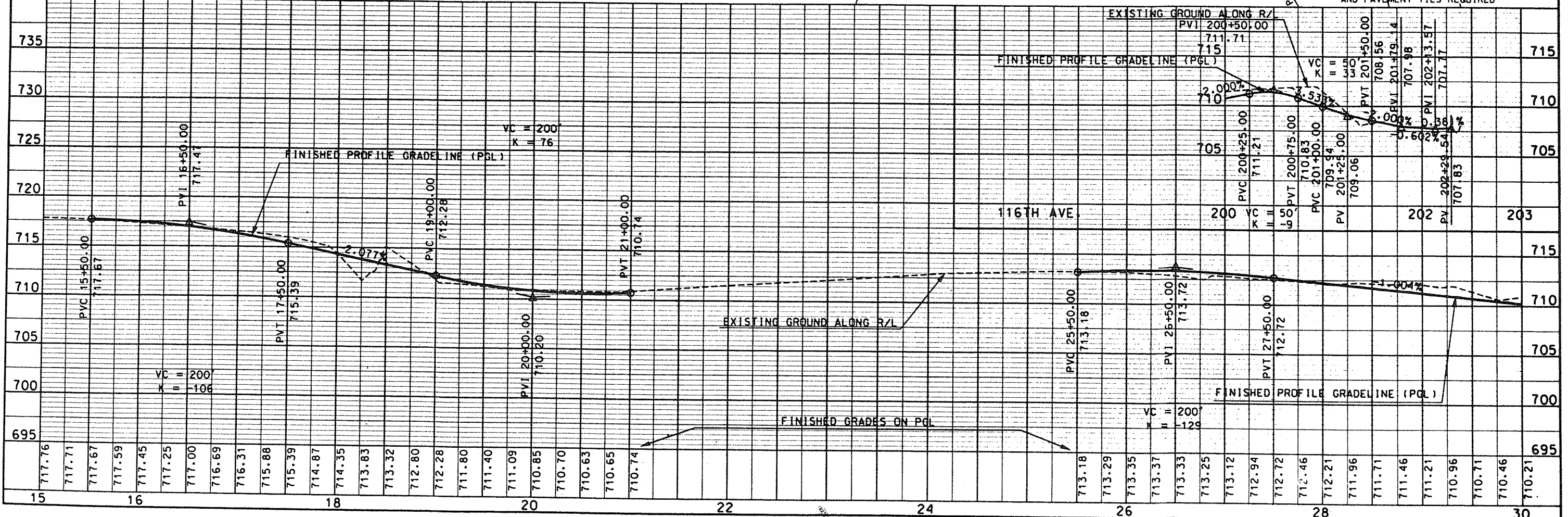
PROJECT ID

BENCH MARKS			
NO.	LOCATION	DESCRIPTION	ELEV.
1	28+00±, 60' RT.±	CHISELED CROSS ON BACK OF CURB NORTH SIDE OF CORPORATE DRIVE.	712.76
2	202+00±, (116TH AVE.)	SE FLANGE BOLT OF HYDRANT ALONG EAST SIDE OF CORPORATE DR., 350'± NE OF C/L OF 116TH AVE.	700.72



SUPERELEVATION TABLE CURVE 1		SUPERELEVATION TABLE CURVE 2 AND 3	
RATE %	STATION	RATE %	STATION
-2.00	16+00	-2.00	24+85
-0.63	16+50	-1.39	25+00
1.33	16+98.96 PC	0.61	25+50
1.37	17+00	1.33	25+68.03 PC
2.00	17+25	2.00	26+00
1.33	19+50	2.00	30+10
0.22	19+88.85 PT	1.33	30+43.66 PT
-1.78	20+00	1.08	30+50
-1.78	20+50	-0.92	31+00
-1.78	20+75	-2.00	31+25

NOTE: RECONSTRUCT DRIVEWAYS TO LAKESIDE MARKET PLACE WITH ASPHALTIC CONCRETE PAVEMENT, TYPE MV, 5-INCH ON CRUSHED AGGREGATE BASE COURSE, 8-INCH PROVIDE 2-INCH SURFACE COURSE, PROVIDE CONCRETE CURB AND GUTTER, 30-INCH, TYPE D ON RETURNS.



Time: 72-MAY-1995 16:44
 Plotted by: greg
 Date: 72-MAY-1995

ORD. # 13-

**ORDINANCE TO AMEND CHAPTER 420 ATTACHMENT 3 APPENDIX C
SPECIFIC DEVELOPMENT PLANS 13.
OF THE VILLAGE ZONING ORDINANCE
PURSUANT TO CHAPTER 420-137
OF THE VILLAGE ZONING ORDINANCE
FOR PRIME OUTLETS AT PLEASANT PRAIRIE
IN THE VILLAGE OF PLEASANT PRAIRIE,
COUNTY OF KENOSHA, STATE OF WISCONSIN**

The Village Board of Trustees, do hereby ordain that Section d. 14. related to specific modifications to the Village of Pleasant Prairie Zoning Ordinance for Pleasant Prairie Premium Outlets as specified in Chapter 420 Attachment 3 Appendix C Specific Development Plan 13 for Pleasant Prairie Premium Outlets Planned Unit Development No. 2 is hereby created to read follows:

14. Section 420-120 K (1) related to hours of Operation is hereby amended to read as follows:

Hours of operation (when the public is allowed to enter or remain on site for business purposes): 5:00 a.m. to 11:00 p.m. maximum; for uses requiring a Village liquor license: as provided in § 125.68(4), Wis. Stats; and for a super charging station for electric vehicles which is allowed to operate within the parking lot area of the DEVELOPMENT 24 hours a day with approval of Site and Operational Plans by the Plan Commission.

Adopted this ___ day of _____, 2013.

VILLAGE OF PLEASANT PRAIRIE

John P. Steinbrink
Village President

ATTEST:

Jane M. Romanowski
Village Clerk

Posted: _____

___ - Premium Outlets PUD No 2 Amend-Tesla.doc



Filed _____ 20__ Published _____ 20__
 Public Hearing _____ 20__ _____ 20__
 Fee Paid _____ 20__ Approved _____ 20__
 Notices Mailed _____ 20__ Denied _____ 20__

**VILLAGE OF PLEASANT PRAIRIE, WISCONSIN
 ZONING MAP AND TEXT AMENDMENT APPLICATION**

To: Village Plan Commission & Village Board of Trustees of the Village of Pleasant Prairie:

I, (We), the undersigned owner(s)/agent do hereby petition the Village Board to amend the Village of Pleasant Prairie Zoning Map as hereinafter requested.

It is petitioned that the following described property be rezoned from the present _____
 _____ District(s) to _____ District(s). The property petitioned
 to be rezoned is located at: 11211 120th Avenue (Pleasant Prairie Outlets) _____ and is legally described
 as follows: _____ (address)
 Parcel 2 of Certified Survey Map No. 1452, Volume 1434 of Records, Village of Pleasant Prairie,
 Kenosha, Wisconsin

Tax Parcel Number(s): 92-4-122-302-0375

The proposed use for this property is: Tesla Charging station for electric vehicles

Petitioner's interest in the requested rezoning: To install a charging station for electric vehicles

Compatibility with adjacent land uses: The proposed site is surrounded by commercial retail uses

I (We) are also requesting a Zoning Text Amendment to amend Section _____ of
 the Village Zoning Ordinance.

I (We), have contacted the Community Development Department to arrange a pre-application meeting to
 discuss the proposed request to determine additional information that may be needed for this request.

I, (We), hereby certify that all the above statements and attachments submitted herewith are true and
 correct to the best of my knowledge.

PROPERTY OWNER:

Simon Property Group c/o
 Print Name: Darcy Kennelly Rutzen, CMD
 Signature: [Signature]
 Address: 11211 120th Avenue
 Pleasant Prairie, WI 53158
 (City) (State) (Zip)
 Phone: (262) 857-3061
 Fax: (262) 857-7385
 Email: www.premiumoutlets.com/pleasantprairie
 Date: 6.26.13

OWNER'S AGENT:

Print Name: Tesla Motors, Inc. c/o Black & Veatch
 Signature: _____
 Address: 30150 Telegraph Road, Suite 355
 Bingham Farms, MI 48025
 (City) (State) (Zip)
 Phone: (913) 458-6776
 Fax: (248) 594-9337
 Email: klecklerc@bv.com
 Date: _____



Application Filed _____ 20
 Application Fee Paid _____ 20
 Application Approved _____ 20
 Application Denied _____ 20
 Permit Issued _____ 20

**VILLAGE OF PLEASANT PRAIRIE
 SITE AND OPERATIONAL ZONING PERMIT**

USE THIS FORM FOR:
 Tenants/Use change proposing to occupy less than 50% of an existing commercial/ industrial building.

 Insignificant exterior accessory alterations including small parking lot additions.

Does not require a Conditional Use Permit.

- Prime Outlets
- Willow Pointe
- The Crossings
- Prairie Ridge Market Place
- Shoppes of Prairie Ridge
- Prairie Ridge Commons
- Town N Country Shopping Center
- Truesdell Plaza
- Johnson Bank
- Other _____

FOR OFFICE USE ONLY	
For Exterior Alterations:	For Tenant Build-Outs:
<input type="checkbox"/> Application	<input type="checkbox"/> Application
<input type="checkbox"/> Application Fee	<input type="checkbox"/> Application Fee
<input type="checkbox"/> Operational plan	<input type="checkbox"/> Operational plan
<input type="checkbox"/> Title sheet	<input type="checkbox"/> Building and Fire Protection plans
<input type="checkbox"/> Survey	<input type="checkbox"/> Exterior Lighting plan, if applicable
<input type="checkbox"/> Site plan	<input type="checkbox"/> Signage plan
<input type="checkbox"/> Grading and drainage plan	<input type="checkbox"/> Industrial/commercial waste survey
<input type="checkbox"/> Building and fire protection plan	<input type="checkbox"/> Performance standards compliance plan
<input type="checkbox"/> Lighting plan	<input type="checkbox"/> Additional requirements, as required
<input type="checkbox"/> Landscape and open space plan	
<input type="checkbox"/> Signage plan	
<input type="checkbox"/> Industrial/commercial waste survey	
<input type="checkbox"/> Performance standards compliance plan	
<input type="checkbox"/> Additional requirements, as required	

Please check one of the following:

Accessory Structure	Minor Site Change	Alteration OR Tenant (or Use) Change
<input type="checkbox"/> NEW	<input type="checkbox"/> NEW	<input type="checkbox"/> Alteration OR Tenant/Use Change with Structural Change
<input type="checkbox"/> ADDITION	<input type="checkbox"/> ADDITION	<input type="checkbox"/> Alteration OR Tenant/Use Change without Structural Change
		<input type="checkbox"/> Tenant Change without Alteration

SECTION 1: GENERAL INFORMATION

NAME OF BUSINESS: Tesla Motors, Inc.

SITE ADDRESS: 11211 120th Avenue, Pleasant Prairie, WI 53158

BRIEF PROJECT DESCRIPTION: Install supercharging station for electric vehicles in the parking lot at the Pleasant Prairie Outlet mall.

PROPOSED NUMBER OF FULL TIME EMPLOYEES: NA - this is an unmanned facility

PROPOSED NUMBER OF PART-TIME EMPLOYEES: NA - this is an unmanned facility

PROPOSED ADDITION/ALTERATION SIZE: Approx. 162 sq.ft. **HEIGHT:** _____ ft.

LEGAL DESCRIPTION: Parcel 2 of Certified Survey Map No. 1452, Volume 1434 of Records, Village of Pleasant Prairie, Kenosha, WI

TAX PARCEL NUMBER(S): 92-4-122-302-0375

CURRENT ZONING CLASSIFICATION(S) OF THE PROPERTY: Commercial

If property is zoned M-1 or M-2, indicate the Occupancy Type pursuant to the Use and Occupancy Classification specified in Chapter 3 of the 2006 International Building Code (2006 IBC). Include all that apply and associated square footage for each classification:

- Factory Group F-1 (Moderate-hazard) _____ sq ft
- Factory Group F-2 (Low-hazard) _____ sq ft
- Storage Group S-1 (Moderate-hazard) _____ sq ft
- Storage Group S-2 (Low-hazard) _____ sq ft
- Business Group B _____ sq ft
- High-Hazard Group H* _____ sq ft
- Other _____ sq ft
- Other _____ sq ft

**If Use and Occupancy Classification is High-Hazard Group H please provide a detailed written narrative that explains the specific use, quantity of storage and handling of the high hazard materials along with appropriate MSSD sheets with this application.*

PUBLIC SERVICES:

1. Is the property serviced by Public Sanitary Sewer? YES NO
2. Is the property serviced by Public Water? YES NO
 - If yes, is the structure served by fire sprinklers? YES NO
3. Maximum number of gallons/minute of water expected to be used per day is: NA

SECTION 2: EXISTING USES AND BUILDINGS ON THE SITE

- Are there any existing buildings on the site? YES NO
- If yes, provide an attachment that explains the current uses on the property and current uses in each building and if the use(s) is proposed to continue; and the gross floor area and height of each building. The current use is a commercial retail outlet mall - the current use will continue.
 - If no, what is the current use of the property? _____

SECTION 3: PHOTOGRAPHS

- Are there any exterior modifications proposed for the structures/site? YES NO
- If yes, submit dated standard size photographs or digital photographs of the existing site areas to be changed.

SECTION 4: SIGNAGE

Sign permits for any sign changes or additions shall be submitted for review and approval. (Separate Sign Application Form)

SECTION 5: NON-CONFORMING USE

1. Is any use on the site a nonconforming use? YES NO
 - If yes, then continue with this section.
2. If you answered YES to question 1 above, prima facie proof of each element of legal nonconforming use status shall be submitted to the Village with this application (that the nonconforming use was legal in its inception, that the use was active and actual and not merely casual, occasional, incidental or accessory when it became nonconforming, that the use has been continuous with no gap of 12 or more consecutive months since it became nonconforming.

SECTION 6: PERFORMANCE STANDARDS

Pursuant to the Village Zoning Ordinance, any application for a permit under this ordinance or any use subject to the regulations and standards set forth in the Village Zoning Ordinance shall be accompanied by a sworn statement by the owner of the subject property that said property and use will be operated in accordance with the performance standards set forth in Section 420-38 of the Village Ordinance. Continued compliance with the regulations and standards is required. Violations of such standards shall be remedied as required by the Village Zoning Ordinance.

No land or building in any district shall be operated in such a manner so as to create any dangerous, injurious, noxious or otherwise objectionable fire, explosive or other hazard; noise or vibration, smoke, dust, dirt or other form of air pollution; water pollution; electrical, radioactive or other disturbances; glare; or other substance, condition or element (referred to herein as "dangerous or objectionable elements") in such amount as to adversely affect the surrounding area or premises; provided that any use permitted by this ordinance may be undertaken and maintained if it conforms to the regulations of this subsection limiting dangerous and objectionable elements at the specified point or points of the determination of their existence.

The Village may require additional information be submitted to ensure that the Village Performance Standards are being met.

SECTION 6: SIGNATURES

I,(We), hereby certify that all the above statements and all attachments submitted herewith are true and correct to the best of my knowledge. In addition I, (we) understand the requirements and procedures for Site and Operational Plan approval.

PROPERTY OWNER:

Simon Property Group c/o
 Name: Darcy Kennelly Rutzen, CMD
 (Please Print)
 Signature: *Darcy Rutzen*
 Address: 11211 120th Avenue
Pleasant Prairie, WI 53158
 (City) (State) (Zip)
 Phone: (262) 857-3061
 Fax: (262) 857-7385
 E-mail: www.premiumoutlets.com/pleasantprairie
 Date: 6.26.13

APPLICANT:

Name: Tesla Motors, Inc. c/o Black & Veatch
 (Please Print)
 Signature: _____
 Address: 30150 Telegraph Road, Suite 355
Bingham Farms, MI 48025
 (City) (State) (Zip)
 Phone: (913) 458-6776
 Fax: (248) 594-9337
 E-mail: klecklerc@bv.com
 Date: _____

Is the applicant the owner of the property? YES NO

If no, then either proof of the applicant's legal interest in the subject real property (e.g. accepted offer to purchase, lease, etc., which may be appropriately redacted to preserve confidential information) or written authorization signed by the owner for the applicant to act as the owner's agent in connection with the application shall be included with the application.

DEVELOPER (if Applicable)

Name: _____
 (Please Print)
 Signature: _____
 Address: N/A
 (City) (State) (Zip)
 Phone: _____
 Fax: _____
 E-mail: _____
 Date: _____

USER OR OCCUPANT OF SITE::

Name: Tesla Motors, Inc.
 (Please Print)
 Signature: _____
 Address: 3500 Deer Creek Rd.
Palo Alto CA 94304
 (City) (State) (Zip)
 Phone: (650) 796-8530
 Fax: _____
 E-mail: drbennett@teslamotors.com
 Date: _____

Operational plan.

(1) Operational plan requirements. The applicant shall prepare and file as part of the application for site and operational plan approval an operational plan which shall include at least the following information or materials:

(a) A detailed narrative description of the operations, processes and functions of the existing and proposed uses to be conducted in or on the real property constituting the site, together with any diagrams, maps, charts or other visual aids that are helpful in understanding the operations and any potential adverse impacts on neighboring properties.

Tesla Motors, Inc. (Tesla) is proposing to install a Supercharging Station for electric vehicles in the parking lot of the Pleasant Prairie Outlet Mall.

Tesla is a US-based company that designs and manufactures the world's leading electric vehicles. Tesla has delivered more than 10,000 electric vehicles to customers in 31 countries. In its mission to further the adoption of electric vehicles, Tesla has initiated the deployment of a fast-charging solution called the Supercharger. These Supercharger stations will be located along popular and well-travelled routes to provide a fast and convenient network for Tesla customers to charge their vehicles and complete long road trips. These stations are able to recharge 50% battery capacity in as little as 20 minutes and a full charge in less than an hour.

Due to the fact that the proposed charging station is located wholly within an existing mall parking lot (only 8 spaces are being utilized), and because the equipment will be fully screened from view by an attractive fenced enclosure, there will be no adverse impacts on neighboring properties. A proposed retaining wall and landscaping further minimize visual impact at the site. See previously submitted site plans for details regarding the charging station location and design.

(b) A detailed description of the proposed project or activity giving rise to the need for site and operational plan approval and a detailed explanation of how such project or activity relates to the site and to the existing or proposed operations to be conducted in or on the real property constituting the site.

The charging station will consist of the following:

(8) Parking spaces, each equipped with a charging post

(4) Four supercharger cabinets, (1) 45KVA transformer, (1) 150A Auxiliary 208/120 VAC Distribution Panel and (1) QED Switchgear Assembly located within a fenced-in enclosure near the charging stations

(1) 750KVA Utility Transformer on an 8'-0" x 8'-0" concrete pad

As stated above, These Supercharger stations will be located along popular and well-travelled routes to provide a fast and convenient network for Tesla customers to charge their vehicles and complete long road trips. These stations are able to recharge 50% battery capacity in as little as 20 minutes and a full charge in less than an hour. The site design takes advantage of existing landscaping, including additional retaining wall and new proposed landscaping for added screening.

(c) Gross floor area of the existing building(s) and/or proposed addition.

Tesla's equipment for the proposed charging station will be contained within 1,525 square feet.

(d) Anticipated hours of operation, hours open to the public, and hours of deliveries or shipments.

The proposed charging station will be available to motorists 24/7. There will be no shipments or deliveries to this site.

(e) Anticipated startup and total number of full- and part-time employees.

N/A, there will be no employees at this site.

(f) Anticipated number of shifts and the anticipated number of employees per shift.

N/A, there will be no employees at this site.

(g) Anticipated maximum number of employees on site at any time of the day. The proposed charging station will not have any employees.

N/A, there will be no employees at this site.

(h) Number of anticipated students, participants or persons to be gathered in places of assembly, if applicable.

N/A

(i) Number of parking spaces required per this chapter and the method used to calculate such number.

The only parking spaces being utilized by the proposed charging stations will be the eight (8) spaces with the charging posts.

(j) Number of existing and proposed on-site parking spaces to be provided (conventional spaces and handicapped spaces to be stated separately).

The only parking spaces being utilized by the proposed charging stations will be the eight (8) spaces with the charging posts.

(k) Anticipated daily average and maximum potential number of automobile trips to and from the site (excluding trucks).

NA, the only automobiles visiting the site will be electric vehicles to be charged.

(l) Anticipated daily average and maximum potential number of truck trips to and from the site. **NA**

(m) Types of goods and materials to be made, used or stored on site. **NA**

(n) Types of equipment or machinery to be used on site.

The proposed site will utilize electric charging posts, transformers and supercharger equipment cabinets.

(o) Types of solid or liquid waste materials which will require disposal. **NA**

(p) Method of handling, storing and disposing of solid or liquid waste materials. **NA**

(q) Methods of providing site and building security other than the Village Police Department.

The proposed charging station is wi-fi enabled and reports any maintenance issues. Our landlord partner will also monitor the station's well-being. The fencing around the equipment protects against vandalism, and the charging cabinets are tamper-proof. We are installing a security camera to go with Simon's, in accordance with Village policy.

r) Description of the methods to be used to maintain all buildings, structures, site improvements and sites in a safe, structurally sound, neat, well cared for and attractive condition.

Tesla will maintain the charging station and site improvements in a safe, structurally sound, neat, well-cared for, and attractive condition. As stated above, both the wi-fi and our landlord partner will monitor the site.

(s) Description of potential adverse impacts to neighboring properties or public facilities and measures to be taken to eliminate or minimize such adverse impacts.

Due to the fact that the proposed charging station is located wholly within a mall parking lot, there will be no adverse impacts on neighboring properties. In fact, we believe that Tesla's proposed charging station will have a positive effect within the Village, encouraging cleaner energy consumption. As stated above, Tesla has delivered more than 10,000 electric vehicles to customers in 31 countries. These Supercharger

stations will be located along popular and well-travelled routes to provide a fast and convenient network for Tesla customers to charge their vehicles and complete long road trips. The station will bring more visitors to the Village, who will likely shop and dine in the area.

(t) A list of all local, county, state and federal permits or approvals required for the project or activity giving rise to the need for site and operational plan approval and copies of such permits and approvals that have been obtained.

Approvals and permits for the proposed charging station include the zoning permits issued by the Village of Pleasant Prairie (Predevelopment Agreement, Site Operational Plan Application and Zoning Text Amendment) and building and electrical permits from the Village.

(2) Operational plan standards. In addition to any other applicable requirements or standards specified in this chapter, the following requirements or standards shall apply to the operational plan:

(a) No use shall be conducted in such a way as to constitute a public or private nuisance.

N/A, the proposed charging station, which is located in a mall parking lot, will only be used by motorists charging their electric vehicles.

(b) No use shall be conducted in such a way as to violate any of the performance standards set out in § [420-38](#) of this chapter.

The proposed charging station will only be used by motorists in need of charging their electric vehicles.

(c) (reserved)

(d) No owner, occupant or user of real property shall conduct a use so intensively that there is inadequate provision of on-site parking spaces and/or loading spaces to accommodate the needs of such use.

The proposed charging station (utilizing only 8 parking spaces) will only be used by motorists in need of charging their electric vehicles.

(e) All buildings, structures, site improvements and sites shall be maintained in a safe, structurally sound, neat, well cared for and attractive condition.

As stated above, Tesla will maintain the charging station and site improvements in a safe, structurally sound, neat, well-cared for, and attractive condition. Also, both the built-in wi-fi and our landlord partner will monitor the site.

(f) Within a building, any provision of live entertainment in connection with a business or club use involving the selling or service of alcoholic beverages shall comply with the following restrictions: **NA**

[1] Live entertainment shall be provided only on a raised platform that is not less than 23 inches higher than the elevation of the surrounding floor surfaces where customers, members or their guests are sitting, standing or dancing; **NA**

[2] Customers, members or their guests shall at all times be separated from the raised platform on which live entertainment is being provided by a distance of not less than four feet and a physical barrier to mark and enforce such separation distance; and **NA**

[3] There shall be no touching of any kind between entertainers and customers, members or their guests. **NA**

(g) No proposed new or expanded use shall be permitted to create or significantly exacerbate unsafe traffic conditions on any street or highway in the Village.

As stated above, the proposed charging station (utilizing only 8 parking spaces) will only be used by motorists in need of charging their electric vehicles.

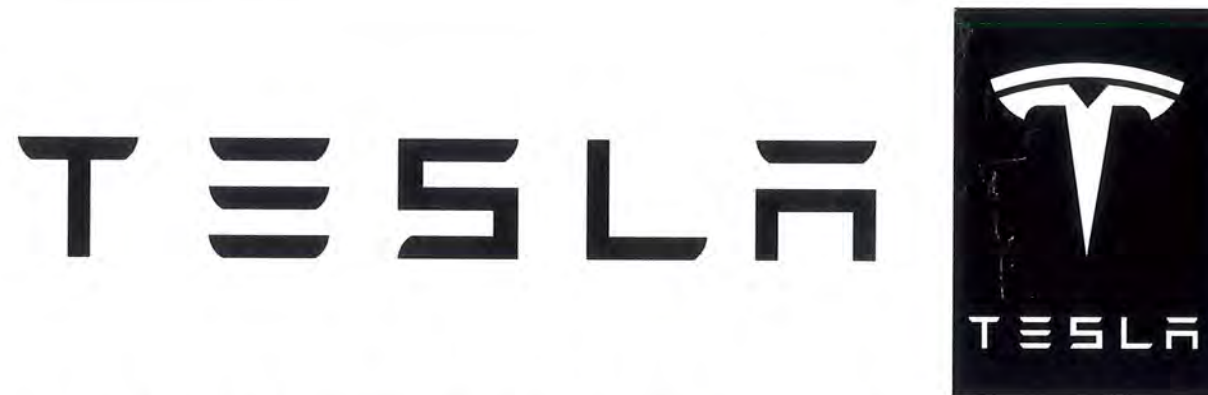
(h) Indoor pyrotechnic displays are prohibited. **NA**

**PLEASANT PRAIRIE
ADDITIONAL INFORMATION**

1. Submit photo images of other charging stations.
We will provide a CD with photos of some of Tesla's existing charging stations.
2. Submit photos of the existing site.
We will provide photos of the existing site.
3. Can a canopy be provided at this location?
No canopy is proposed at this time as canopies are not part of Tesla's standard design.
4. Pine fence? Any other architectural details – kind of looks like a 9' high garbage dumpster enclosure – The architectural elevation needs improvement as this is the first one in WI.
We will work with the Village to improve the aesthetics of the site. We have used wrought iron fences in other municipalities. Please advise whether that would be acceptable in Pleasant Prairie.
5. Provide elevations on all four sides.
The elevations will be shown for all sides on Site Plan Sheets A-6 and A-6.1.
6. Do customers wait in their car or leave the car unattended during charging?
Tesla customers can either wait in their cars or go shopping or out to eat.
7. Who maintains during snow storms? Canopy would be helpful.
As stated above, a canopy is not proposed at this time. However, the stations will be plowed and maintained as per normal Simon procedure. We will monitor the equipment with Simon to ensure snow doesn't build up, and clear out when necessary.
8. Are there benches provided for customers to wait outside?
There are no benches at the site. Customers can wait in their cars, or they can take a walk or shop.
9. Show EV pavement markings on plans.
The EV signs will be shown on the plans.
10. Show specific TESLA charging station signage.
Tesla charging station signage will be shown at the site. See Site Plan Sheet A-8.
11. Show grading/grading plan – will station be recessed into berm?
The equipment enclosure will be partially recessed into the berm. The elevation at the top of the berm is 715'. The elevation of the top of our fence is 718.5'. The elevation of our equipment is 710'. The proposed landscaping (replacing the landscaping required to be removed during excavation) will be about 4' tall so the equipment enclosure will not be seen from 108th St. The existing grade will not change. Any excavated material will be replaced back to its original grade.
12. Identify that a double head camera (at Tesla's cost) shall be mounted on northeast corner of building for PD to observe the 24-hour operation, as needed.
Tesla will be installing a security camera to go with Simon's camera, in accordance with Village policy. Please provide us with the Village specifications and we will comply.
13. Curb and gutter shall be provided, no separate curb wheel stops shall be shown or provided.
Please see site plan sheet A-4 for proposed curb.
14. Dimension the parking spaces on the plan.
Dimensions of the parking spaces will be indicated on the plan.
15. Is one space clearly designated as handicapped accessible – is it required?
We will have ADA striping at 1 spot, but it will not be designated as handicapped.
16. How does this station blend in with the Outlet Center – are there similar colors for the materials, sign poles, etc.?

Tesla's equipment will be located in a grassy area of the parking lot that has existing vegetation. The equipment will be surrounded by a fenced enclosure (wrought iron, if approved by the Village), which will be partially recessed into the berm. The proposed landscaping around the equipment area will be approximately four (4) feet tall, to further screen the equipment and help the enclosure to blend in with the surrounding mall area.

17. Any additional lighting for area? Under canopy lighting?
A pedestrian light pole and light fixture is proposed. Please see site plan sheet A-4.
18. Are there signs to be installed which state "Only TESLA EV Charging"?
Initial signage will not have "only" or "no parking" on the signs. They will have the Tesla logo and the words "Electric Vehicle Parking". If we have a persistent problem with regular vehicles parking in spaces that are dedicated to Tesla, we may need to put up more explicit signs.
19. The parking lot shall be resurfaced and restriped in this area.
The parking lot will be resurfaced and restriped in this area.
20. Are the spaces wider or longer than the typical 9' by 18' parking space?
No, the spaces will be 10' wide by 17'-4" long.
21. Provide a night image.
Please provide more details as to what is being requested and we will try to comply.
22. Provide an elevation from 108th Street.
An elevation from 108th street will be indicated on the plans.
23. Where are garbage can facilities?
There are no garbage can facilities other than those already existing at the site.
24. Provide a TESLA map of existing and future charging stations.
Please see dynamic map on Tesla's website (www.TeslaMotors.com/Supercharger). Please bear in mind that this map is merely guidance and is constantly changing.
25. Is there any educational signage planned here or at the adjacent Tourist Center or nearby Park and Ride Lot?
This is something we are very willing to do and would follow your lead on how to go about making it happen.
26. Will this be identified as the "Pleasant Prairie Charging Station?"
Yes.
27. Have you requested EV signage on IH 94 from the WI DOT? Has there been communication with WI DOT?
No, there has been no communication with WI DOT. Please feel free to connect us with your contacts there to discuss options.
28. Is there any type of emergency button, valve, shut-off, or power source off switch needed- where is it?
There is no emergency button. The power is not supplied to the charging post until it is attached to the vehicle.
29. The Public Hearing notice for the PUD modification will be sent out shortly.



SUPERCHARGING STATION

PLEASANT PRAIRIE OUTLETS
WI002_PLEASANT PRAIRIE
11211 120TH AVENUE
PLEASANT PRAIRIE, WI 53158

TESLA APPROVAL SIGNATURE BLOCK



_____ SITE DEVELOPER	_____ DATE
_____ SITE INSTALLATION	_____ DATE
_____ SITE ENGINEERING	_____ DATE



3500 DEER CREEK RD
 PALO ALTO, CA 94304
 (650) 681-5000



BLACK & VEATCH

10950 GRANDVIEW DRIVE
 OVERLAND PARK, KS 66210
 (913) 458-2000

PROJECT NO: 179056
 DRAWN BY: JW
 CHECKED BY: MBG

REV	DATE	DESCRIPTION
C	07/09/13	ISSUED FOR 90% REVIEW
B	06/26/13	REISSUED FOR 30% REVIEW
A	06/25/13	ISSUED FOR 30% REVIEW

NOT TO BE USED FOR CONSTRUCTION

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.

WI002_PLEASANT PRAIRIE
PLEASANT PRAIRIE OUTLETS
11211 120TH AVENUE
PLEASANT PRAIRIE, WI 53158

SHEET NUMBER
TITLE SHEET & PROJECT DATA

SHEET NUMBER
T-1

SITE INFORMATION	APPLICABLE CODES	PROJECT DESCRIPTION	ZONING INFORMATION	DRAWING INDEX																																																																														
<p>SITE ADDRESS: 11211 120TH AVENUE PLEASANT PRAIRIE, WI 53158</p> <p>PROPERTY OWNER: SIMON PROPERTY GROUP, INC. 225 WEST WASHINGTON STREET INDIANAPOLIS, INDIANA 46204</p> <p>EQUIPMENT SUPPLIER: TESLA MOTORS, INC. 3500 DEER CREEK RD PALO ALTO, CA 94304 (650) 681-5000</p> <p>POWER COMPANY: WE ENERGIES</p> <p>COUNTY: KENOSHA</p> <p>LATITUDE (NAD83): 42° 31' 7.356" N 42.51871°</p> <p>LONGITUDE (NAD83): 87° 57' 1.620" W -87.95045°</p> <p>CONTACT ENGINEER: RUSSELL POLLOM (913) 458-6274 POLLOMRE@BV.COM</p>	<p>ALL WORK SHALL COMPLY WITH THE FOLLOWING APPLICABLE CODES:</p> <p>IBC 2009 WISCONSIN BUILDING CODE IBC 2009 WISCONSIN MECHANICAL CODE NEC 2008 WISCONSIN ELECTRICAL CODE IBC 2009 WISCONSIN STRUCTURAL CODE IBC 2009 MFPA-1 WISCONSIN FIRE/LIFE SAFETY CODE WISCONSIN COMMERCIAL BUILDING CODE ADA STANDARDS (WISCONSIN COMMERCIAL BUILDING CODE)</p> <p>IN THE EVENT OF CONFLICT, THE MOST RESTRICTIVE CODE SHALL PREVAIL</p>	<ul style="list-style-type: none"> INSTALL (4) TESLA SUPERCHARGER CABINETS INSTALL (8) TESLA CHARGING STATIONS INSTALL (1) QED SWITCHGEAR ASSEMBLY INSTALL (1) 750KVA UTILITY TRANSFORMER INSTALL (1) 45KVA TRANSFORMER INSTALL (1) 150A AUXILIARY DISTRIBUTION PANEL <p>FLOOD HAZARD AREA NOTE</p> <p>THIS SITE IS LOCATED IN FLOOD ZONE "X". NO BASE FLOOD ELEVATION. AREA DETERMINED TO BE OUTSIDE 500-YEAR FLOOD PLAIN.</p>	<p>PERMITTING JURISDICTION: VILLAGE OF PLEASANT PRAIRIE</p> <p>ZONING CLASS: CODE 360</p> <p>DO NOT SCALE DRAWINGS</p> <p>CONTRACTOR SHALL VERIFY ALL PLANS, EXISTING DIMENSIONS & CONDITIONS ON THE JOB SITE & SHALL IMMEDIATELY NOTIFY THE ENGINEER IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK.</p>	<table border="1"> <thead> <tr> <th>SHEET NO:</th> <th>SHEET TITLE</th> <th>REV NO:</th> </tr> </thead> <tbody> <tr><td>T-1</td><td>TITLE SHEET & PROJECT DATA</td><td>C</td></tr> <tr><td>GN-1</td><td>GENERAL NOTES 1</td><td>C</td></tr> <tr><td>GN-2</td><td>GENERAL NOTES 2</td><td>C</td></tr> <tr><td>A-1</td><td>OVERALL SITE PLAN</td><td>C</td></tr> <tr><td>A-2</td><td>EXISTING SITE PLAN</td><td>C</td></tr> <tr><td>A-3</td><td>DEMOLITION SITE PLAN</td><td>C</td></tr> <tr><td>A-4</td><td>PROPOSED SITE PLAN</td><td>C</td></tr> <tr><td>A-5</td><td>ENLARGED PROPOSED EQUIPMENT LAYOUT</td><td>C</td></tr> <tr><td>A-6</td><td>SITE ELEVATIONS</td><td>C</td></tr> <tr><td>A-7</td><td>SIGNAGE SITE PLAN</td><td>C</td></tr> <tr><td>A-8</td><td>SIGNAGE DETAILS</td><td>C</td></tr> <tr><td>A-9</td><td>EQUIPMENT DETAILS</td><td>C</td></tr> <tr><td>A-10</td><td>FENCE DETAILS</td><td>C</td></tr> <tr><td>E-1</td><td>ELECTRICAL PLAN</td><td>C</td></tr> <tr><td>E-2</td><td>ELECTRICAL DETAILS</td><td>C</td></tr> <tr><td>E-3</td><td>ELECTRICAL DETAILS</td><td>C</td></tr> <tr><td>E-4</td><td>ELECTRICAL DETAILS</td><td>C</td></tr> <tr><td>E-5</td><td>ELECTRICAL DETAILS</td><td>C</td></tr> <tr><td>G-1</td><td>GROUNDING DETAILS</td><td>C</td></tr> <tr><td>G-2</td><td>GROUNDING DETAILS</td><td>C</td></tr> <tr><td>S-1</td><td>STRUCTURAL DETAILS</td><td>C</td></tr> <tr><td>S-2</td><td>STRUCTURAL DETAILS</td><td>C</td></tr> <tr><td>LS-1</td><td>LANDSCAPING PLAN</td><td>C</td></tr> <tr><td>LS-2</td><td>LANDSCAPING DETAILS AND PLANT SCHEDULE</td><td>C</td></tr> <tr><td>BP-1</td><td>BORING PLAN</td><td>C</td></tr> </tbody> </table>	SHEET NO:	SHEET TITLE	REV NO:	T-1	TITLE SHEET & PROJECT DATA	C	GN-1	GENERAL NOTES 1	C	GN-2	GENERAL NOTES 2	C	A-1	OVERALL SITE PLAN	C	A-2	EXISTING SITE PLAN	C	A-3	DEMOLITION SITE PLAN	C	A-4	PROPOSED SITE PLAN	C	A-5	ENLARGED PROPOSED EQUIPMENT LAYOUT	C	A-6	SITE ELEVATIONS	C	A-7	SIGNAGE SITE PLAN	C	A-8	SIGNAGE DETAILS	C	A-9	EQUIPMENT DETAILS	C	A-10	FENCE DETAILS	C	E-1	ELECTRICAL PLAN	C	E-2	ELECTRICAL DETAILS	C	E-3	ELECTRICAL DETAILS	C	E-4	ELECTRICAL DETAILS	C	E-5	ELECTRICAL DETAILS	C	G-1	GROUNDING DETAILS	C	G-2	GROUNDING DETAILS	C	S-1	STRUCTURAL DETAILS	C	S-2	STRUCTURAL DETAILS	C	LS-1	LANDSCAPING PLAN	C	LS-2	LANDSCAPING DETAILS AND PLANT SCHEDULE	C	BP-1	BORING PLAN	C
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<p>DRIVING DIRECTIONS FROM GENERAL MITCHELL INTERNATIONAL AIRPORT</p> <p>HEAD NORTH FOR 0.5 MI, CONTINUE STRAIGHT ONTO WI-119 WEST/AIRPORT SPUR WEST FOR 1.2 MI, KEEP LEFT AT THE FORK, FOLLOW SIGNS FOR INTERSTATE 94 EAST/CHICAGO AND MERGE ONTO I-94 EAST FOR 29.4 MI, TAKE EXIT 347 TOWARD WI-165/LAKEVIEW PARKWAY/WISCONSIN Q FOR 0.4 MI, TURN LEFT ONTO 104TH STREET FOR 0.4 MI, TURN RIGHT ONTO 120TH AVENUE FOR 0.5 MI, ARRIVE AT 120TH AVENUE.</p>																																																																																		
<p>ENGINEER OF RECORD</p> <p>CHRIS A. KRAFFT PE # 39313-006 BLACK & VEATCH CORPORATION</p>				<p>CALL BEFORE YOU DIG</p> <p>UNDERGROUND SERVICE ALERT UTILITY NOTIFICATION CENTER OF WISCONSIN 811 OR 1-800-242-8511 3 WORKING DAYS UTILITY NOTIFICATION PRIOR TO CONSTRUCTION</p>																																																																														

RECEIVED
 JUL 25 2013

Village of Pleasant Prairie

GENERAL CONSTRUCTION NOTES

- FOR THE PURPOSE OF CONSTRUCTION DRAWINGS, THE FOLLOWING DEFINITIONS SHALL APPLY
GENERAL CONTRACTOR: OVERLAND CONTRACTING INC. (B&V)
CONTRACTOR: (CONSTRUCTION)
OWNER: TESLA
- ALL SITE WORK SHALL BE COMPLETED AS INDICATED ON THE DRAWINGS.
- GENERAL CONTRACTOR SHALL VISIT THE SITE AND SHALL FAMILIARIZE HIMSELF WITH ALL CONDITIONS AFFECTING THE PROPOSED WORK AND SHALL MAKE PROVISIONS. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR FAMILIARIZING HIMSELF WITH ALL CONTRACT DOCUMENTS, FIELD CONDITIONS, DIMENSIONS, AND CONFIRMING THAT THE WORK MAY BE ACCOMPLISHED AS SHOWN PRIOR TO PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO THE COMMENCEMENT OF WORK.
- ALL MATERIALS FURNISHED AND INSTALLED SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS, AND ORDINANCES. GENERAL CONTRACTOR SHALL ISSUE ALL APPROPRIATE NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS, AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY REGARDING THE PERFORMANCE OF WORK.
- ALL WORK CARRIED OUT SHALL COMPLY WITH ALL APPLICABLE MUNICIPAL AND UTILITY COMPANY SPECIFICATIONS AND LOCAL JURISDICTIONAL CODES, ORDINANCES, AND APPLICABLE REGULATIONS.
- UNLESS NOTED OTHERWISE, THE WORK SHALL INCLUDE FURNISHING MATERIALS, EQUIPMENT, APPURTENANCES, AND LABOR NECESSARY TO COMPLETE ALL INSTALLATIONS AS INDICATED ON THE DRAWINGS.
- PLANS ARE NOT TO BE SCALED. THESE PLANS ARE INTENDED TO BE A DIAGRAMMATIC OUTLINE ONLY UNLESS OTHERWISE NOTED. DIMENSIONS SHOWN ARE TO FINISH SURFACES UNLESS OTHERWISE NOTED. SPACING BETWEEN EQUIPMENT IS THE MINIMUM REQUIRED CLEARANCE. THEREFORE, IT IS CRITICAL TO FIELD VERIFY DIMENSIONS, SHOULD THERE BE ANY QUESTIONS REGARDING THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING A CLARIFICATION FROM THE ENGINEER PRIOR TO PROCEEDING WITH THE WORK. DETAILS ARE INTENDED TO SHOW DESIGN INTENT. MODIFICATIONS MAY BE REQUIRED TO SUIT JOB DIMENSIONS OR CONDITIONS AND SUCH MODIFICATIONS SHALL BE INCLUDED AS PART OF WORK AND PREPARED BY THE ENGINEER PRIOR TO PROCEEDING WITH WORK.
- THE CONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS UNLESS SPECIFICALLY STATED OTHERWISE.
- IF THE SPECIFIED EQUIPMENT CANNOT BE INSTALLED AS SHOWN ON THESE DRAWINGS, THE CONTRACTOR SHALL PROPOSE AN ALTERNATIVE INSTALLATION SPACE FOR APPROVAL BY THE ENGINEER PRIOR TO PROCEEDING.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF WORK AREA, ADJACENT AREAS AND BUILDING OCCUPANTS THAT ARE LIKELY TO BE AFFECTED BY THE WORK UNDER THIS CONTRACT. WORK SHALL CONFIRM TO ALL OSHA REQUIREMENTS AND THE LOCAL JURISDICTION.
- GENERAL CONTRACTOR SHALL COORDINATE WORK AND SCHEDULE WORK ACTIVITIES WITH OTHER DISCIPLINES.
- CONSTRUCTION SHALL BE DONE IN A WORKMANLIKE MANNER BY COMPETENT EXPERIENCED WORKMAN IN ACCORDANCE WITH APPLICABLE CODES AND THE BEST ACCEPTED PRACTICE.
- WORK PREVIOUSLY COMPLETED IS REPRESENTED BY LIGHT SHADED LINES AND NOTES. THE SCOPE OF WORK FOR THIS PROJECT IS REPRESENTED BY DARK SHADED LINES AND NOTES. CONTRACTOR SHALL NOTIFY THE GENERAL CONTRACTOR OF ANY EXISTING CONDITIONS THAT DEVIATE FROM THE DRAWINGS PRIOR TO BEGINNING CONSTRUCTION.
- CONTRACTOR SHALL PROVIDE WRITTEN NOTICE TO THE CONSTRUCTION MANAGER 48 HOURS PRIOR TO COMMENCEMENT OF WORK.
- THE CONTRACTOR SHALL PROTECT EXISTING IMPROVEMENTS, PAVEMENTS, CURBS, LANDSCAPING AND STRUCTURES. ANY DAMAGED PART SHALL BE REPAIRED AT CONTRACTOR'S EXPENSE TO THE SATISFACTION OF THE OWNER.
- THE CONTRACTOR SHALL CONTACT UTILITY LOCATING SERVICES PRIOR TO THE START OF CONSTRUCTION.
- GENERAL CONTRACTOR SHALL COORDINATE AND MAINTAIN ACCESS FOR ALL TRADES AND CONTRACTORS TO THE SITE AND/OR BUILDING.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR SECURITY OF THE SITE FOR THE DURATION OF CONSTRUCTION UNTIL JOB COMPLETION.
- THE GENERAL CONTRACTOR SHALL MAINTAIN IN GOOD CONDITION ONE COMPLETE SET OF PLANS WITH ALL REVISIONS, ADDENDA, AND CHANGE ORDERS ON THE PREMISES AT ALL TIMES.
- THE GENERAL CONTRACTOR SHALL PROVIDE PORTABLE FIRE EXTINGUISHERS WITH A RATING OF NOT LESS THAN 2-A OR 2-A:10-B-C AND SHALL BE WITHIN 25 FEET OF TRAVEL DISTANCE TO ALL PORTIONS OF WHERE THE WORK IS BEING COMPLETED DURING CONSTRUCTION.
- ALL EXISTING ACTIVE SEWER, WATER, GAS, ELECTRIC, AND OTHER UTILITIES SHALL BE PROTECTED AT ALL TIMES, AND WHERE REQUIRED FOR THE PROPER EXECUTION OF THE WORK, SHALL BE RELOCATED AS DIRECTED BY THE ENGINEER AND RF. EXTREME CAUTION SHOULD BE USED BY THE CONTRACTOR WHEN EXCAVATING OR DRILLING PIERS AROUND OR NEAR UTILITIES. CONTRACTOR SHALL PROVIDE SAFETY TRAINING FOR THE WORKING CREW. THIS SHALL INCLUDE BUT NOT BE LIMITED TO A) FALL PROTECTION, B) CONFINED SPACE, C) ELECTRICAL SAFETY, AND D) TRENCHING & EXCAVATION.

GENERAL CONSTRUCTION NOTES CONT.

- ALL EXISTING INACTIVE SEWER, WATER, GAS, ELECTRIC, AND OTHER UTILITIES, WHICH INTERFERE WITH THE EXECUTION OF THE WORK, SHALL BE REMOVED, CAPPED, PLUGGED OR OTHERWISE DISCONNECTED AT POINTS WHICH WILL NOT INTERFERE WITH THE EXECUTION OF THE WORK, AS DIRECTED BY THE RESPONSIBLE ENGINEER, AND SUBJECT TO THE APPROVAL OF THE OWNER AND/OR LOCAL UTILITIES.
- THE AREAS OF THE OWNER'S PROPERTY DISTURBED BY THE WORK AND NOT COVERED BY THE EQUIPMENT OR DRIVEWAY, SHALL BE GRADED TO A UNIFORM SLOPE, AND STABILIZED TO PREVENT EROSION.
- CONTRACTOR SHALL MINIMIZE DISTURBANCE TO THE EXISTING SITE DURING CONSTRUCTION. EROSION CONTROL MEASURES, IF REQUIRED DURING CONSTRUCTION, SHALL BE IN CONFORMANCE WITH THE FEDERAL AND LOCAL JURISDICTION FOR EROSION AND SEDIMENT CONTROL.
- NO FILL OR EMBANKMENT MATERIAL SHALL BE PLACED ON FROZEN GROUNDING. FROZEN MATERIALS, SNOW OR ICE SHALL NOT BE PLACED IN ANY FILL OR EMBANKMENT.
- THE SUBGRADE SHALL BE BROUGHT TO A SMOOTH UNIFORM GRADE AND COMPACTED TO 95 PERCENT STANDARD PROCTOR DENSITY UNDER PAVEMENT AND STRUCTURES AND 80 PERCENT STANDARD PROCTOR DENSITY IN OPEN SPACE. ALL TRENCHES IN PUBLIC RIGHT OF WAY SHALL BE BACKFILLED WITH FLOWABLE FILL OR OTHER MATERIAL PRE-APPROVED BY THE LOCAL JURISDICTION.
- ALL NECESSARY RUBBISH, STUMPS, DEBRIS, STICKS, STONES, AND OTHER REFUSE SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN A LAWFUL MANNER.
- ALL BROCHURES, OPERATING AND MAINTENANCE MANUALS, CATALOGS, SHOP DRAWINGS, AND OTHER DOCUMENTS SHALL BE TURNED OVER TO THE GENERAL CONTRACTOR AT COMPLETION OF CONSTRUCTION AND PRIOR TO PAYMENT.
- CONTRACTOR SHALL SUBMIT A COMPLETE SET OF AS-BUILT REDLINES TO THE GENERAL CONTRACTOR UPON COMPLETION OF PROJECT AND PRIOR TO FINAL PAYMENT.
- CONTRACTOR SHALL LEAVE PREMISES IN A CLEAN CONDITION.
- THE PROPOSED FACILITY WILL BE UNMANNED AND DOES NOT REQUIRE POTABLE WATER OR SEWER SERVICE, AND IS NOT FOR HUMAN HABITAT (NO HANDICAP ACCESS REQUIRED).
- NO OUTDOOR STORAGE OR SOLID WASTE CONTAINERS ARE PROPOSED.
- CONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND INSPECTIONS REQUIRED FOR CONSTRUCTION. IF CONTRACTOR CANNOT OBTAIN A PERMIT, THEY MUST NOTIFY THE GENERAL CONTRACTOR IMMEDIATELY.
- CONTRACTOR SHALL REMOVE ALL TRASH AND DEBRIS FROM THE SITE ON A DAILY BASIS.
- INFORMATION SHOWN ON THESE DRAWINGS WAS OBTAINED FROM SITE VISITS AND/OR DRAWINGS PROVIDED BY THE SITE OWNER. CONTRACTORS SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO ORDERING MATERIAL OR PROCEEDING WITH CONSTRUCTION.
- ALL (THWN-2) WIRING INSTALLATIONS TO FOLLOW MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS.

ELECTRICAL NOTES

- ELECTRICAL CONTRACTOR SHALL SUPPLY AND INSTALL ANY/ALL ELECTRICAL WORK INDICATED, ANY/ALL CONSTRUCTION SHALL BE IN ACCORDANCE W/DRAWINGS AND ANY/ALL APPLICABLE SPECIFICATIONS. IF ANY PROBLEMS ARE ENCOUNTERED BY COMPLYING WITH THESE REQUIREMENTS, CONTRACTOR SHALL NOTIFY 'CONSTRUCTION MANAGER' AS SOON AS POSSIBLE, AFTER THE DISCOVERY OF THE PROBLEMS, AND SHALL NOT PROCEED WITH THAT PORTION OF WORK, UNTIL THE 'CONSTRUCTION MANAGER' HAS DIRECTED THE CORRECTIVE ACTIONS TO BE TAKEN.
- ELECTRICAL CONTRACTOR SHALL VISIT THE JOB SITE AND FAMILIARIZE HIMSELF WITH ANY/ALL CONDITIONS AFFECTING ELECTRICAL AND COMMUNICATION INSTALLATION AND MAKE PROVISIONS AS TO THE COST THEREOF. ALL EXISTING CONDITIONS OF ELECTRICAL EQUIP., LIGHT FIXTURES, ETC., THAT ARE PART OF THE FINAL SYSTEM, SHALL BE VERIFIED BY THE CONTRACTOR, PRIOR TO THE SUBMITTAL OF HIS BID. FAILURE TO COMPLY WITH THIS PARAGRAPH WILL IN NO WAY RELIEVE CONTRACTOR OF PERFORMING ALL WORK NECESSARY FOR A COMPLETE AND WORKING SYSTEM.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF THE NEC AND ALL CODES AND LOCAL ORDINANCES OF THE LOCAL POWER COMPANIES HAVING JURISDICTION AND SHALL INCLUDE BUT NOT BE LIMITED TO:
 - A. UL - UNDERWRITERS LABORATORIES
 - B. NEC - NATIONAL ELECTRICAL CODE
 - C. NEMA - NATIONAL ELECTRICAL MANUFACTURERS ASSOC.
 - D. OSHA - OCCUPATIONAL SAFETY AND HEALTH ACT
 - E. SBC - STANDARD BUILDING CODE
 - F. NFPA - NATIONAL FIRE CODES
- DO NOT SCALE ELECTRICAL DRAWINGS, REFER TO SITE PLANS AND ELEVATIONS FOR EXACT LOCATIONS OF ALL EQUIPMENT, AND CONFIRM WITH 'CONSTRUCTION MANAGER' ANY SIZES AND LOCATIONS WHEN NEEDED.
- EXISTING SERVICES: CONTRACTOR SHALL NOT INTERRUPT EXISTING SERVICES WITHOUT WRITTEN PERMISSION OF THE OWNER.
- CONTRACTOR SHALL PAY FOR ANY/ALL PERMITS, FEES, INSPECTIONS AND TESTING. CONTRACTOR IS TO OBTAIN PERMITS AND APPROVED SUBMITTALS PRIOR TO THE WORK BEGINNING OR ORDERING EQUIPMENT.
- THE TERM "PROVIDE" USED IN CONSTRUCTION DOCUMENTS AND SPECIFICATIONS, INDICATES THAT THE CONTRACTOR SHALL FURNISH AND INSTALL.

ELECTRICAL NOTES CONT.

- CONTRACTOR SHALL CONFIRM WITH LOCAL UTILITY COMPANY ANY/ALL REQUIREMENTS SUCH AS THE: LUG SIZE RESTRICTIONS, CONDUIT ENTRY, SIZE OF TRANSFORMERS, SCHEDULED DOWNTIME FOR THE OWNERS' CONFIRMATION, ETC. ANY/ALL CONFLICTS SHALL BE BROUGHT TO THE ATTENTION OF THE CONSTRUCTION MANAGER, PRIOR TO BEGINNING ANY WORK.
- ALL CONDUCTORS SHALL BE COPPER WITH (THWN-2) INSULATION.
- OUTLET BOXES SHALL BE PRESSED STEEL IN DRY LOCATIONS, CAST ALLOY WITH THREADED HUBS IN WET/DAMP LOCATIONS AND SPECIAL ENCLOSURES FOR OTHER CLASSIFIED AREAS.
- IT IS NOT THE INTENT OF THESE PLANS TO SHOW EVERY MINOR DETAIL OF THE CONSTRUCTION. CONTRACTOR IS EXPECTED TO FURNISH AND INSTALL ALL ITEMS FOR A COMPLETE ELECTRICAL SYSTEM AND PROVIDE ALL REQUIREMENTS FOR THE EQUIPMENT TO BE PLACED IN PROPER WORKING ORDER.
- ALL WORK SHALL BE PERFORMED BY A LICENSED ELECTRICAL CONTRACTOR IN A FIRST CLASS, WORKMANLIKE MANNER. THE COMPLETED SYSTEM SHALL BE FULLY OPERATIVE AND SUBJECT TO REGULATORY INSPECTION AND APPROVAL BY CONSTRUCTION MANAGER.
- ALL WORK SHALL BE COORDINATED WITH OTHER TRADES TO AVOID INTERFERENCE WITH THE PROGRESS OF CONSTRUCTION.
- CONTRACTOR SHALL GUARANTEE ANY/ALL MATERIALS AND WORK FREE FROM DEFECTS FOR A PERIOD OF NOT LESS THAN ONE YEAR FROM DATE OF ACCEPTANCE.
- THE CORRECTION OF ANY DEFECTS SHALL BE COMPLETED WITHOUT ANY ADDITIONAL CHARGE AND SHALL INCLUDE THE REPLACEMENT OR THE REPAIR OF ANY OTHER PHASE OF THE INSTALLATION, WHICH MAY HAVE BEEN DAMAGED THEREIN.
- ADEQUATE AND REQUIRED LIABILITY INSURANCE SHALL BE PROVIDED FOR PROTECTION AGAINST PUBLIC LOSS AND ANY/ALL PROPERTY DAMAGE FOR THE DURATION OF WORK.
- PROVIDE AND INSTALL CONDUIT, CONDUCTORS, PULL WIRES, BOXES, COVER PLATES AND DEVICES FOR ALL OUTLETS AS INDICATED.
- DITCHING AND BACK FILL: CONTRACTOR SHALL PROVIDE FOR ALL UNDERGROUND INSTALLED CONDUIT AND/OR CABLES INCLUDING EXCAVATION AND BACKFILLING AND COMPACTION. REFER TO NOTES AND REQUIREMENTS 'EXCAVATION, AND BACKFILLING.
- MATERIALS, PRODUCTS AND EQUIPMENT, INCLUDING ALL COMPONENTS THEREOF, SHALL BE NEW AND SHALL APPEAR ON THE LIST OF U.L. APPROVED ITEMS AND SHALL MEET OR EXCEED THE REQUIREMENTS OF THE NEC, NEMA AND IEEE.
- CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OR MANUFACTURERS CATALOG INFORMATION OF ANY/ALL LIGHTING FIXTURES, SWITCHES AND ALL OTHER ELECTRICAL ITEMS FOR APPROVAL BY THE CONSTRUCTION MANAGER PRIOR TO INSTALLATION.
- ANY CUTTING OR PATCHING DEEMED NECESSARY FOR ELECTRICAL WORK IS THE ELECTRICAL CONTRACTORS RESPONSIBILITY AND SHALL BE INCLUDED IN THE COST FOR WORK AND PERFORMED TO THE SATISFACTION OF THE 'CONSTRUCTION MANAGER' UPON FINAL ACCEPTANCE.
- THE ELECTRICAL CONTRACTOR SHALL LABEL ALL PANELS WITH ONLY TYPEWRITTEN DIRECTORIES. ALL ELECTRICAL WIRING SHALL BE THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR.
- DISCONNECT SWITCHES SHALL BE H.P. RATED HEAVY-DUTY, QUICK-MAKE AND QUICK-BREAK ENCLOSURES, AS REQUIRED BY EXPOSURE TYPE.
- ALL CONNECTIONS SHALL BE MADE WITH A PROTECTIVE COATING OF AN ANTI-OXIDE COMPOUND SUCH AS "NO-OXIDE A" BY DEARBORNE CHEMICAL CO. COAT ALL WIRE SURFACES BEFORE CONNECTING. EXPOSED COPPER SURFACES, INCLUDING GROUND BARS, SHALL BE TREATED - NO SUBSTITUTIONS.
- ALL EXTERIOR ABOVE GROUND CONDUIT SHALL BE RIGID UNLESS OTHERWISE SPECIFIED. ALL BURIED CONDUITS SHALL BE SCH 40 PVC UNLESS OTHERWISE SPECIFIED. ALL INTERIOR CONDUITS SHALL BE EMT UNLESS OTHERWISE SPECIFIED.
- RACEWAYS: CONDUIT SHALL BE SCHEDULE 40 PVC MEETING OR EXCEEDING NEMA TC2 - 1990. CONTRACTOR SHALL PLUG AND CAP EACH END OF SPARE AND EMPTY CONDUITS AND PROVIDE TWO SEPARATE PULL STRINGS - 200 LBS TEST POLYETHYLENE CORD. ALL CONDUIT BENDS SHALL BE A MINIMUM OF 2 FT. RADIUS. RGS CONDUITS WHEN SPECIFIED, SHALL MEET UL-6 FOR GALVANIZED STEEL. ALL FITTINGS SHALL BE SUITABLE FOR USE WITH THREADED RIGID CONDUIT. COAT ALL THREADS WITH 'BRITZ ZINC' OR 'GOLD GALV'.
- SUPPORT OF ALL ELECTRICAL WORK SHALL BE AS REQUIRED BY NEC.
- CONDUCTORS: CONTRACTOR SHALL USE 98% CONDUCTIVITY COPPER WITH TYPE (THWN-2) INSULATION, 600 VOLT, COLOR CODED. UNLESS SPECIFIED DIFFERENT ON DRAWINGS.
- CONNECTORS FOR POWER CONDUCTORS: CONTRACTOR SHALL USE PRESSURE TYPE INSULATED TWIST-ON CONNECTORS FOR NO. 10 AWG AND SMALLER. USE SOLDERLESS MECHANICAL TERMINAL LUGS FOR NO. 8 AWG AND LARGER.
- CONTRACTOR SHALL PLACE TWO LENGTHS OF WARNING TAPE AT A DEPTH OF 12" BELOW GROUND AND DIRECTLY ABOVE ELECTRICAL SERVICE CONDUITS. CAUTIONS TAPE TO READ "CAUTION BURIED ELECTRIC".
- WHEN DIRECTIONAL BORING IS REQUIRED, CONTRACTOR SHALL INSTALL A LOOSE TONING WIRE WITHIN INSTALLED CONDUIT TO ALLOW FOR IDENTIFICATION OF UNDERGROUND CONDUITS.
- ALL BOLTS SHALL BE STAINLESS STEEL.
- ALL ELECTRICAL CIRCUITS INSTALLED SHALL UTILIZE (THWN-2) CONDUCTOR AND SHEATHING.



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(913) 456-2000

PROJECT NO:	179056
DRAWN BY:	JW
CHECKED BY:	MBG

REV	DATE	DESCRIPTION
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B	06/26/13	REISSUED FOR 30% REVIEW
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SHEET NUMBER
GENERAL NOTES 1

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GN-1

REINFORCED CONCRETE NOTES

- CONCRETE SHALL ATTAIN A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI IN 28 DAYS; CONTINUOUS INSPECTION IS NOT REQUIRED.
SLUMP: 4" MIN./6" MAX.
AIR ENTRAINMENT: 4 1/2% - 7% BY VOLUME
- REINFORCEMENT SHALL BE A NEW BILLET STEEL DEFORMED BARS CONFORMING TO ASTM SPECIFICATION A615 GRADE 60. MAXIMUM COARSE AGGREGATE SIZE SHALL BE 3/4".
- REINFORCEMENT SHALL COMPLY WITH THE LATEST EDITION OF ACI-318 FOR MINIMUM CLEARANCES.
- ALL EMBEDDED ITEMS SHALL BE SECURELY HELD IN POSITION PRIOR TO PLACEMENT OF CONCRETE. ALL CONCRETE SHALL BE READY-MIXED IN ACCORDANCE WITH ASTM C94.
- MAINTAIN TEMPERATURE OF CAST IN PLACE CONCRETE BETWEEN 50 DEGREES AND 90 DEGREES FAHRENHEIT.
- DO NOT USE RETEMPERED CONCRETE, OR ADD WATER TO READY-MIX CONCRETE AT THE JOB SITE.
- WELDED WIRE FABRIC: ASTM A185.
- EXCEPT AS DETAILED OR AUTHORIZED. MAKE BARS CONTINUOUS AROUND CORNERS. WHERE PERMITTED, SPLICES MADE BY CONTACT LAPS SHALL BE CLASS "B" TENSION LAPS UNLESS NOTED OTHERWISE.
- DETAIL BARS IN ACCORDANCE WITH "ACI DETAILING MANUAL - 2004, PUBLICATION SP-66" AND "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE", ACI 318-08.
- PROVIDE ACCESSORIES NECESSARY TO PROPERLY SUPPORT REINFORCING.

GENERAL SITE WORK AND DRAINAGE NOTES

PART 1 - GENERAL

CLEARING, GRUBBING, STRIPPING, EROSION CONTROL, SURVEY, LAYOUT, SUBGRADE PREPARATION AND FINISH GRADING AS REQUIRED TO COMPLETE THE PROPOSED WORK SHOWN IN THESE PLANS.

1.1 REFERENCES:

- DOT (STATE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION-CURRENT EDITION).
- ASTM (AMERICAN SOCIETY FOR TESTING AND MATERIALS).
- OSHA (OCCUPATION SAFETY AND HEALTH ADMINISTRATION).

1.2 INSPECTION AND TESTING:

- FIELD TESTING OF EARTHWORK COMPACTION AND CONCRETE CYLINDERS SHALL BE PERFORMED BY SUBCONTRACTORS INDEPENDENT TESTING LAB. THIS WORK TO BE COORDINATED BY THE SUBCONTRACTOR.
- ALL WORK SHALL BE INSPECTED AND RELEASED BY THE GENERAL CONTRACTOR WHO SHALL CARRY OUT THE GENERAL INSPECTION OF THE WORK WITH SPECIFIC CONCERN TO PROPER PERFORMANCE OF THE WORK AS SPECIFIED AND/OR CALLED FOR ON THE DRAWINGS. IT IS THE SUBCONTRACTOR'S RESPONSIBILITY TO REQUEST TIMELY INSPECTIONS PRIOR TO PROCEEDING WITH FURTHER WORK THAT WOULD MAKE PARTS OF WORK INACCESSIBLE OR DIFFICULT TO INSPECT.

1.3 SITE MAINTENANCE AND PROTECTION:

- PROVIDE ALL NECESSARY JOB SITE MAINTENANCE FROM COMMENCEMENT OF WORK UNTIL COMPLETION OF THE SUBCONTRACT.
- AVOID DAMAGE TO THE SITE AND TO EXISTING FACILITIES, STRUCTURES, TREES, AND SHRUBS DESIGNATED TO REMAIN. TAKE PROTECTIVE MEASURES TO PREVENT EXISTING FACILITIES THAT ARE NOT DESIGNATED FOR REMOVAL FROM BEING DAMAGED BY THE WORK.
- KEEP SITE FREE OF ALL PONDING WATER.
- PROVIDE EROSION CONTROL MEASURES IN ACCORDANCE WITH STATE DOT AND EPA REQUIREMENTS.
- PROVIDE AND MAINTAIN ALL TEMPORARY FENCING, BARRICADES, WARNING SIGNALS AND SIMILAR DEVICES NECESSARY TO PROTECT AGAINST THEFT FROM PROPERTY DURING THE ENTIRE PERIOD OF CONSTRUCTION. REMOVE ALL SUCH DEVICES UPON COMPLETION OF THE WORK.
- EXISTING UTILITIES: DO NOT INTERRUPT EXISTING UTILITIES SERVING FACILITIES OCCUPIED BY THE OWNER OR OTHERS, EXCEPT WHEN PERMITTED IN WRITING BY THE ENGINEER AND THEN ONLY AFTER ACCEPTABLE TEMPORARY UTILITY SERVICES HAVE BEEN PROVIDED.

- PROVIDE A MINIMUM 48-HOUR NOTICE TO THE ENGINEER AND RECEIVE WRITTEN NOTICE TO PROCEED BEFORE INTERRUPTING ANY UTILITY SERVICE.

GENERAL SITE WORK AND DRAINAGE NOTES CONT.

PART 2 - PRODUCTS

- SUITABLE BACKFILL: ASTM D2321 (CLASS I, II, III OR IVA) FREE FROM FROZEN LUMPS, REFUSE, STONES OR ROCKS LARGER THAN 3 INCHES IN ANY DIMENSION OR OTHER MATERIAL THAT MAY MAKE THE INORGANIC MATERIAL UNSUITABLE FOR BACKFILL.
- NON-POROUS GRANULAR EMBANKMENT AND BACKFILL: ASTM D2321 (CLASS III, IVA OR IVB) COARSE AGGREGATE. FREE FROM FROZEN LUMPS, REFUSE, STONES OR ROCKS LARGER THAN 3 INCHES IN ANY DIMENSION OR OTHER MATERIAL THAT MAY MAKE THE INORGANIC MATERIAL UNSUITABLE FOR BACKFILL.
- POROUS GRANULAR EMBANKMENT AND BACKFILL: ASTM D2321 (CLASS IA, IB OR II) COARSE AGGREGATE FREE FROM FROZEN LUMPS, REFUSE, STONES OR ROCKS LARGER THAN 3 INCHES IN ANY DIMENSION OR OTHER MATERIAL THAT MAY MAKE THE INORGANIC MATERIAL UNSUITABLE FOR BACKFILL.
- SELECT STRUCTURAL FILL: GRANULAR FILL MATERIAL MEETING THE REQUIREMENTS OF ASTM E850-95. FOR USE AROUND AND UNDER STRUCTURES WHERE STRUCTURAL FILL MATERIAL ARE REQUIRED.
- GRANULAR BEDDING AND TRENCH BACKFILL: WELL-GRADED SAND MEETING THE GRADATION REQUIREMENTS OF ASTM D2487 (SE OR SW-SM).
- COARSE AGGREGATE FOR ACCESS ROAD SUBBASE COURSE SHALL CONFORM TO ASTM D2940.
- UNSUITABLE MATERIAL: HIGH AND MODERATELY PLASTIC SILTS AND CLAYS (LL>45). MATERIAL CONTAINING REFUSE, FROZEN LUMPS, DEMOLISHED BITUMINOUS MATERIAL, VEGETATIVE MATTER, WOOD, STONES IN EXCESS OF 3 INCHES IN ANY DIMENSION, AND DEBRIS AS DETERMINED BY THE CONSTRUCTION MANAGER. TYPICAL THESE WILL BE SOILS CLASSIFIED BY ASTM AS PT, MH, CH, OH, ML, AND OL.

PART 3 - EXECUTION

3.1 GENERAL:

- BEFORE STARTING GENERAL SITE PREPARATION ACTIVITIES, INSTALL EROSION AND SEDIMENT CONTROL MEASURES. THE WORK AREA SHALL BE CONSTRUCTED AND MAINTAINED IN SUCH CONDITION THAT IN THE EVENT OF RAIN THE SITE WILL BE DRAINED AT ANY TIME.
- BEFORE ALL SURVEY, LAYOUT, STAKING, AND MARKING, ESTABLISH AND MAINTAIN ALL LINES, GRADES, ELEVATIONS AND BENCHMARKS NEEDED FOR EXECUTION OF THE WORK.
- CLEAR AND GRUB THE AREA WITHIN THE LIMITS OF THE SITE. REMOVE TREES, BRUSH, STUMPS, RUBBISH AND OTHER DEBRIS AND VEGETATION RESTING ON OR PROTRUDING THROUGH THE SURFACE OF THE SITE AREA TO BE CLEARED.

- REMOVE THE FOLLOWING MATERIALS TO A DEPTH OF NO LESS THAN 12 INCHES BELOW THE ORIGINAL GROUND SURFACE: ROOTS, STUMPS, AND OTHER DEBRIS, BRUSH, AND REFUSE EMBEDDED IN OR PROTRUDING THROUGH THE GROUND SURFACE, RAKE, DISK OR PLOW THE AREA TO A DEPTH OF NO LESS THAN 6 INCHES, AND REMOVE TO A DEPTH OF 12 INCHES ALL ROOTS AND OTHER DEBRIS THEREBY EXPOSED.
- REMOVE TOPSOIL MATERIAL COMPLETELY FROM THE SURFACE UNTIL THE SOIL NO LONGER MEETS THE DEFINITION OF TOPSOIL. AVOID MIXING TOPSOIL WITH SUBSOIL OR OTHER UNDESIRABLE MATERIALS.
- EXCEPT WHERE EXCAVATION TO GREATER DEPTH IS INDICATED, FILL DEPRESSIONS RESULTING FROM CLEARING, GRUBBING AND DEMOLITION WORK COMPLETELY WITH SUITABLE FILL.

- REMOVE FROM THE SITE AND DISPOSE IN AN AUTHORIZED LANDFILL ALL DEBRIS RESULTING FROM CLEARING AND GRUBBING OPERATIONS. BURNING WILL NOT BE PERMITTED.
- PRIOR TO EXCAVATING, THOROUGHLY EXAMINE THE AREA TO BE EXCAVATED AND/OR TRENCHED TO VERIFY THE LOCATIONS OF FEATURES INDICATED ON THE DRAWINGS AND TO ASCERTAIN THE EXISTENCE AND LOCATION OF ANY STRUCTURE, UNDERGROUND STRUCTURE, OR OTHER ITEM NOT SHOWN THAT MIGHT INTERFERE WITH THE PROPOSED CONSTRUCTION. NOTIFY THE CONSTRUCTION MANAGER OF ANY OBSTRUCTIONS THAT WILL PREVENT ACCOMPLISHMENT OF THE WORK AS INDICATED ON THE DRAWINGS.

- SEPARATE AND STOCK PILE ALL EXCAVATED MATERIALS SUITABLE FOR BACKFILL. ALL EXCESS EXCAVATED AND UNSUITABLE MATERIALS SHALL BE DISPOSED OF OFF-SITE IN A LEGAL MANNER.

3.2 BACKFILL:

- AS SOON AS PRACTICAL, AFTER COMPLETING CONSTRUCTION OF THE RELATED STRUCTURE, INCLUDING EXPIRATION OF THE SPECIFIED MINIMUM CURING PERIOD FOR CAST-IN-PLACE CONCRETE, BACKFILL THE EXCAVATION WITH APPROVED MATERIAL TO RESTORE THE REQUIRED FINISHED GRADE.

- PRIOR TO PLACING BACKFILL AROUND STRUCTURES, ALL FORMS SHALL BE REMOVED AND THE EXCAVATION CLEANED OF ALL TRASH, DEBRIS, AND UNSUITABLE MATERIALS.
- BACKFILL BY PLACING AND COMPACTING SUITABLE BACKFILL MATERIAL OR SELECT GRANULAR BACKFILL MATERIAL WHEN REQUIRED IN UNIFORM HORIZONTAL LAYERS OF NO GREATER THAN 8-INCHES LOOSE THICKNESS AND COMPACTED. WHERE HAND OPERATED COMPACTORS ARE USED, THE FILL MATERIAL SHALL BE PLACED IN LIFTS NOT TO EXCEED 4 INCHES IN LOOSE DEPTH AND COMPACTED.

- WHENEVER THE DENSITY TESTING INDICATES THAT THE CONTRACTOR HAS NOT OBTAINED THE SPECIFIED DENSITY, THE SUCCEEDING LAYER SHALL NOT BE PLACED UNTIL THE SPECIFICATION REQUIREMENTS ARE MET UNLESS OTHERWISE AUTHORIZED BY THE GEOTECHNICAL ENGINEER. THE CONTRACTOR SHALL TAKE WHATEVER APPROPRIATE ACTION IS NECESSARY, SUCH AS DISKING AND DRYING, ADDING WATER, OR INCREASING THE COMPACTIVE EFFORT TO MEET THE MINIMUM COMPACTION REQUIREMENTS.

- THOROUGHLY COMPACT EACH LAYER OF BACKFILL TO A MINIMUM OF 95 PERCENT OF THE MAXIMUM DRY DENSITY AS PROVIDED BY THE STANDARD PROCTOR TEST, ASTM D 698.

3.3 TRENCH EXCAVATION:

- UTILITY TRENCHES SHALL BE EXCAVATED TO THE LINES AND GRADES SHOWN ON THE DRAWINGS OR AS DIRECTED BY THE GENERAL CONTRACTOR. PROVIDE SHORING, SHEETING AND BRACING AS REQUIRED TO PREVENT CAVING OR SLOUGHING OF THE TRENCH WALLS.
- EXTEND THE TRENCH WIDTH A MINIMUM OF 6 INCHES BEYOND THE OUTSIDE EDGE OF THE OUTERMOST CONDUIT.
- WHEN SOFT YIELDING, OR OTHERWISE UNSTABLE SOIL CONDITIONS ARE ENCOUNTERED, BACKFILL AT THE REQUIRED TRENCH TO A DEPTH OF NO LESS THAN 12 INCHES BELOW THE REQUIRED ELEVATION AND BACKFILL WITH GRANULAR BEDDING MATERIAL.

3.4 TRENCH BACKFILL:

- PROVIDE GRANULAR BEDDING MATERIAL IN ACCORDANCE WITH THE DRAWINGS AND THE UTILITY REQUIREMENTS.
- NOTIFY THE GENERAL CONTRACTOR 24 HOURS IN ADVANCE OF BACKFILLING.
- CONDUCT UTILITY CHECK TESTS BEFORE BACKFILLING. BACKFILL AND COMPACT TRENCH BEFORE ACCEPTANCE TESTING.
- PLACE GRANULAR TRENCH BACKFILL UNIFORMLY ON BOTH SIDES OF THE CONDUITS IN 6-INCH UNCOMPACTED LIFTS UNTIL 12 INCHES OVER THE CONDUITS. SOLIDLY RAM AND TAMP BACKFILL INTO SPACE AROUND CONDUITS.
- PROTECT CONDUIT FROM LATERAL MOVEMENT, IMPACT DAMAGE, OR UNBALANCED LOADING.
- ABOVE THE CONDUIT EMBEDMENT ZONE, PLACE AND COMPACT SATISFACTORY BACKFILL MATERIAL IN 8-INCH MAXIMUM LOOSE THICKNESS LIFTS TO RESTORE THE REQUIRED FINISHED SURFACE GRADE.
- COMPACT FINAL TRENCH BACKFILL TO A DENSITY EQUAL TO OR GREATER THAN THAT OF THE EXISTING UNDISTURBED MATERIAL IMMEDIATELY ADJACENT TO THE TRENCH BUT NO LESS THAN A MINIMUM OF 95 PERCENT OF THE MAXIMUM DRY DENSITY AS PROVIDED BY THE STANDARD PROCTOR TEST, ASTM D 698.

3.5 FINISH GRADING:

- PERFORM ALL GRADING TO PROVIDE POSITIVE DRAINAGE AWAY FROM STRUCTURES AND SMOOTH, EVEN SURFACE DRAINAGE OF THE ENTIRE AREA WITHIN THE LIMITS OF CONSTRUCTION. GRADING SHALL BE COMPATIBLE WITH ALL SURROUNDING TOPOGRAPHY AND STRUCTURES.
- UTILIZE SATISFACTORY FILL MATERIAL RESULTING FROM THE EXCAVATION WORK IN THE CONSTRUCTION OF FILLS, EMBANKMENTS AND FOR REPLACEMENT OF REMOVED UNSUITABLE MATERIALS.
- ACHIEVE FINISHED GRADE BY PLACING A MINIMUM OF 4 INCHES OF 1/2" - 3/4" CRUSHED STONE ON TOP SOIL STABILIZER FABRIC.
- REPAIR ALL ACCESS ROADS AND SURROUNDING AREAS USED DURING THE COURSE OF THIS WORK TO THEIR ORIGINAL CONDITION.

3.6 ASPHALT PAVING ROAD:

WISCONSIN STANDARD SPECIFICATION

PART 4 - WISCONSIN DEPARTMENT OF TRANSPORTATION PAVEMENT



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OVERLAND PARK, KS 66210
(913) 458-2000

PROJECT NO:	179056
DRAWN BY:	JW
CHECKED BY:	MBG

REV	DATE	DESCRIPTION
C	07/09/13	ISSUED FOR 90% REVIEW
B	05/28/13	REISSUED FOR 30% REVIEW
A	08/25/13	ISSUED FOR 30% REVIEW

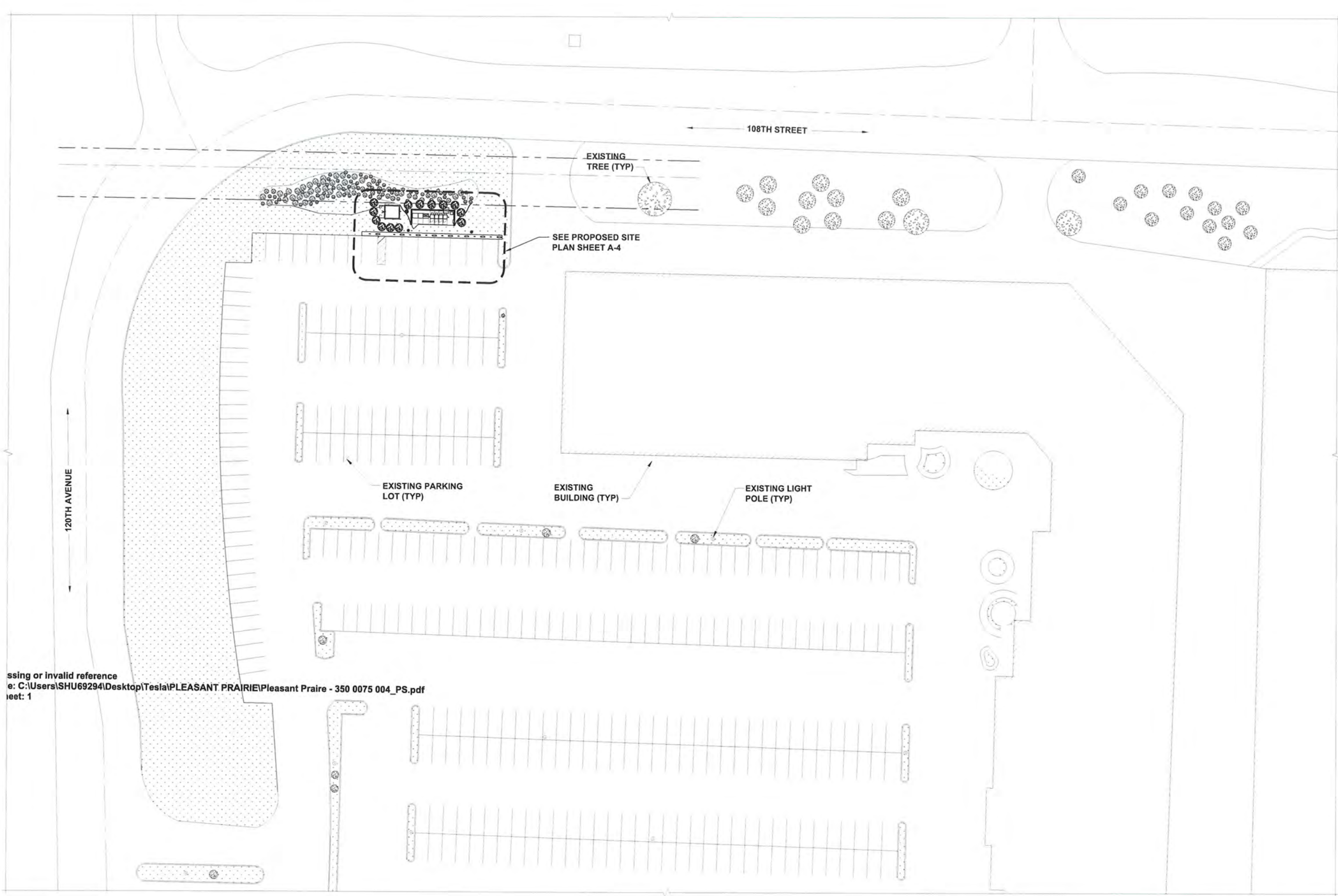
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11211 120TH AVENUE
PLEASANT PRAIRIE, WI 53158

SHEET NUMBER
GENERAL NOTES 2

SHEET NUMBER
GN-2



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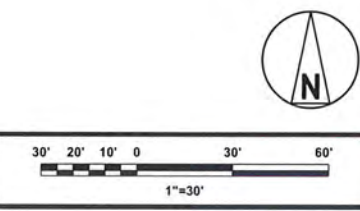
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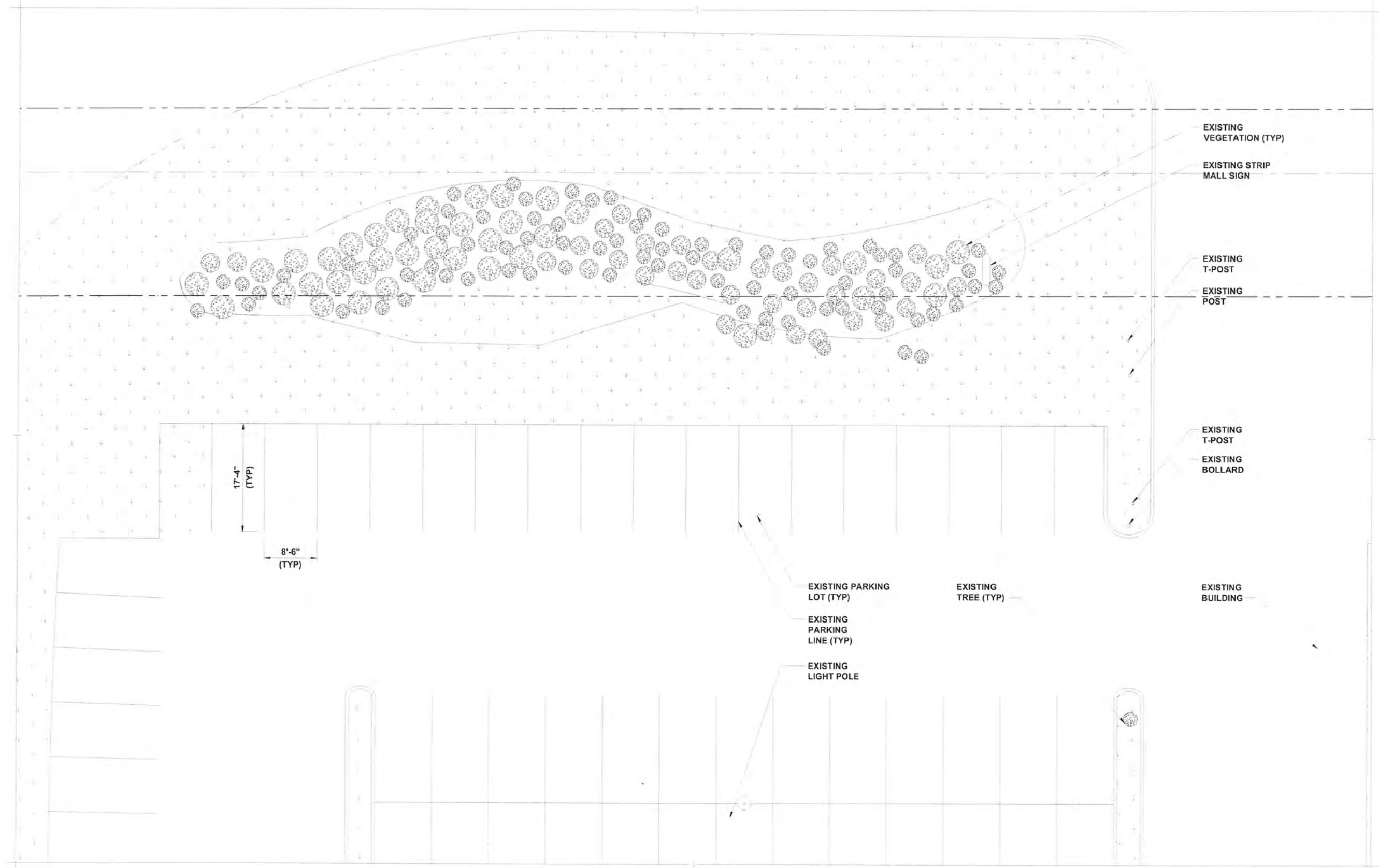
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SHEET NUMBER
OVERALL SITE PLAN

SHEET NUMBER
A-1

OVERALL SITE PLAN





EXISTING VEGETATION (TYP)
 EXISTING STRIP MALL SIGN

EXISTING T-POST
 EXISTING POST

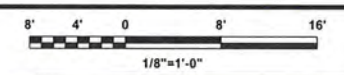
EXISTING T-POST
 EXISTING BOLLARD

EXISTING PARKING LOT (TYP)
 EXISTING PARKING LINE (TYP)
 EXISTING LIGHT POLE
 EXISTING TREE (TYP)

EXISTING BUILDING

17'-4"
(TYP)

8'-6"
(TYP)



EXISTING SITE PLAN



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SHEET NUMBER
EXISTING SITE PLAN

SHEET NUMBER
A-2



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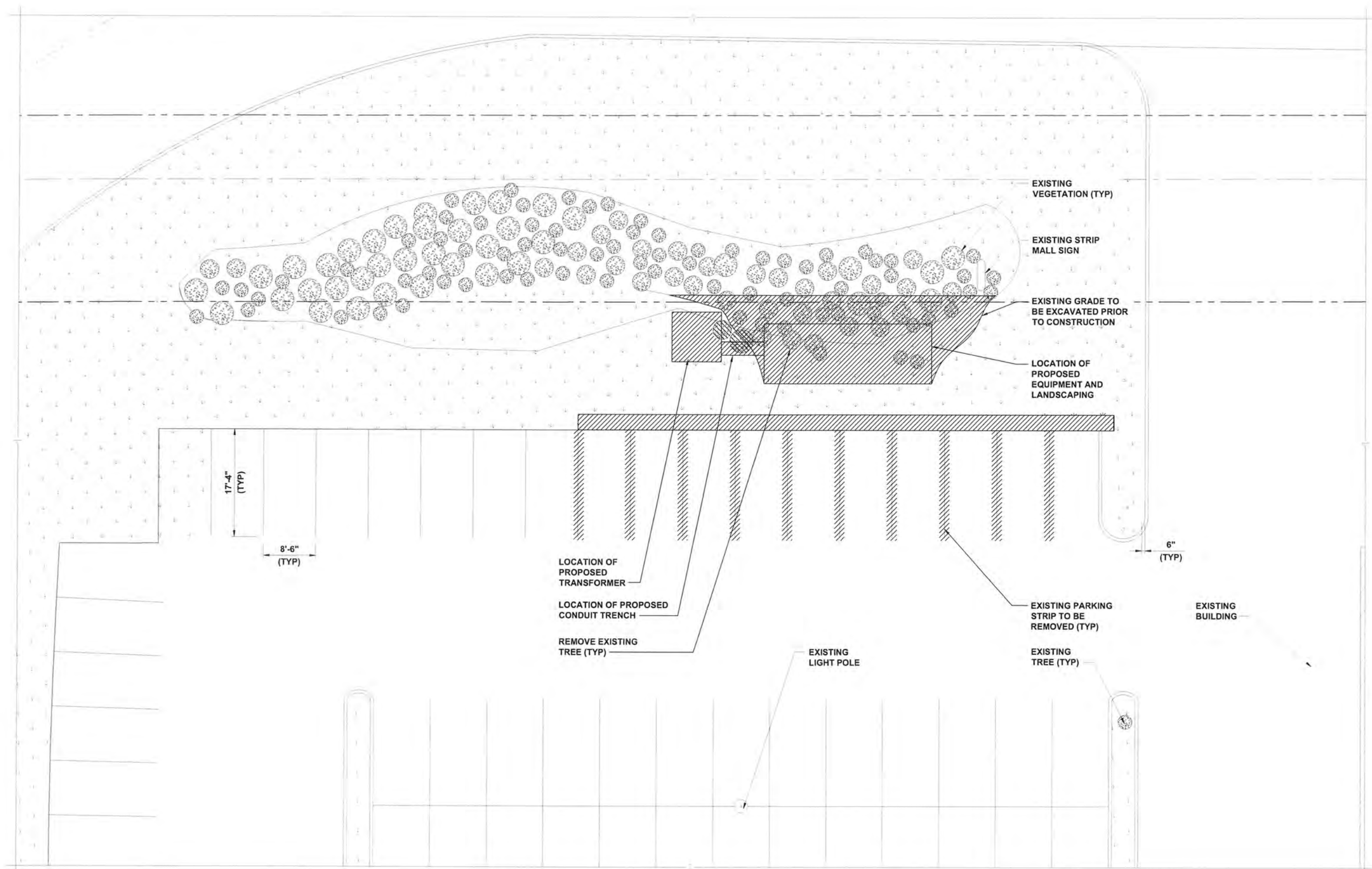
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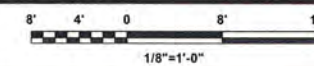
WI002_PLEASANT PRAIRIE
PLEASANT PRAIRIE OUTLETS
11211 120TH AVENUE
PLEASANT PRAIRIE, WI 53158

SHEET NUMBER
DEMOLITION SITE PLAN

SHEET NUMBER
A-3



DEMOLITION SITE PLAN





PROJECT NO: 179056
DRAWN BY: JW
CHECKED BY: MBG

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C	07/09/13	ISSUED FOR 90% REVIEW
B	06/26/13	REISSUED FOR 30% REVIEW
A	06/25/13	ISSUED FOR 30% REVIEW

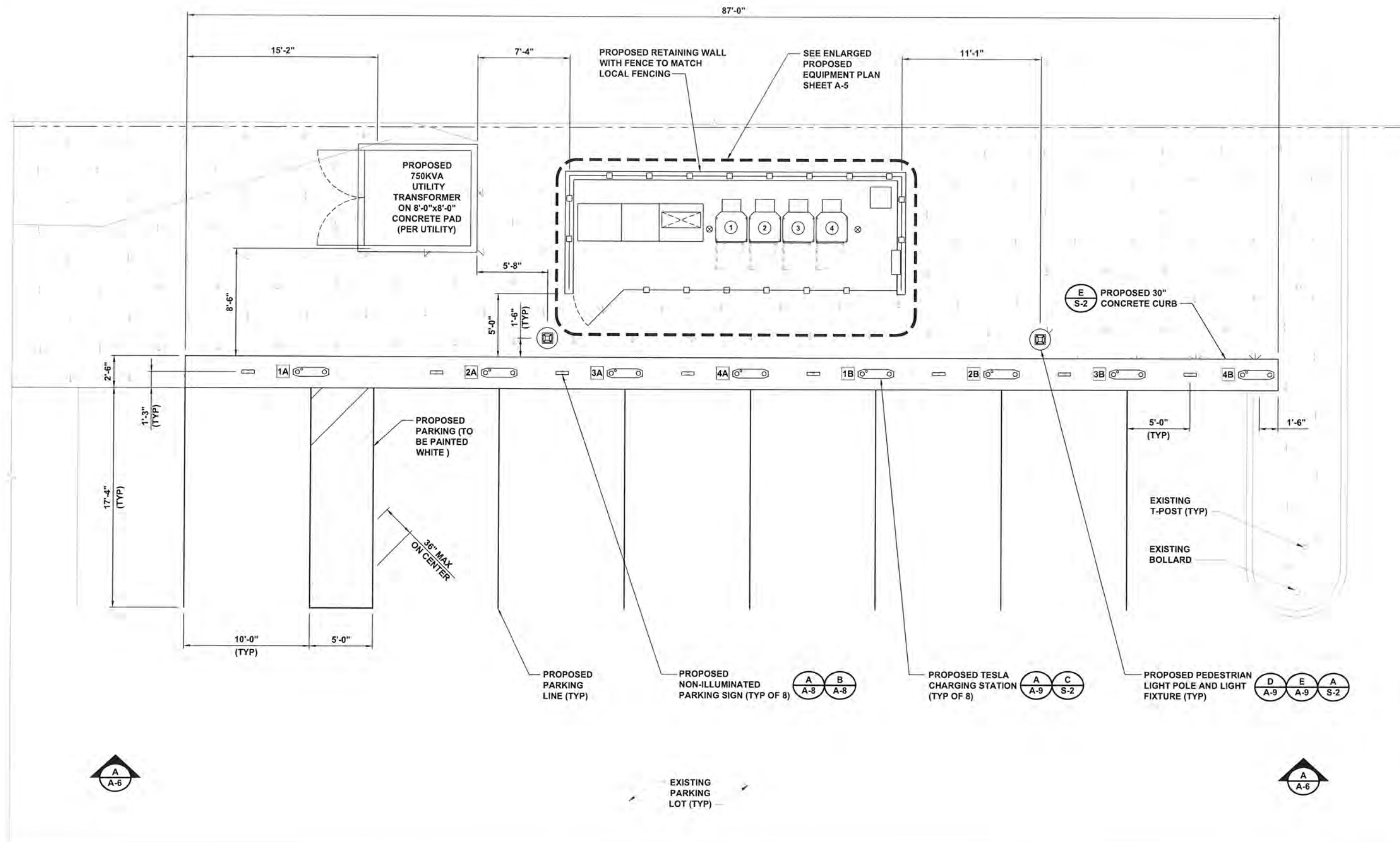
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PLEASANT PRAIRIE OUTLETS
11211 120TH AVENUE
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SHEET NUMBER
PROPOSED SITE PLAN

SHEET NUMBER
A-4



PROPOSED SITE PLAN





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(650) 681-5000



BLACK & VEATCH

10950 GRANDVIEW DRIVE
OVERLAND PARK, KS 66210
(913) 458-2000

PROJECT NO: 179056
DRAWN BY: JW
CHECKED BY: MBG

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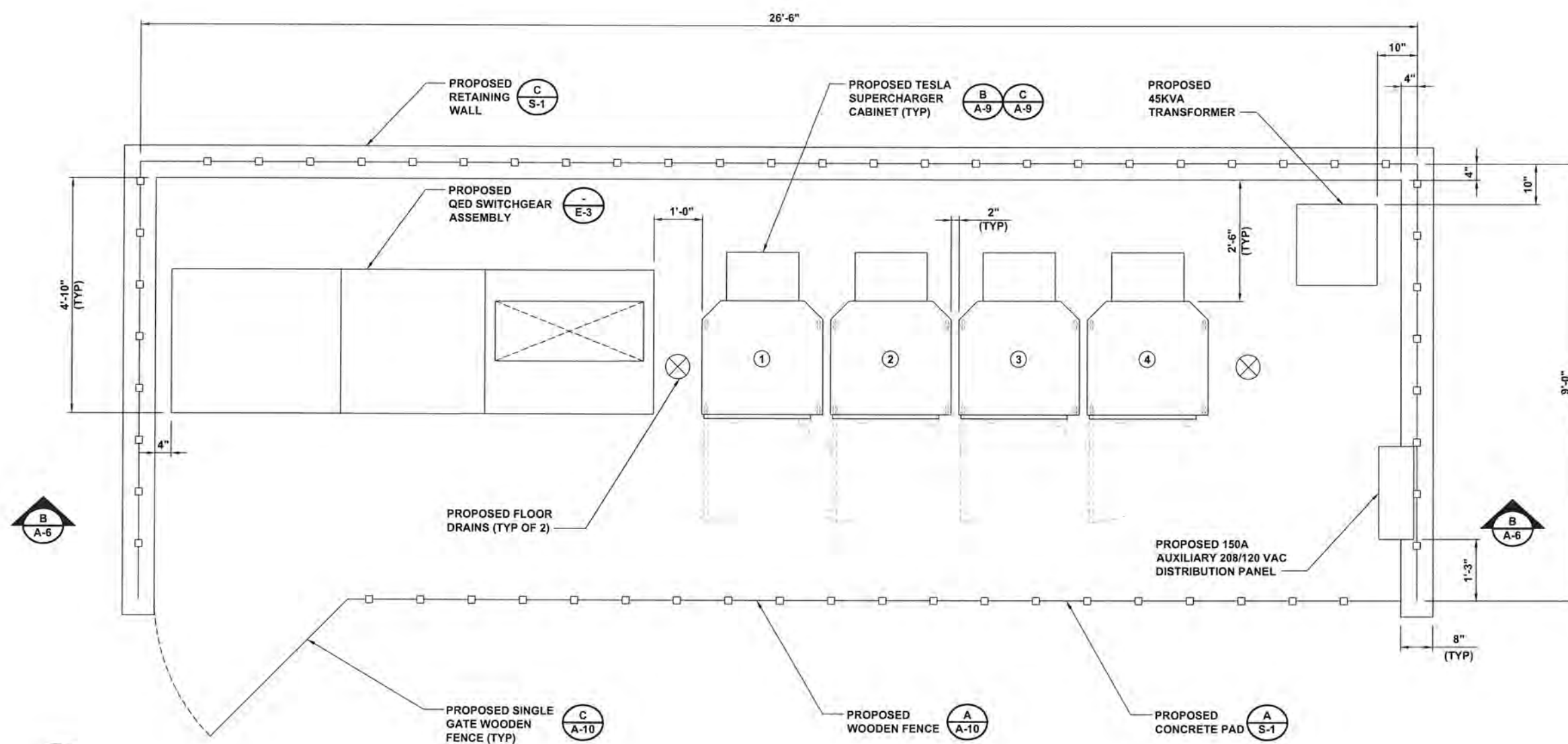
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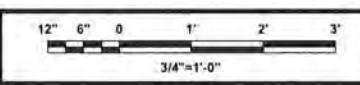
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PLEASANT PRAIRIE OUTLETS
11211 120TH AVENUE
PLEASANT PRAIRIE, WI 53158

SHEET NUMBER
**ENLARGED PROPOSED
EQUIPMENT LAYOUT**

SHEET NUMBER
A-5



ENLARGED PROPOSED EQUIPMENT LAYOUT





PROJECT NO: 179056
DRAWN BY: JW
CHECKED BY: MBG

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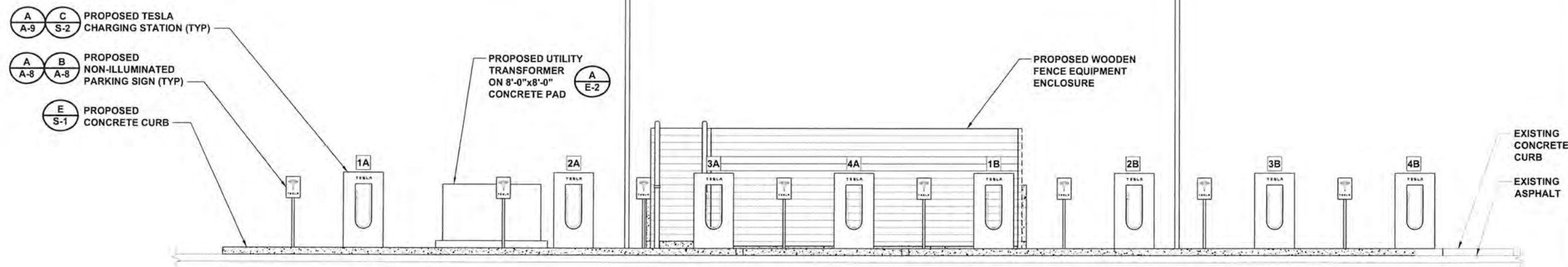
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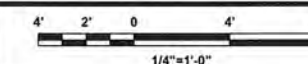
WI002_PLEASANT PRAIRIE
PLEASANT PRAIRIE OUTLETS
11211 120TH AVENUE
PLEASANT PRAIRIE, WI 53158

SHEET NUMBER
SITE ELEVATIONS

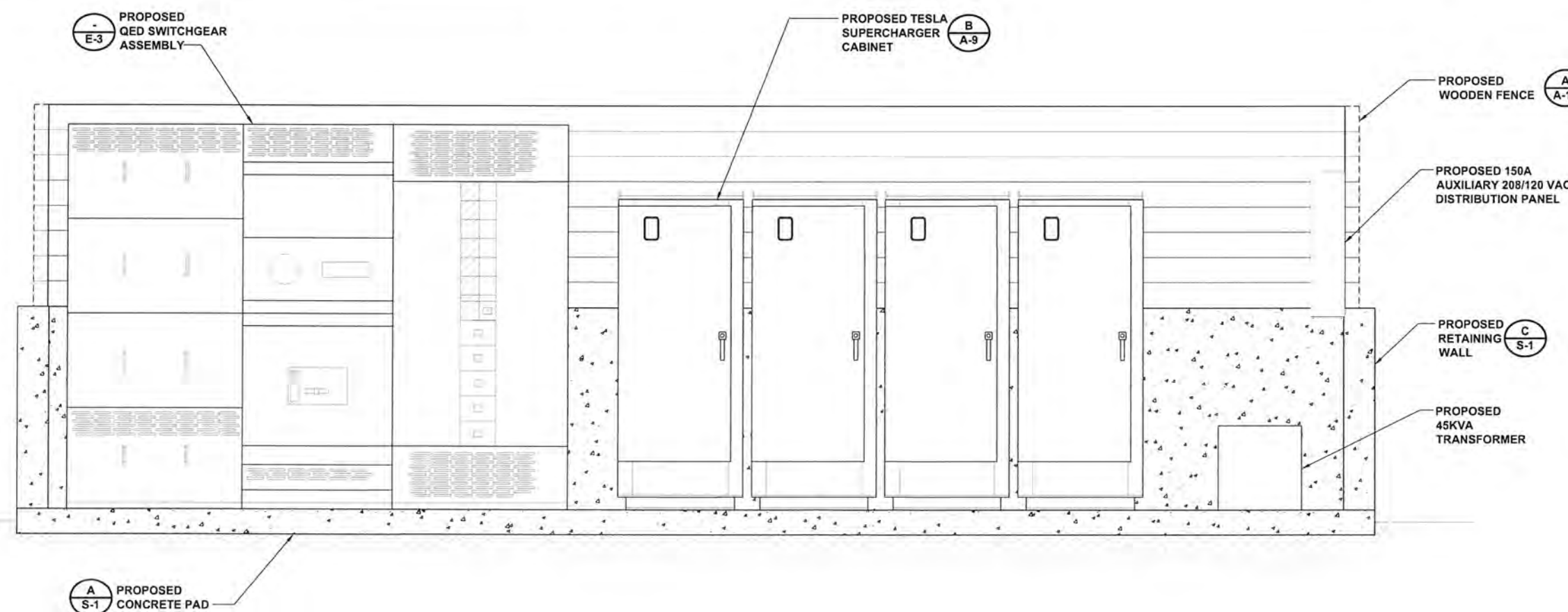
SHEET NUMBER
A-6



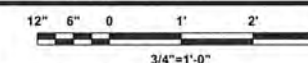
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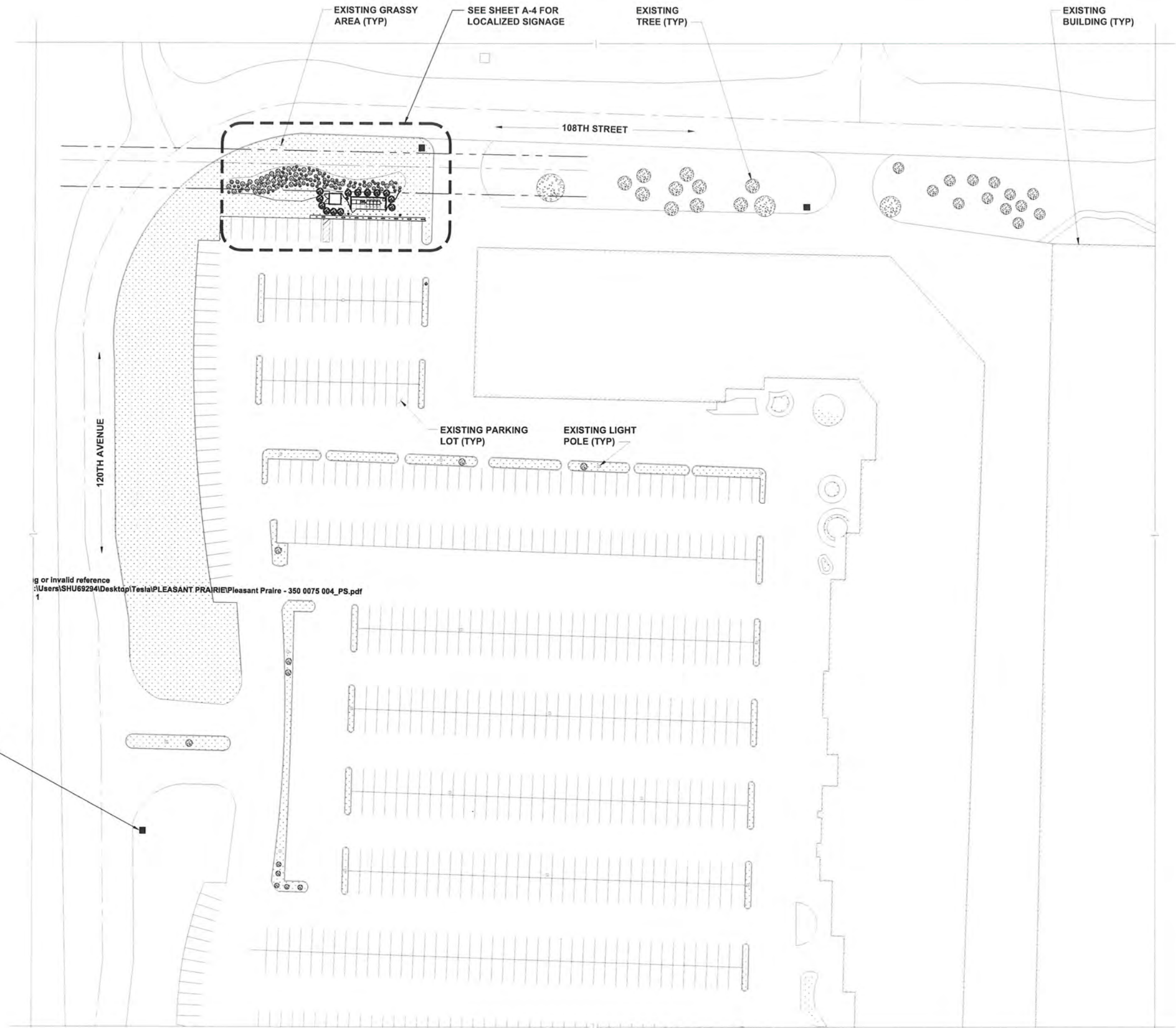
A



SITE ELEVATION



B



Invalid reference
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10950 GRANDVIEW DRIVE
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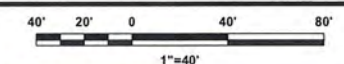
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 PLEASANT PRAIRIE OUTLETS
 11211 120TH AVENUE
 PLEASANT PRAIRIE, WI 53158

SHEET NUMBER
SIGNAGE SITE PLAN

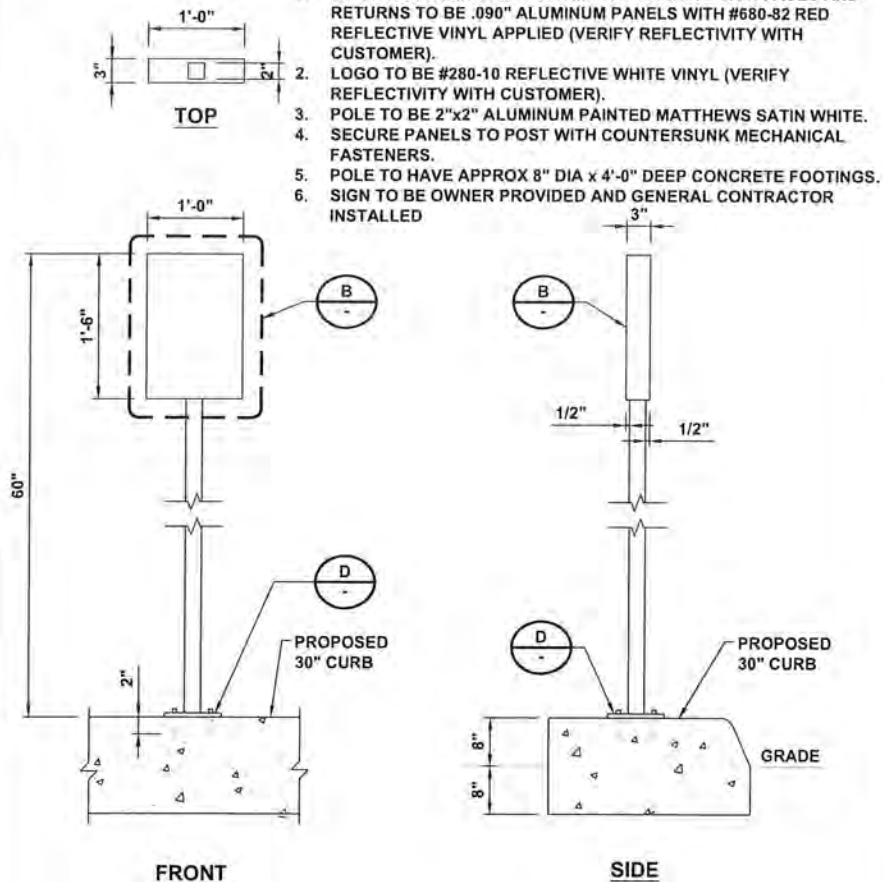
SHEET NUMBER
A-7

SIGNAGE SITE PLAN



NOTES

1. D/F NON-ILLUMINATED POLE MOUNT PARKING SIGN FACES AND RETURNS TO BE .090" ALUMINUM PANELS WITH #680-82 RED REFLECTIVE VINYL APPLIED (VERIFY REFLECTIVITY WITH CUSTOMER).
2. LOGO TO BE #280-10 REFLECTIVE WHITE VINYL (VERIFY REFLECTIVITY WITH CUSTOMER).
3. POLE TO BE 2"x2" ALUMINUM PAINTED MATTHEWS SATIN WHITE.
4. SECURE PANELS TO POST WITH COUNTERSUNK MECHANICAL FASTENERS.
5. POLE TO HAVE APPROX 8" DIA x 4'-0" DEEP CONCRETE FOOTINGS.
6. SIGN TO BE OWNER PROVIDED AND GENERAL CONTRACTOR INSTALLED

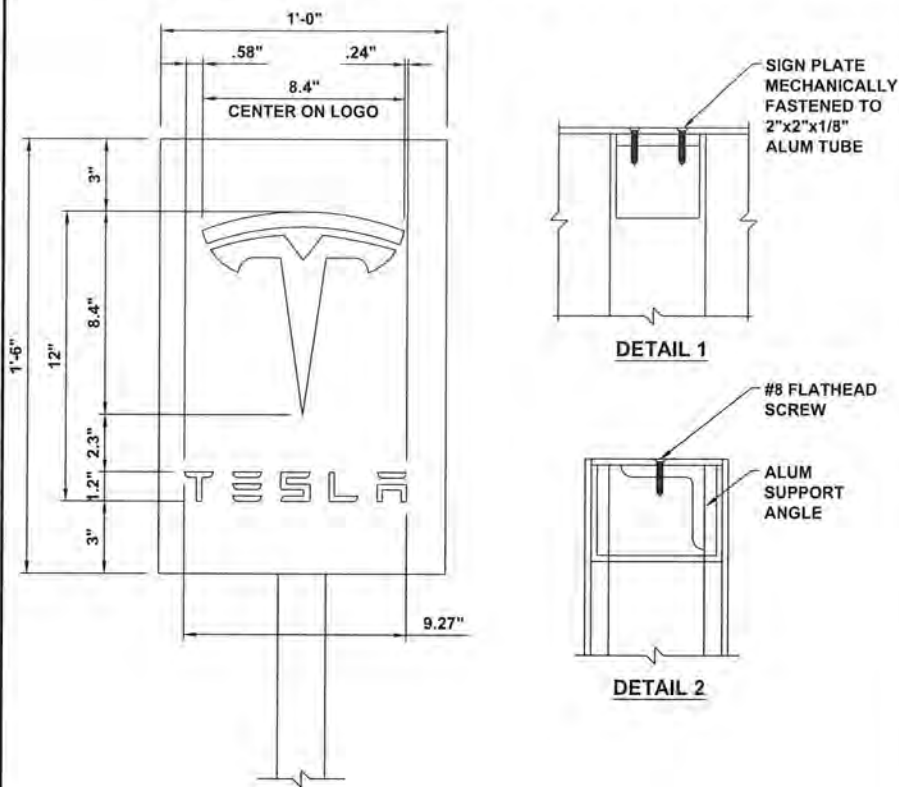


NON-ILLUMINATED PARKING SIGN ON PROPOSED CURB DETAIL

NO SCALE

A

TO BE PROVIDED BY TESLA

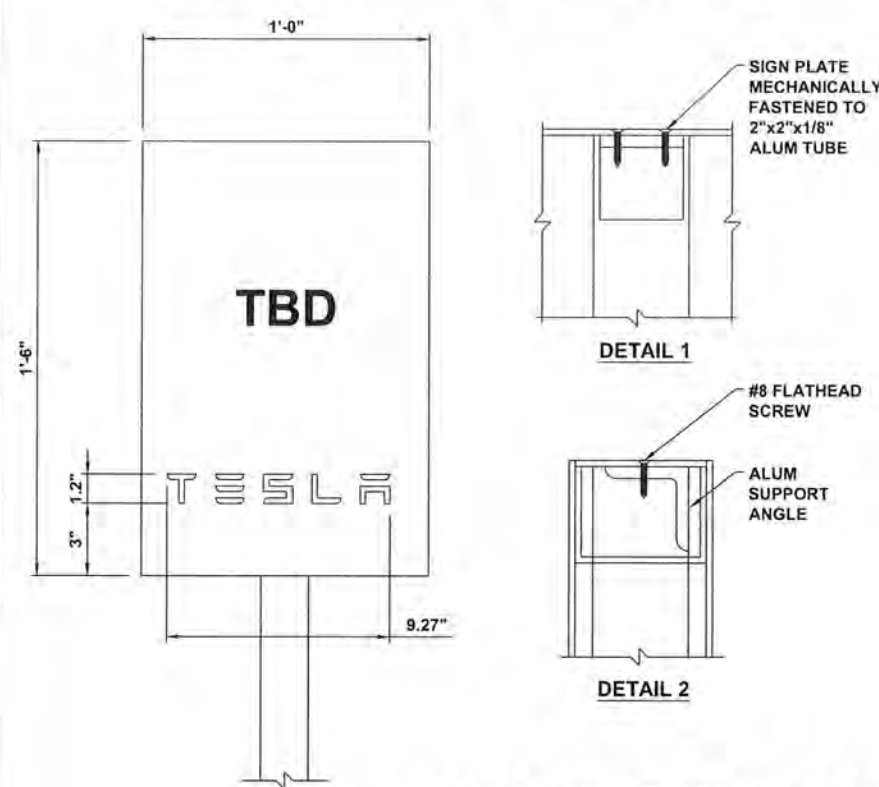


NON-ILLUMINATED PARKING SIGNAGE - REAR

NO SCALE

B

TO BE PROVIDED BY TESLA



NON-ILLUMINATED WAYFINDING SIGNAGE

NO SCALE

C

PRELIMINARY



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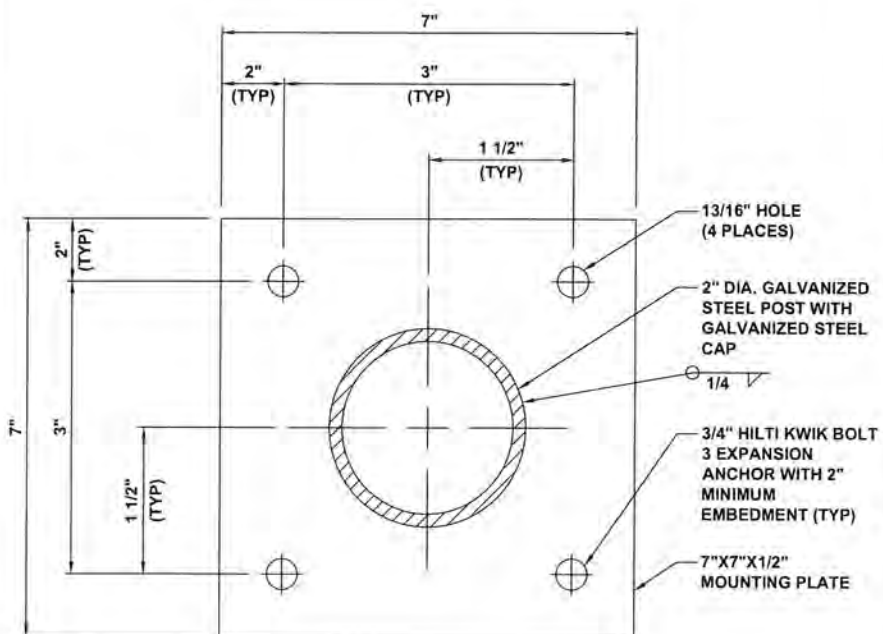
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PLEASANT PRAIRIE, WI 53158

SHEET NUMBER
SIGNAGE DETAILS

SHEET NUMBER
A-8



SIGN POST BASE PLATE DETAIL

NO SCALE

D

DETAIL NOT USED

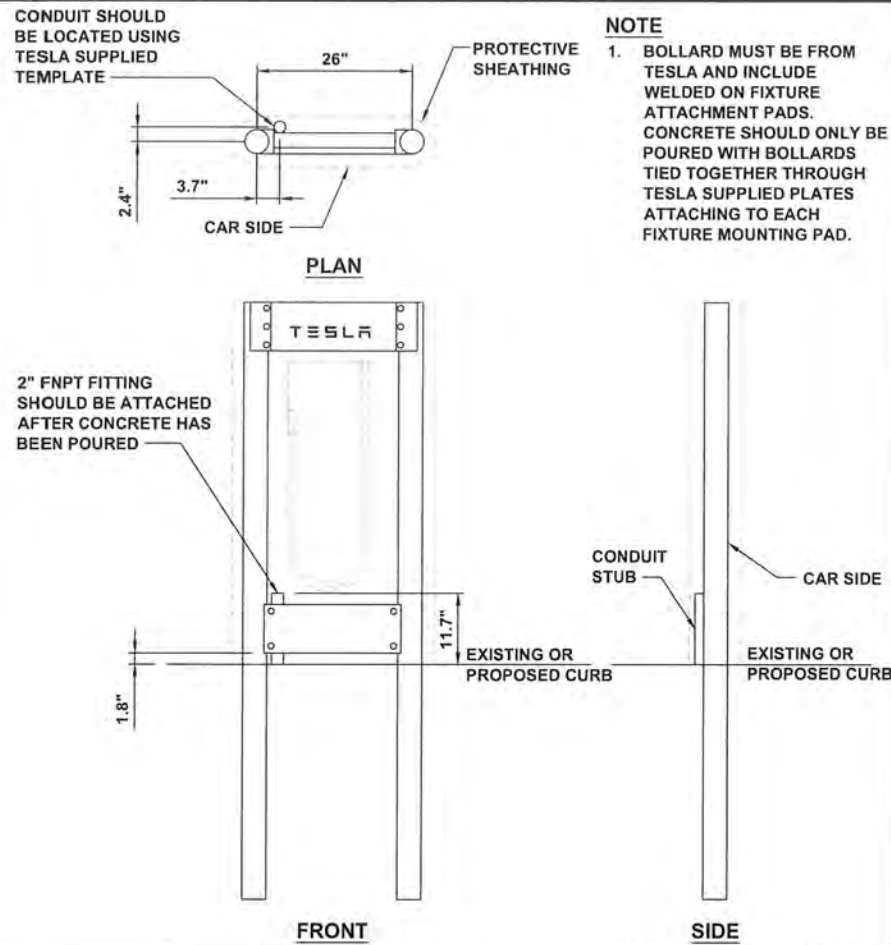
NO SCALE

E

DETAIL NOT USED

NO SCALE

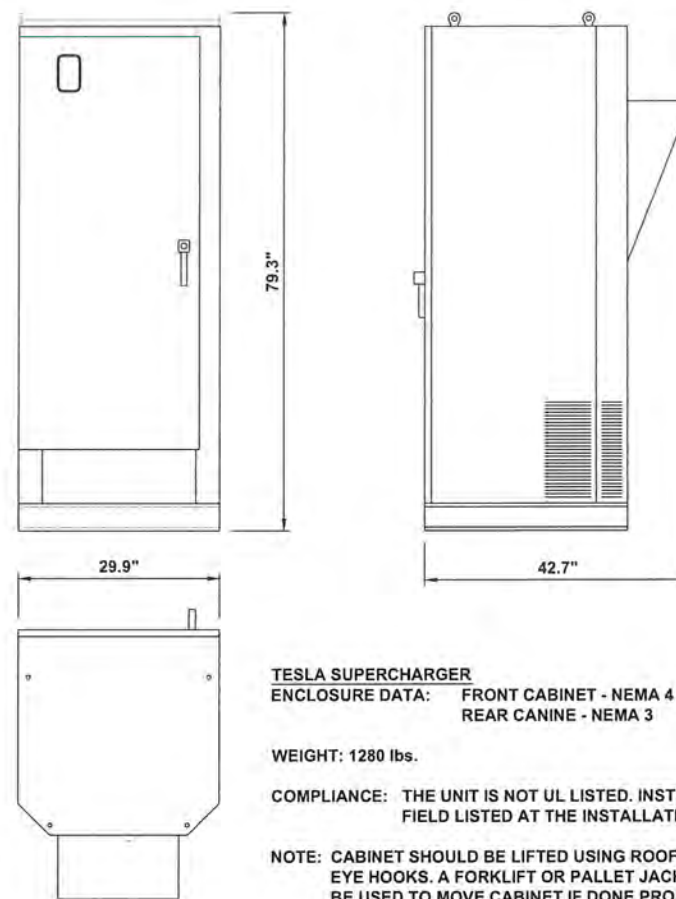
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TESLA CHARGING STATION DETAIL

NO SCALE

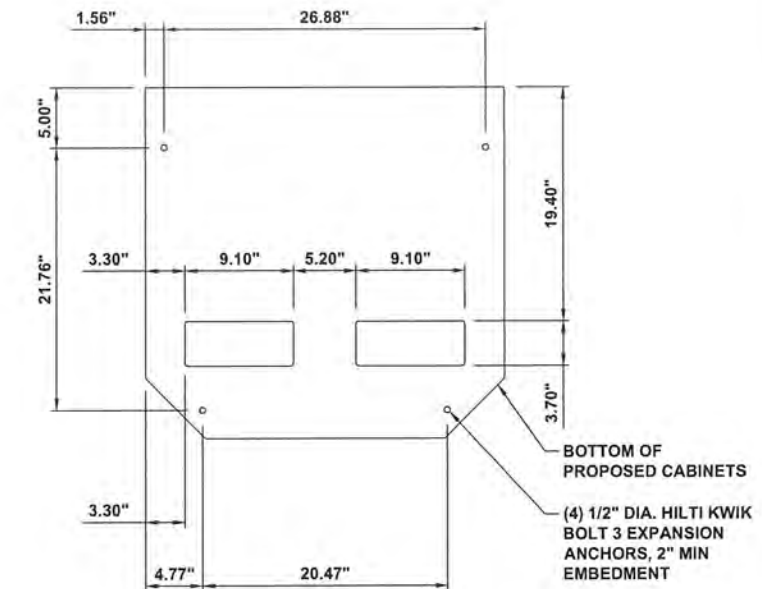
A



TESLA SUPERCHARGER CABINET DETAIL

NO SCALE

B

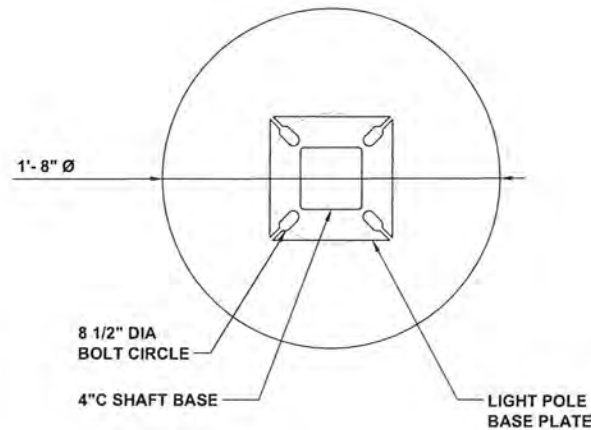


TESLA SUPERCHARGER ANCHOR BOLT PLAN

NO SCALE

C

LITHONIA LIGHTING ANCHOR BASE POLE
SERIES: SSS
CATALOG NUMBER: SSS 20 4C
FIXTURE HEIGHT: 20 FEET
MOUNTING: DM19AS
FINISH: DNA (NATURAL ALUMINUM)

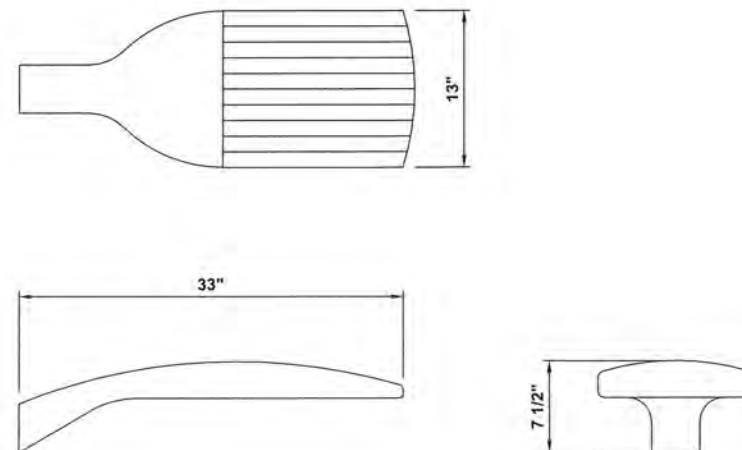


PEDESTRIAN LIGHT POLE DETAIL

NO SCALE

D

LITHONIA LIGHTING/ D-SERIES SIZE 1 LED AREA LUMINAIRE
SERIES: DSX1 LED
LIGHTING ENGINES: (2) ENGINES (60 LEDs)
PERFORMANCE PACKAGE: 30B700/50K (5000K)
DISTRIBUTION: SR3 (TYPE III)
VOLTAGE: MVOLT (120-277V)(50/60Hz)
MOUNTING: SQUARE POLE
DRILLING: DM19AS
OPTIONS: PER (NEMA TWIST LOCK RECEPTACLE ONLY, NO CONTROLS)
HS (HOUSE-SIDE SHIELD)
DF (DOUBLE FUSE (208, 240, 480V)
WTB (UTILITY TERMINAL BLOCK)
FINISH: DNAXD (NATURAL ALUMINUM)
ACCESSORIES: DSS124N 1.5 TJJJE U (PHOTOCELL - SSL TWIST LOCK, 120-277V)
LUMEN OUTPUT: 700mA, 143W



PEDESTRIAN LIGHT FIXTURE DETAIL

NO SCALE

E

DETAIL NOT USED

NO SCALE

F

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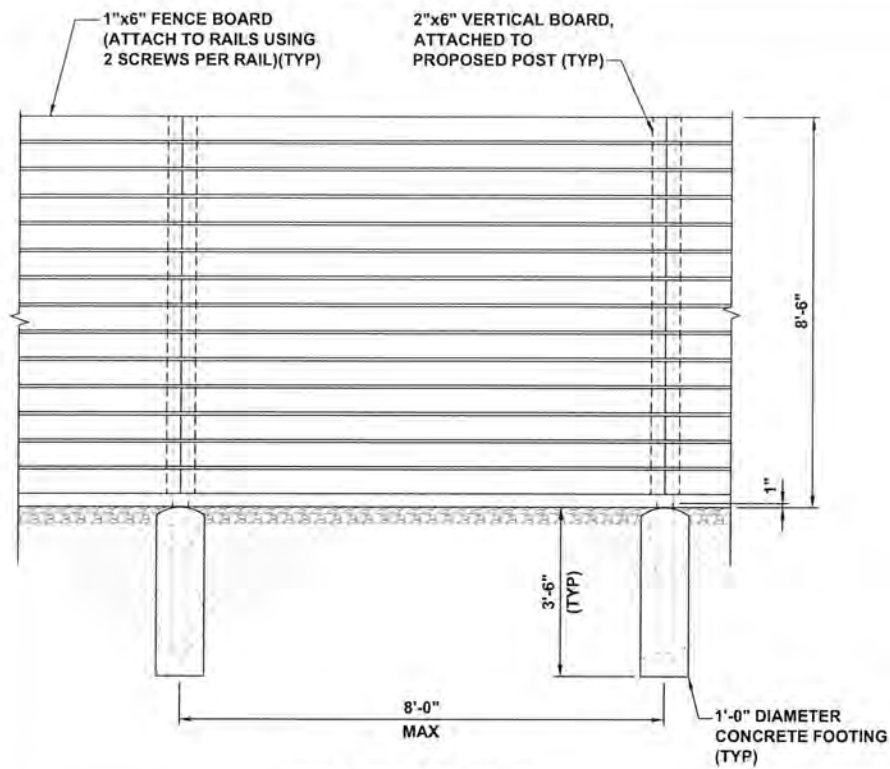
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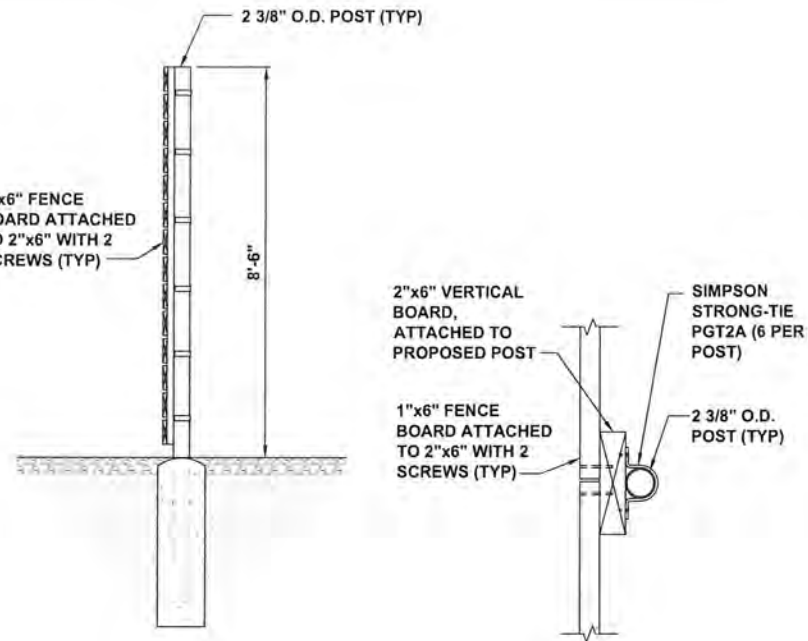
WI002_PLEASANT PRAIRIE
PLEASANT PRAIRIE OUTLETS
11211 120TH AVENUE
PLEASANT PRAIRIE, WI 53158

SHEET NUMBER
EQUIPMENT DETAILS

SHEET NUMBER
A-9



WOOD FENCE ELEVATION



TYPICAL FENCE ELEVATION

TYPICAL FENCE POST PLAN

NOTE

1. HEAVY DUTY PRESSURE TREATED PINE WITH "ULTRA-WOOD" WATER REPELLANT TREATMENT.
2. PAINT FENCE CHANTILLY LACE (WHITE).



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TYPICAL WOODEN FENCE DETAIL

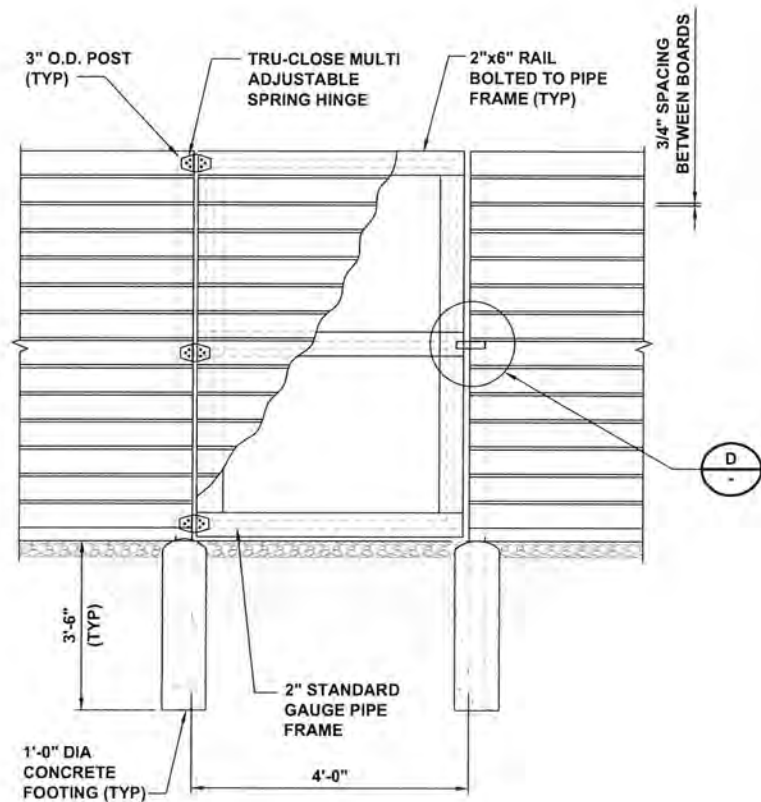
NO SCALE

A

DETAIL NOT USED

NO SCALE

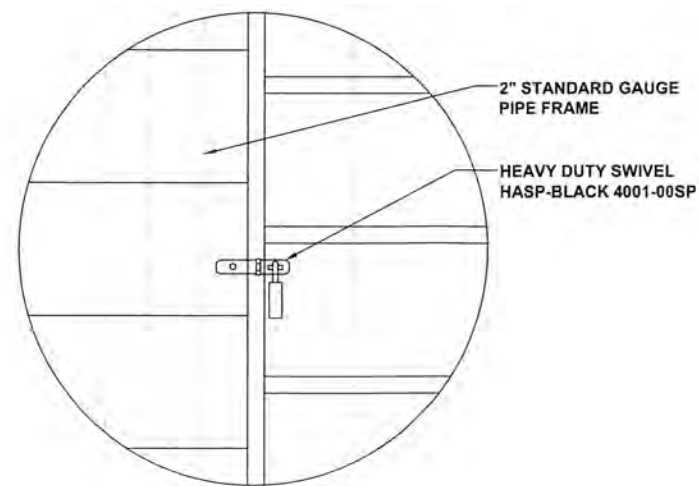
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SINGLE GATE WOODEN FENCE DETAIL

NO SCALE

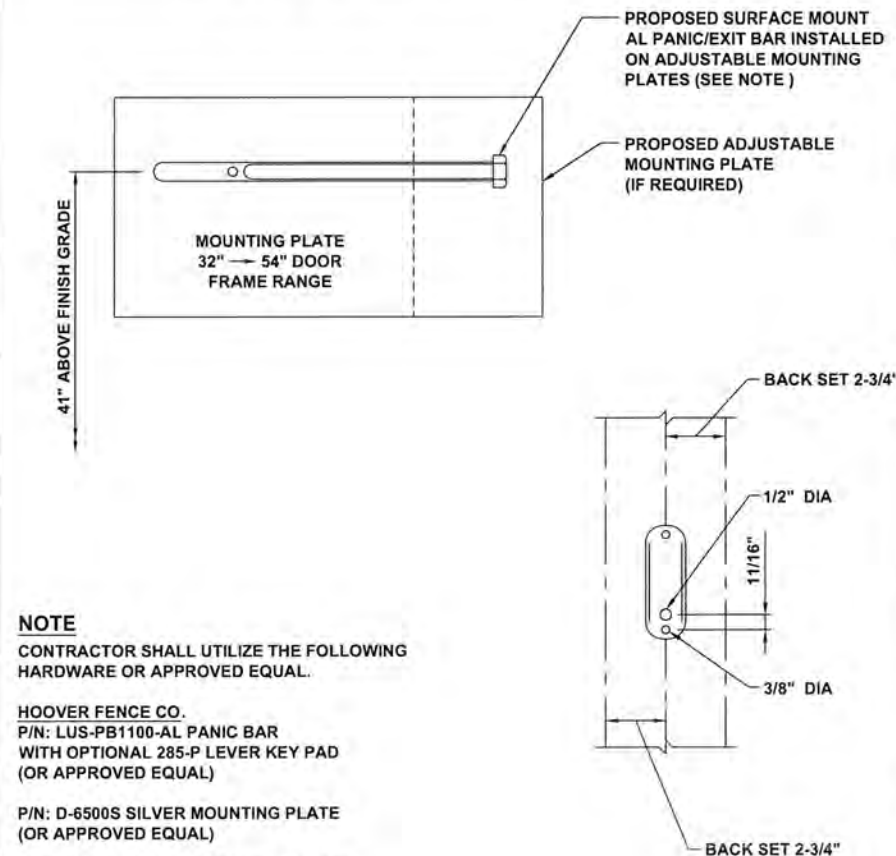
C



SINGLE GATE LOCK DETAIL

NO SCALE

D



NOTE

CONTRACTOR SHALL UTILIZE THE FOLLOWING HARDWARE OR APPROVED EQUAL.

HOOVER FENCE CO.
P/N: LUS-PB1100-AL PANIC BAR WITH OPTIONAL 285-P LEVER KEY PAD (OR APPROVED EQUAL)

P/N: D-6500S SILVER MOUNTING PLATE (OR APPROVED EQUAL)

P/N: D-6800S SILVER EXTENSION PLATE (OR APPROVED EQUAL)

PANIC HARDWARE INSTALLATION DETAIL

NO SCALE

E

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SHEET NUMBER
FENCE DETAILS

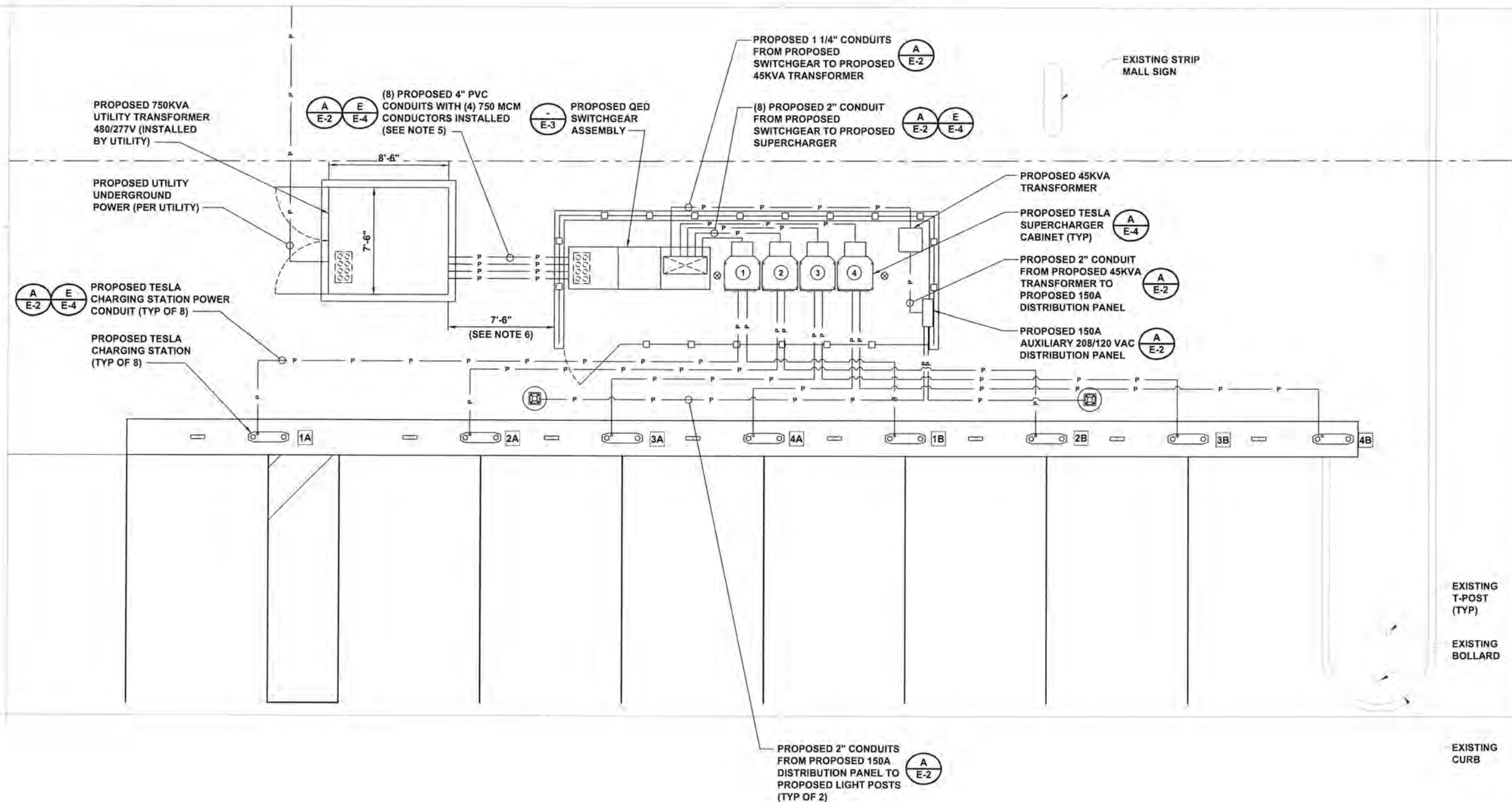
SHEET NUMBER
A-10

NOTES

1. CONDUIT ROUTING IS DIAGRAMMATICALLY SHOWN ON PLANS AND ARE ONLY APPROXIMATIONS. THE EXACT LOCATION AND ROUTING PATHS SHALL BE FIELD VERIFIED AND INSTALLED PER JURISDICTIONAL REQUIREMENTS.
2. ALL ELECTRICAL WORK AND RELATED ACTIVITIES PERFORMED ONSITE SHALL BE DONE IN ACCORDANCE WITH NATIONAL ELECTRIC CODE (NEC) STANDARDS BEING ENFORCED BY ALL APPLICABLE JURISDICTIONAL REQUIREMENTS AT TIME OF CONSTRUCTION.
3. SUPERCHARGER CABINET CIRCUITS BETWEEN VEHICLE CHARGING STATIONS EXTENDING BEYOND 80'-0" SHALL BE ADDRESSED WITH THE APPROPRIATE ENGINEERING TEAMS AS SOON AS THE SITUATION ARISES.
4. UTILITY EQUIPMENT INSTALLATIONS AND PREP WORK SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY ENGINEER TO ENSURE ACCURACY OF INSTALLATIONS
5. CONTRACTOR SHALL INSTALL (8) 4" PVC CONDUITS OUT OF THE PROPOSED SERVICE EQUIPMENT APPROXIMATELY 1'-0" OUTSIDE OF PROPOSED COMPOUND FENCE. UTILITY CREWS WILL INSTALL CONDUIT AND CONDUCTORS TO FINISH ROUTING.
6. ENTIRE DUCT LENGTH SHALL NOT EXCEED 20'-0"

CHARGING POST CIRCUIT SCHEDULE				
SUPERCHARGER	DEDICATED FEED CHARGING POST	ENABLED FEED CHARGING POST	*CHARGER LENGTHS*	FEEDER CONFIGURATION (PER CHARGING POST)
①	1A	1B	DEDICATED- 44' ENABLED- 21'	(2) 250MCM AWG (THWN-2)+ COMM CABLE (PER TESLA) IN 2" CONDUIT
②	2A	2B	DEDICATED- 32' ENABLED- 28'	(2) 250MCM AWG (THWN-2)+ COMM CABLE (PER TESLA) IN 2" CONDUIT
③	3A	3B	DEDICATED- 24' ENABLED- 35'	(2) 250MCM AWG (THWN-2)+ COMM CABLE (PER TESLA) IN 2" CONDUIT
④	4A	4B	DEDICATED- 17' ENABLED- 43'	(2) 250MCM AWG (THWN-2)+ COMM CABLE (PER TESLA) IN 2" CONDUIT

* CHARGER CABLE LENGTHS ARE BASED ON DIAGRAMMATICAL MEASUREMENTS NOT INCLUDING BEND RADIUS* & BURIED DEPTHS. CONTRACTOR TO VERIFY ACTUAL LENGTHS ON SITE.



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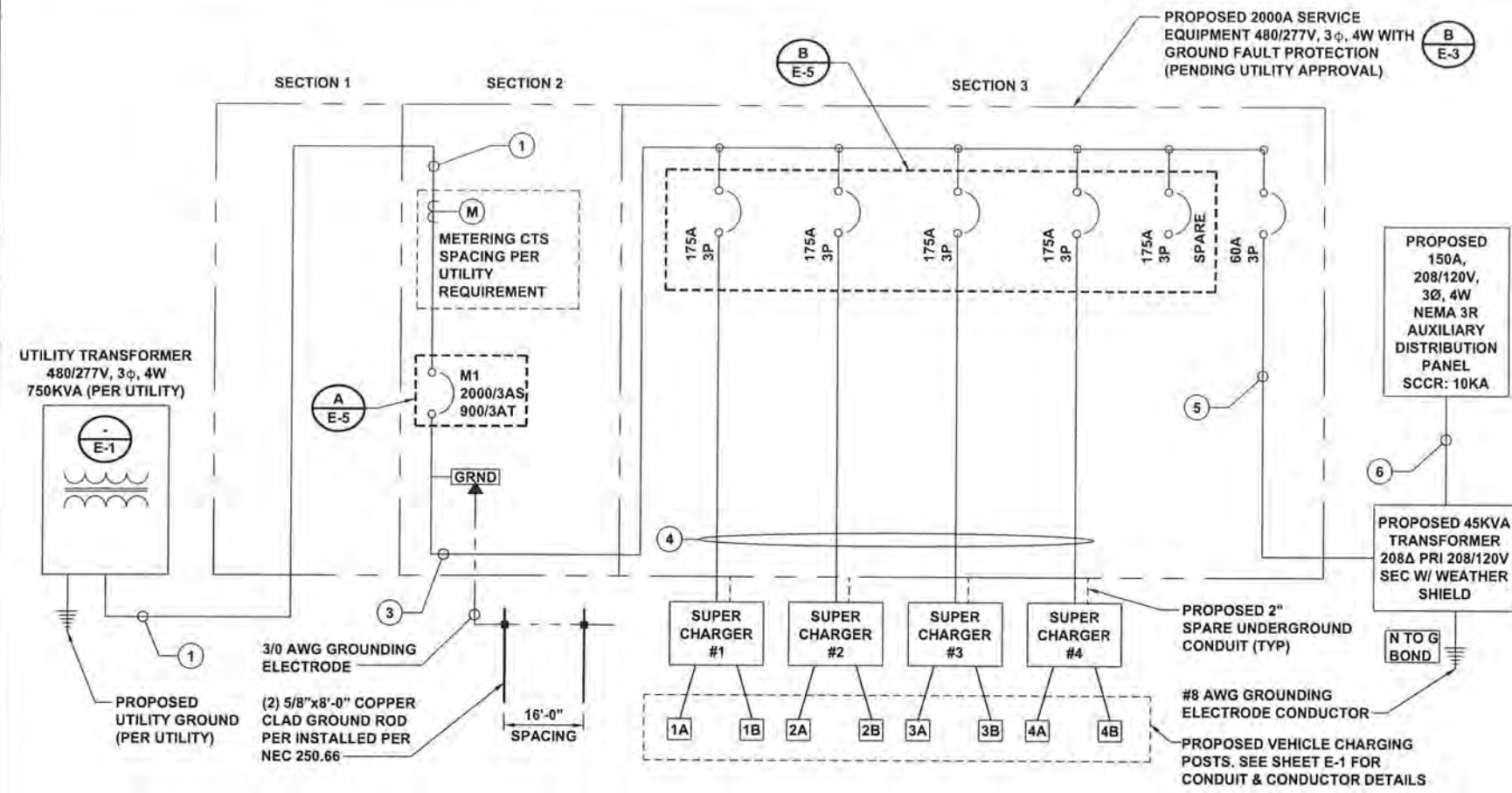
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SHEET NUMBER
ELECTRICAL PLAN

SHEET NUMBER
E-1



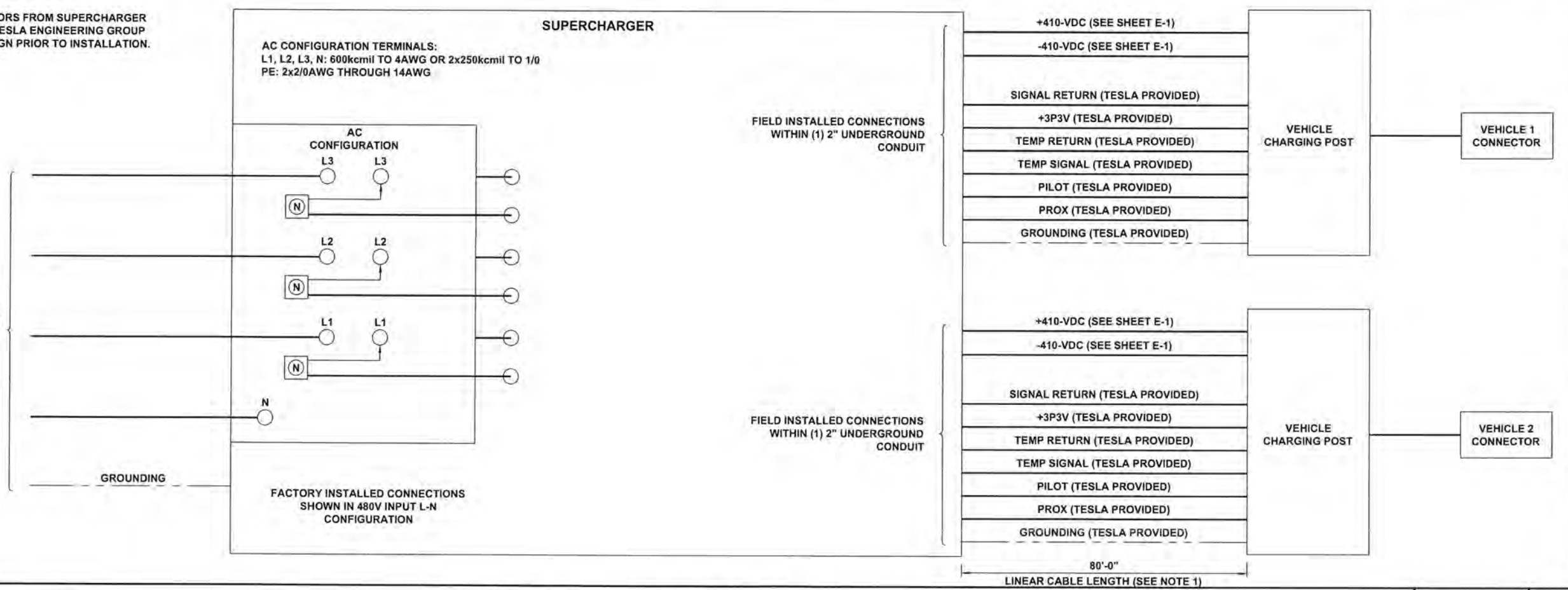
AC SERVICE ELECTRICAL CIRCUIT SCHEDULE			
NO	FROM	TO	CONFIGURATION
1	UTILITY TRANSFORMER	PROPOSED SERVICE EQUIPMENT; SECTION 1	(8) 4" CONDUITS (UTILITY TO INSTALL CONDUCTORS)
2	PROPOSED SERVICE EQUIPMENT; SECTION 1	PROPOSED SERVICE EQUIPMENT; METERING/ 900A MAIN BREAK SECTION 2	FACTORY INSTALLED 2000A BUSS
3	PROPOSED SERVICE EQUIPMENT; METERING/ 900A MAIN BREAK SECTION 2	PROPOSED SERVICE EQUIPMENT; BRANCH CIRCUIT DISTRIBUTION SECTION 3	FACTORY INSTALLED 2000A BUSS
4	PROPOSED SERVICE EQUIPMENT; CURCUIT 1 SECTION 3 (175 AMP)	PROPOSED TESLA SUPER CHARGER #1	(4) 3/0 (THWN-2) AWG, (1) #6 AWG GND IN 2" CONDUIT
	PROPOSED SERVICE EQUIPMENT; CURCUIT 2 SECTION 3 (175 AMP)	PROPOSED TESLA SUPER CHARGER #2	(4) 3/0 (THWN-2) AWG, (1) #6 AWG GND IN 2" CONDUIT
	PROPOSED SERVICE EQUIPMENT; CURCUIT 3 SECTION 3 (175 AMP)	PROPOSED TESLA SUPER CHARGER #3	(4) 3/0 (THWN-2) AWG, (1) #6 AWG GND IN 2" CONDUIT
	PROPOSED SERVICE EQUIPMENT; CURCUIT 4 SECTION 3 (175 AMP)	PROPOSED TESLA SUPER CHARGER #4	(4) 3/0 (THWN-2) AWG, (1) #6 AWG GND IN 2" CONDUIT
5	CIRCUIT 8 (60 AMP) SECTION 3; PROPOSED SERVICE EQUIPMENT	PROPOSED 45KVA STEP-DOWN TRANSFORMER PRI: 480V SEC: 120/208V, 3 ϕ	(3) #6 (THWN-2) AWG, (1) #8 GND IN 1-1/4" CONDUIT
6	PROPOSED 45KVA STEP-DOWN TRANSFORMER PRI: 480V SEC: 208/120V, 3 ϕ	PROPOSED 150A, 120/208V, 3 ϕ , 4W NEMA 3R AUXILIARY DISTRIBUTION PANEL	(3) 2/0 (THWN-2) AWG, (1) #6 AWG GND IN 2" CONDUIT

NOTE
1. NEUTRAL MUST BE INCLUDED FOR PROPER OPERATION OF TESLA SUPERCHARGERS.

SYSTEM ONE-LINE DIAGRAM

NO SCALE A

NOTE:
1. IF SECONDARY CONDUCTORS FROM SUPERCHARGER CABINET EXCEED 80'-0", TESLA ENGINEERING GROUP MUST APPROVE THE DESIGN PRIOR TO INSTALLATION.



SUPERCHARGER CONNECTION ONE-LINE DIAGRAM

NO SCALE B



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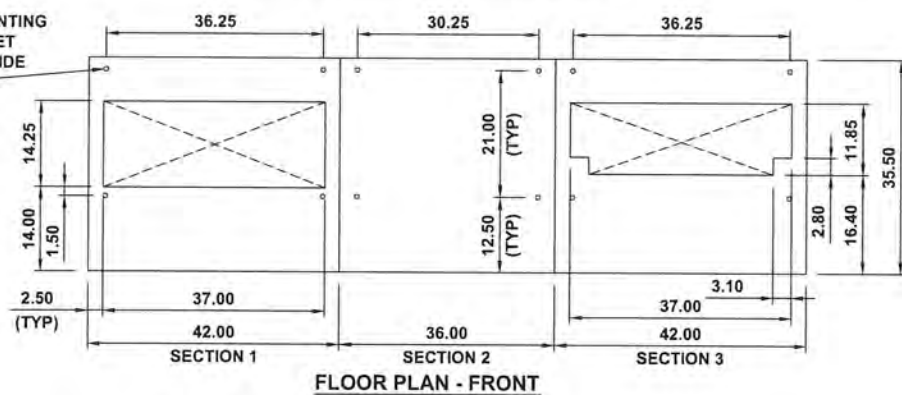
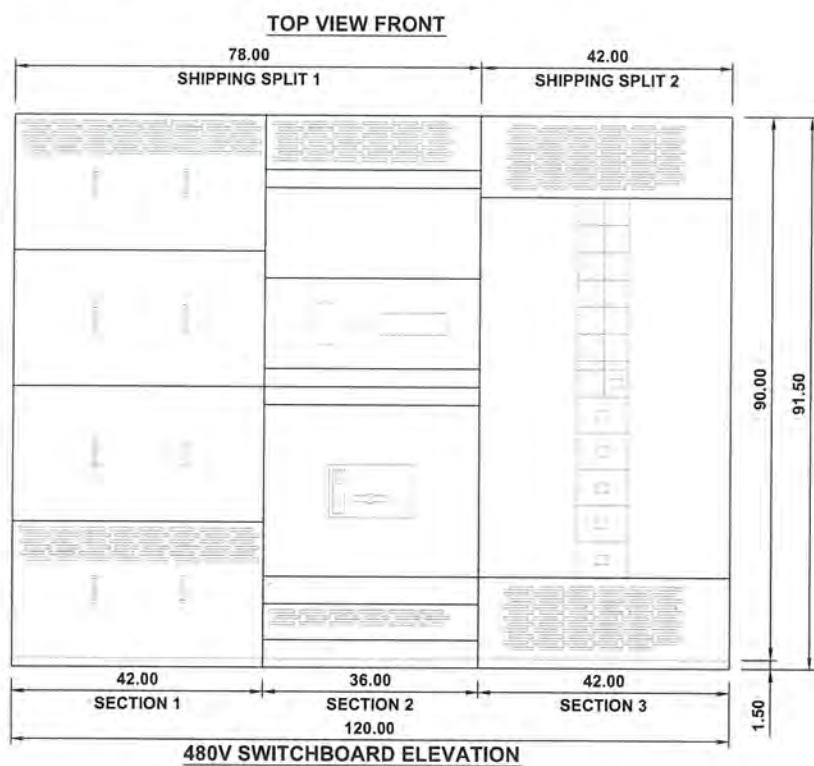
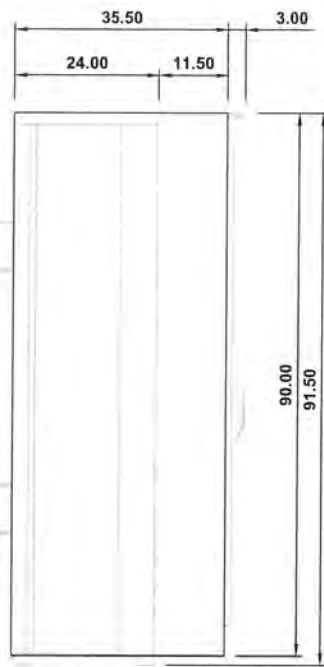
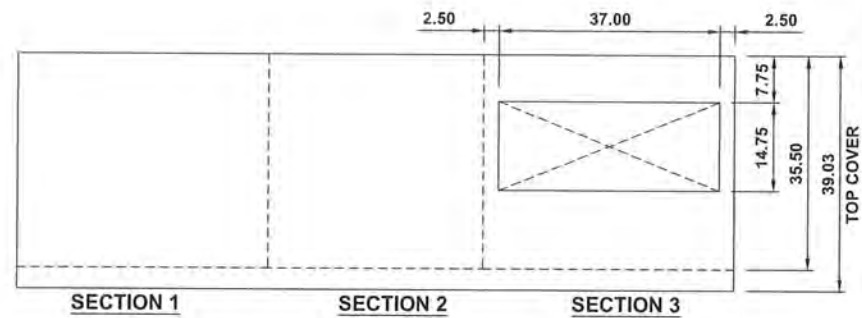
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SHEET NUMBER
ELECTRICAL DETAILS

SHEET NUMBER
E-2



QED SWITCHBOARD

POWER SYSTEM DATA
 480/277V 3Ph 4W 60Hz/3 PHASE WYE
 SOLIDLY GROUND
 SYSTEM SHORT CIRCUIT RATING: 65KA RMS
 INCOMING SECTION 1 CABLE THROUGH THE
 BOTTOM LEFT OF LINEUP

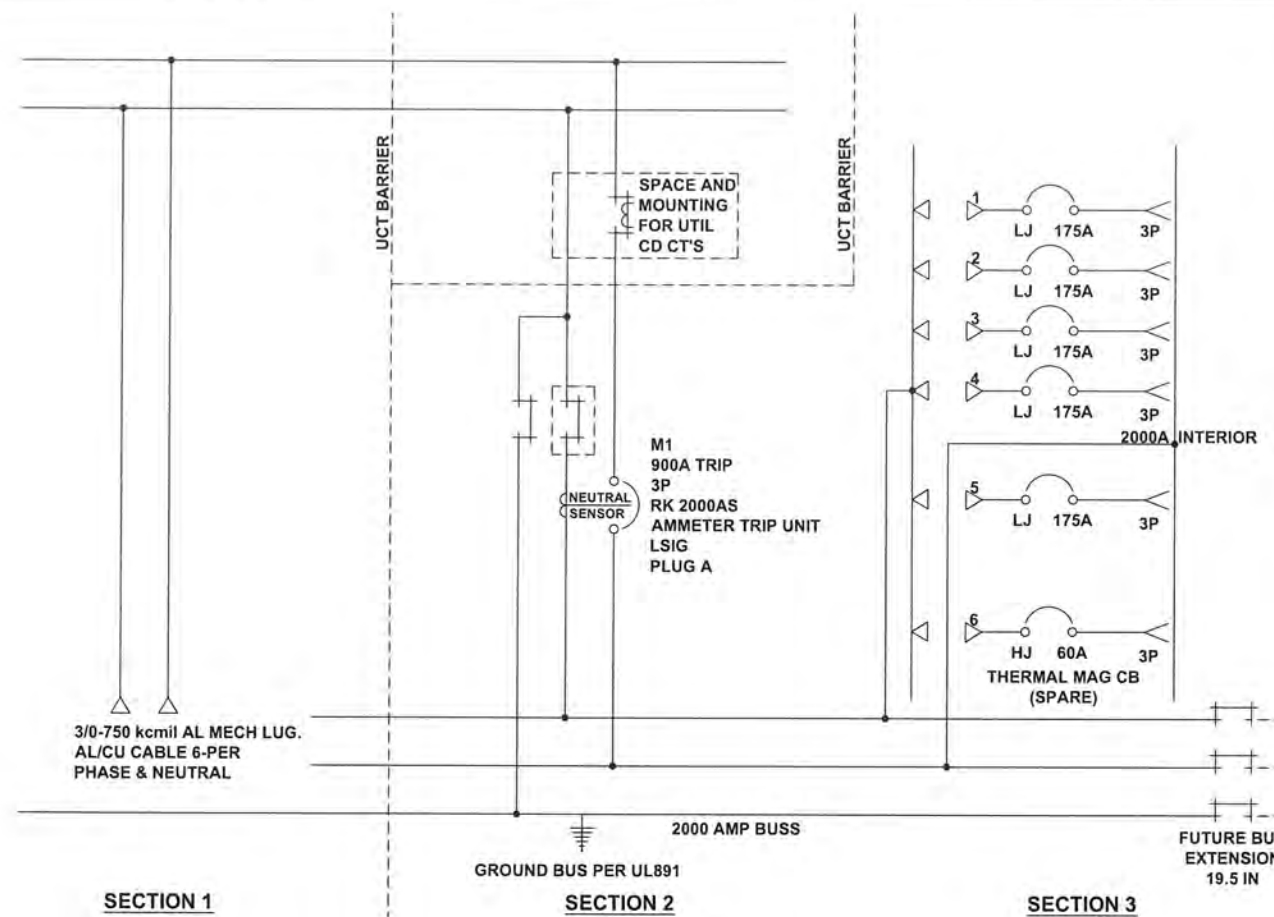
BUS SYSTEM DATA
 2000A SILVER PLATED COOPER MAIN BUS
 (4) .25x1.50\"/>

ENCLOSURE DATA
 TYPE 3R FREE STANDING
 EXTERIOR PAINT COLOR: ANSI 49
 FRONT ACCESSIBILITY ONLY REQUIRED
 HANDLING: ROLLERS
 RODENT BARRIERS
 1.5H CORROSION RESIST BASE CHANNELS
 BASE CHANNELS CANNOT BE REMOVED FROM
 EUSERC SWITCHBOARD LINEUPS
 UTILITY SEALING HARDWARE INSTALLED FOR
 UNMETERED BUS COMPARTMENTS

ESTIMATED SHIPPING WEIGHT
 SHIPPING SPLIT 1: 1771.00 LBS.
 SHIPPING SPLIT 2: 1076.00 LBS.
 COMPLETE LINEUP: 2847.00 LBS.

CODE STANDARDS
 U.L. DEADFRONT AND SUITABLE FOR USE AS
 SERVICE ENTRANCE
 WHEN NOT MORE THAN SIX (6) DISCONNECTING
 MEANS ARE PROVIDED.

RATING NAMEPLATES
 ST1 - DEADFRONT-SECTION BUS 2000A
 ST2 - SERVICE ENTRANCE-SECTION BUS 2000A
 ST3 - DEADFRONT-SECTION BUS 2000A



QED SWITCHBOARD ONE-LINE DIAGRAM

SECTION NO.	CIRCUIT NO.	GMD HEIGHT	DEVICE/ FRAME RATING	TRIP AMP	FUSE/ TRIP	#P	DESIGNATION	N/P	LUG INFORMATION			ACCESSORIES	
									QTY	PHASE WIRE RANGE	NEUT. WIRE RANGE		
1	-	-	INCOMING CONNECTION	-	-	-	CITY OF PLEASANT PRAIRIE	NO	6	3/0 - 750 kcmil	6	3/0 - 750 kcmil	
2	UCT	-	2000A	-	-	-		NO	-	-	-	-	
3	M1	-	RK2000AS PLUG A 100%	900A	A-LSIG	3P		NO	-	-	-	-	GF, SDE, PLA
3	1	6"	LJ 400 AMP 100%	175A	S-LI	3P		NO	2	3/0 - 750 kcmil	1	#4 - 600 kcmil	PLA
3	2	6"	LJ 400 AMP 100%	175A	S-LI	3P		NO	2	3/0 - 750 kcmil	1	#4 - 600 kcmil	PLA
3	3	6"	LJ 400 AMP 100%	175A	S-LI	3P		NO	2	3/0 - 750 kcmil	1	#4 - 600 kcmil	PLA
3	4	6"	LJ 400 AMP 100%	175A	S-LI	3P		NO	2	3/0 - 750 kcmil	1	#4 - 600 kcmil	PLA
3	5	6"	LG 400 AMP 100%	175A	S-LI	3P	SPARE	NO	2	3/0 - 750 kcmil	1	#4 - 600 kcmil	PLA
3	6	4.5"	HJ	60A	-	3P	SPARE	NO	1	#14 - 3/0 AWG	1	#14 - 1/0 AWG	PLA

QED SWITCHBOARD CIRCUIT SCHEDULE



3500 DEER CREEK RD
 PALO ALTO, CA 94304
 (650) 681-5000



BLACK & VEATCH

10950 GRANDVIEW DRIVE
 OVERLAND PARK, KS 66210
 (913) 458-2000

PROJECT NO:	179056
DRAWN BY:	JW
CHECKED BY:	MBG

REV	DATE	DESCRIPTION
C	07/09/13	ISSUED FOR 90% REVIEW
B	06/26/13	REISSUED FOR 30% REVIEW
A	06/25/13	ISSUED FOR 30% REVIEW

NOT TO BE USED FOR CONSTRUCTION

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WI002_PLEASANT PRAIRIE
 PLEASANT PRAIRIE OUTLETS
 11211 120TH AVENUE
 PLEASANT PRAIRIE, WI 53158

SHEET NUMBER
ELECTRICAL DETAILS

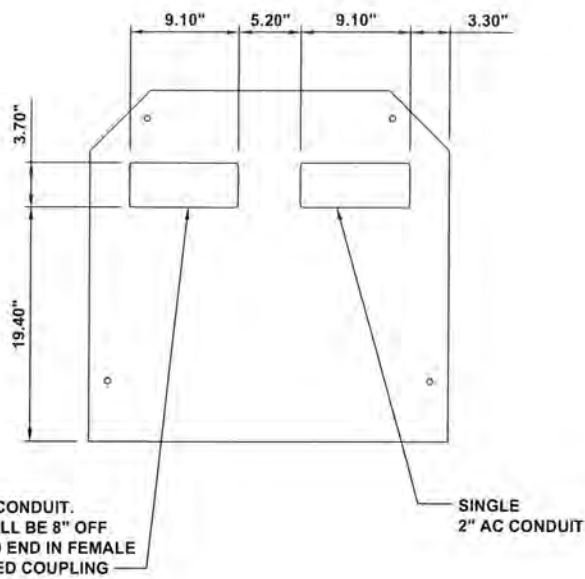
SHEET NUMBER
E-3

QED SWITCHBOARD ASSEMBLY SPECIFICATIONS

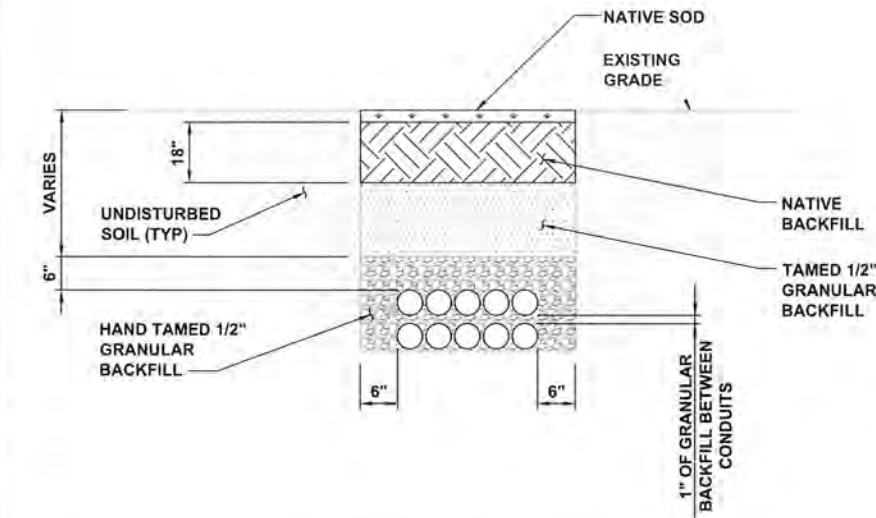
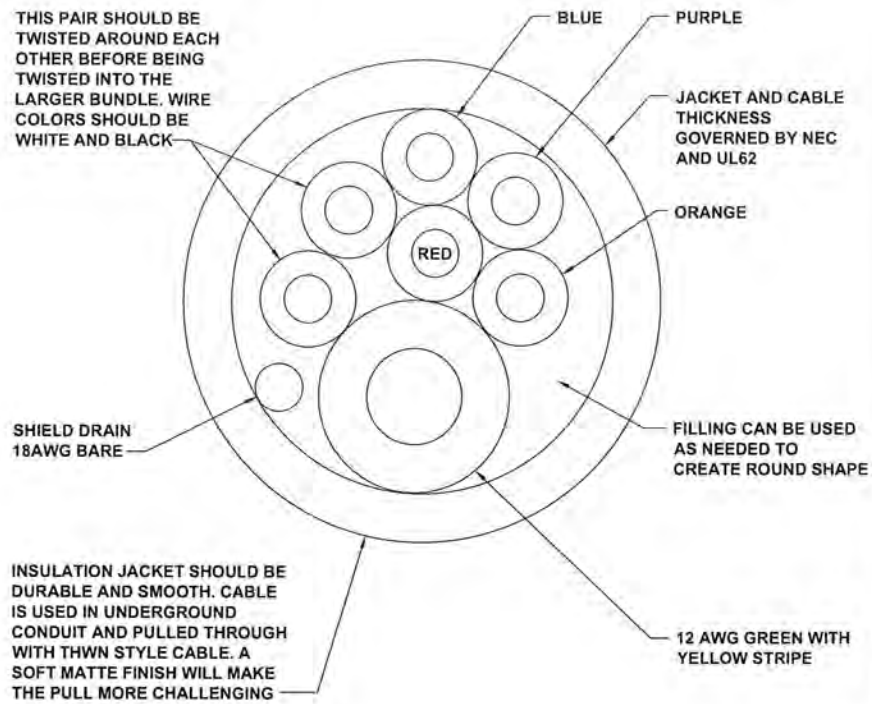
NO SCALE A

NO SCALE C

TO BE PROVIDED BY TESLA



NOTE
1. BOLT HOLES FOR REFERENCE ONLY. LOCATE WITH SUPERCHARGER TEMPLATE, TO BE PROVIDED BY TESLA.



NOTES
1. ASPHALT SHALL COMPLY WITH STANDARD DOT OR LOCAL JURISDICTION SPEC. FOR HMA SURFACE COURSE.
2. ANY EXCAVATION LEFT OPEN SHOULD BE SECURELY FENCED OFF.
3. ANY PAVEMENT DAMAGE DURING CONSTRUCTION SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR TO PRE CONSTRUCTION CONDITIONS OR BETTER.



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TESLA SUPERCHARGER CONDUIT ENTRY DETAIL

NO SCALE

A

CONDUIT DETAIL

NO SCALE

B

TYPICAL CONDUIT TRENCH DETAIL

NO SCALE

C

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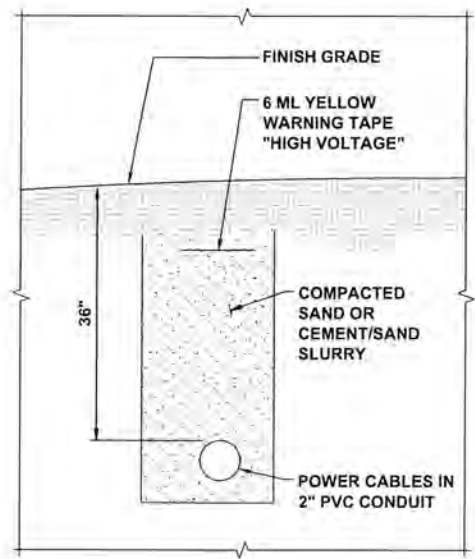
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PLEASANT PRAIRIE, WI 53158

SHEET NUMBER
ELECTRICAL DETAILS

SHEET NUMBER
E-4



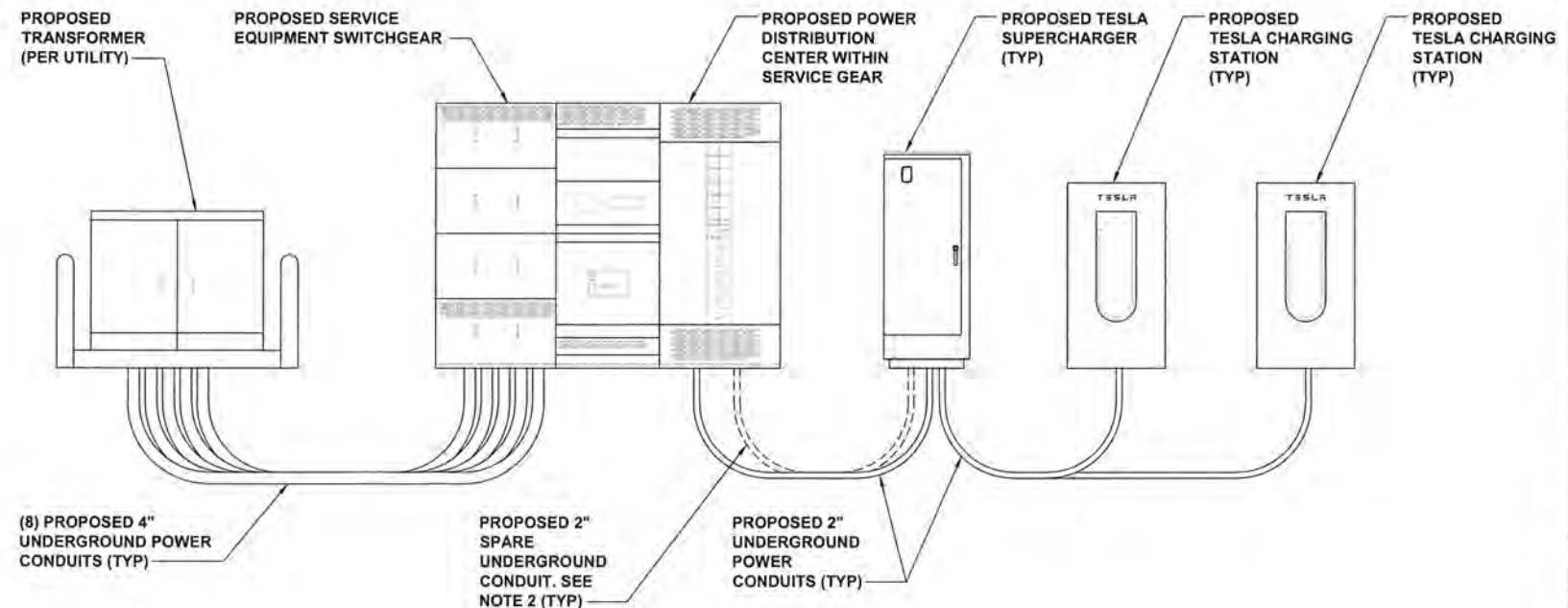
NOTE
1. RESTORE GRADE TO ITS ORIGINAL CONDITION OR BETTER. FILL WITH WELL COMPACTED BACKFILL. IF TRENCH IS UNDER CONCRETE PAD, BACKFILL WITH AASHTO 57 STONE.

BURIED CABLE DETAIL

NO SCALE

D

NOTES
1. CONDUITS SHALL BE BURIED BELOW FROST LINE AND IN COMPLIANCE WITH LOCAL AND NATIONAL CODE REQUIREMENTS.
2. ONE ADDITIONAL CONDUIT SHALL BE INSTALLED IN PARALLEL OF PROPOSED POWER CONDUITS FOR FUTURE EXPANSION.
3. REFER TO SHEET E-2 FOR CONDUCTOR REQUIREMENTS WITHIN CONDUITS.



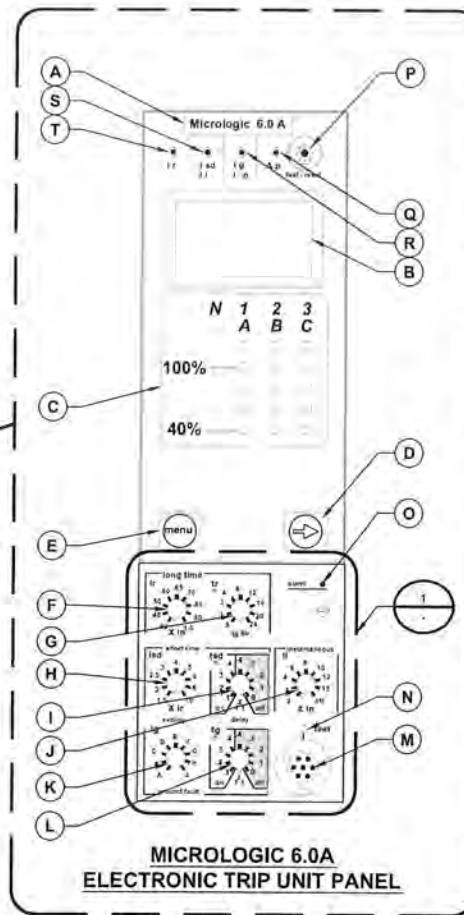
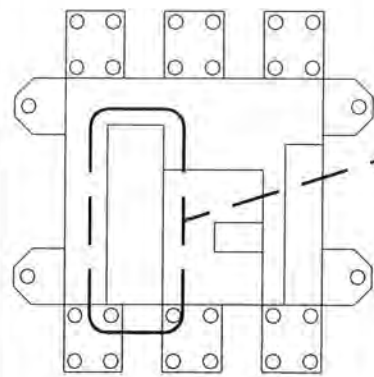
CAR CHARGER CONDUIT ELEVATION

NO SCALE

E

*** RK CIRCUIT BREAKER**

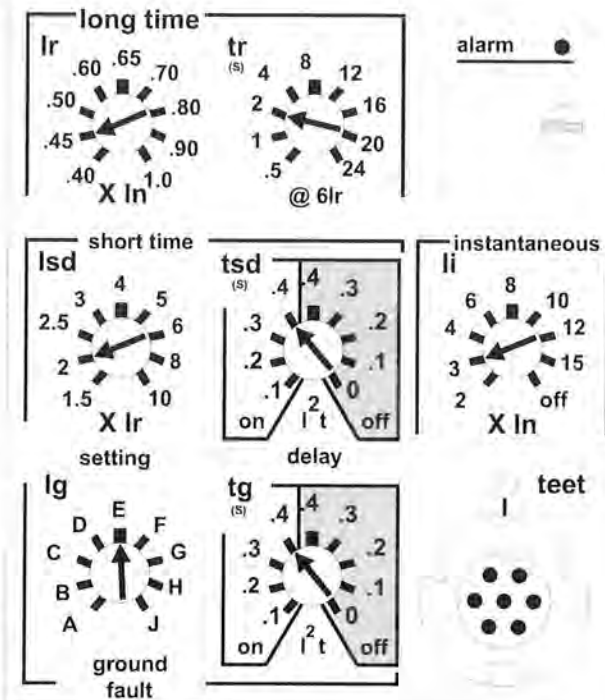
480VAC L-L



* BREAKERS ARE RATED FOR 100%

THE MICROLOGIC 6.0A TRIP UNIT PROVIDES SELECTIVE AND GROUND-FAULT PROTECTION FOR EQUIPMENT (I = 4200 A) (LSIG) AND A BUILT-IN AMMETER.

- A. TRIP UNIT NAME
- B. ALPHANUMERIC DISPLAY
- C. THREE-PHASE BAR GRAPH
- D. SCROLL BUTTON
- E. MENU BUTTON
- F. LONG-TIME PICKUP (lr) SWITCH
- G. LONG-TIME DELAY (tr) SWITCH
- H. SHORT-TIME PICKUP (l_{sd}) SWITCH
- I. SHORT-TIME DELAY (tsd) SWITCH
- J. INSTANTANEOUS PICKUP (II) SWITCH
- K. GROUND-FAULT PICKUP (lg) SWITCH
- L. GROUND-FAULT DELAY (tg) SWITCH
- M. TEST PLUG RECEPTACLE
- N. GROUND FAULT PUSH-TO-TRIP BUTTON
- O. OVERLOAD INDICATOR LIGHT
- P. RESET BUTTON FOR BATTERY STATUS CHECK AND TRIP INDICATOR LED
- Q. SELF-PROTECTOR INDICATOR LIGHT
- R. GROUND-FAULT INDICATOR LIGHT
- S. SHORT-TIME OR INSTANTANEOUS TRIP INDICATOR LIGHT
- T. LONG-TIME TRIP INDICATOR LIGHT



NOTE

1. THESE CIRCUIT BREAKER TRIP SETTINGS ARE NOT COORDINATED WITH UTILITY TRIP SETTINGS.

SCHNEIDER ELECTRIC POWERPACT R-FRAME 6.0A TRIP UNIT DETAIL

NO SCALE

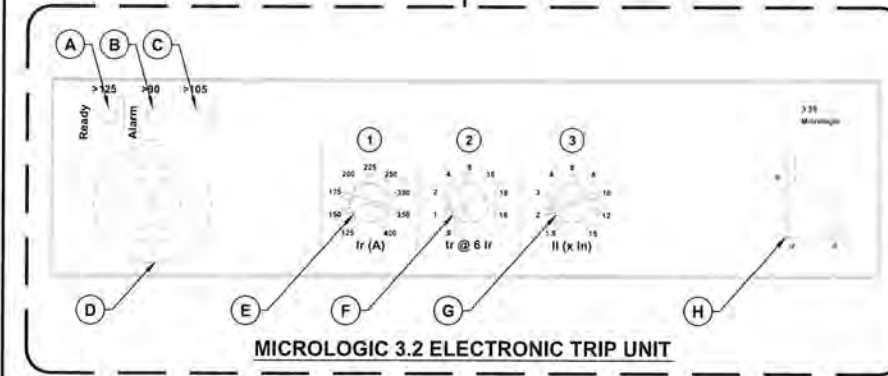
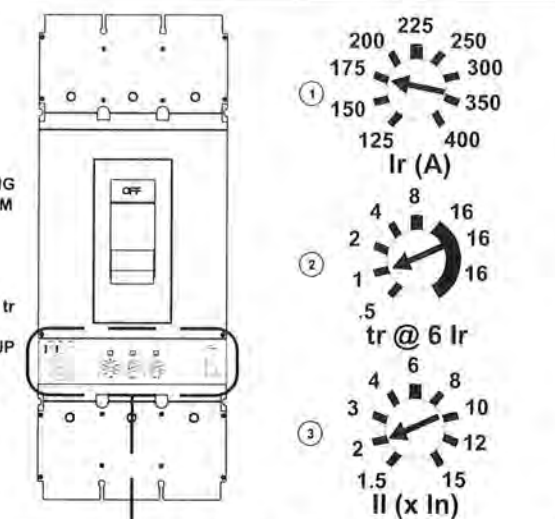
A

*** LJ CIRCUIT BREAKER**

480VAC L-L

- A. READY LED (GREEN)
- B. OVERLOAD PRE-ALARM LED (ORANGE): 90% lr
- C. OVERLOAD ALARM LED (RED): 105% lr THE TRIP UNIT'S lr RATING CORRESPONDS TO THE MAXIMUM VALUE OF THE ADJUSTMENT RANGE
- D. TEST PORT
- E. ADJUSTMENT DIAL FOR LONG-TIME PROTECTION DELAY tr
- F. ADJUSTMENT DIAL FOR SHORT-TIME PROTECTION PICKUP l_{sd}
- G. ADJUSTMENT DIAL FOR INSTANTANEOUS PROTECTION PICKUP II
- H. TRIP CURVE

* BREAKERS ARE RATED FOR 100%



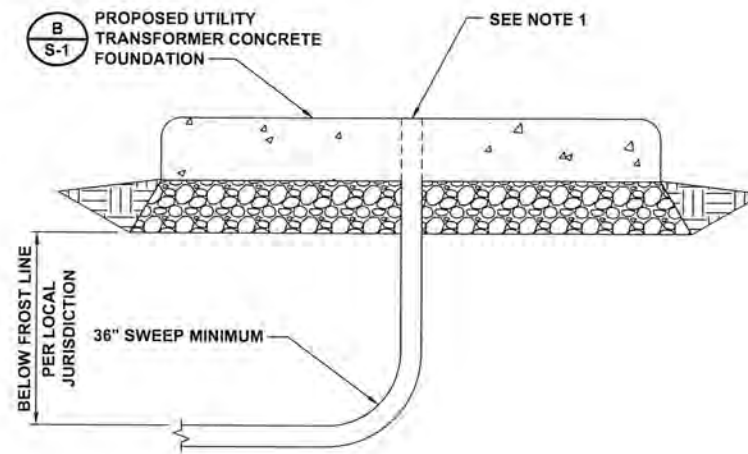
SCHNEIDER ELECTRIC POWERPACT L-FRAME 400A DETAIL

NO SCALE

B

NOTES

1. CONDUIT STUBS SHALL BE FLUSH WITH FINAL GRADE OF TRANSFORMER FOUNDATION.
2. 40" MINIMUM SWEEPS ON ALL SERVICE LATERAL CONDUITS.
3. CONTRACTOR SHALL COORDINATE WITH UTILITY PLANNER REGARDING CONDUIT INSTALLATION AND PLACEMENT OF NEW TRANSFORMER.



DETAIL NOT USED

NO SCALE

C

SERVICE CONDUIT SWEEP DETAIL

NO SCALE

D

DETAIL NOT USED

NO SCALE

E



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(913) 458-2000

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CHECKED BY:	MBG

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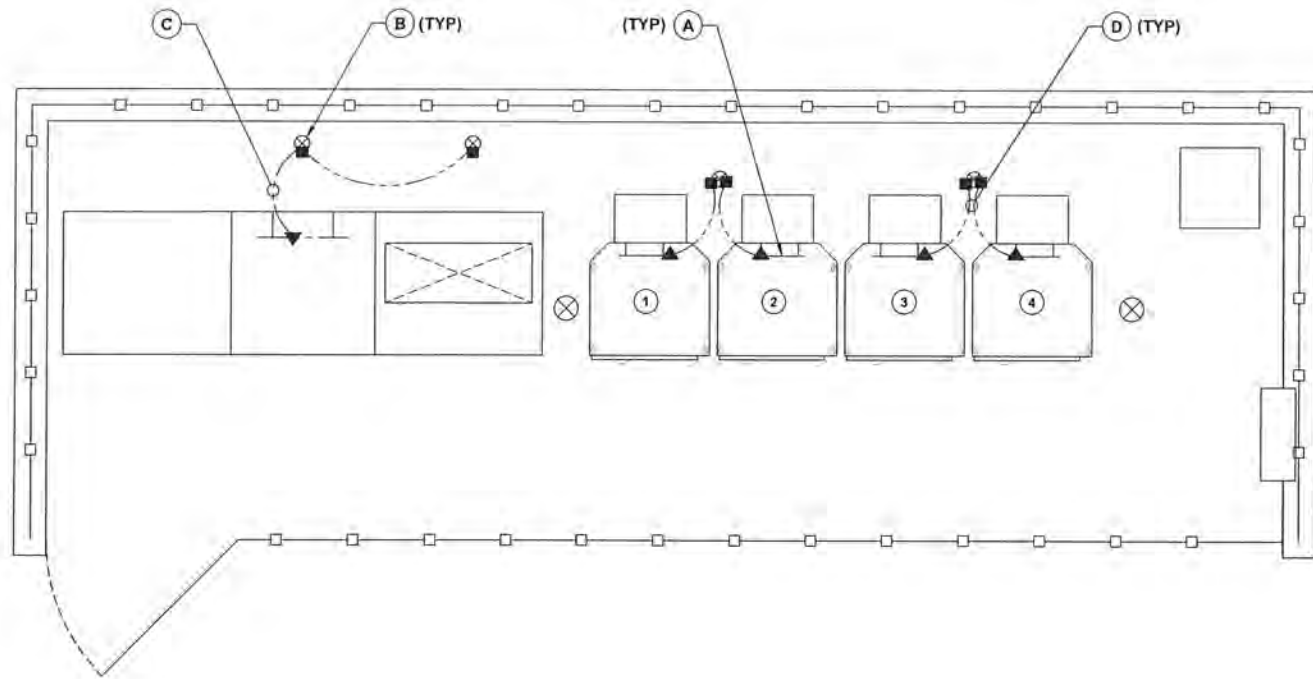
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WI002_PLEASANT PRAIRIE
PLEASANT PRAIRIE OUTLETS
11211 120TH AVENUE
PLEASANT PRAIRIE, WI 53158

SHEET NUMBER
ELECTRICAL DETAILS

SHEET NUMBER
E-5



GROUNDING LEGEND

- (A) GROUND BAR WITHIN PROPOSED EQUIPMENT
- (B) PROPOSED 5/8"x8'-0" GROUND ROD, SEE DETAIL D, SHEET G-2
- (C) PROPOSED SERVICE GROUND, SEE DETAIL C, THIS SHEET
- (D) PROPOSED SUPERCHARGER CABINET GROUND, SEE DETAIL C, THIS SHEET
- PROPOSED GROUND RING
- ▲ CADWELD CONNECTION (EXOTHERMIC WELD)
- ⊗ MECHANICAL CONNECTION GROUND ROD

BURNDY CONNECTIONS OR ENGINEER APPROVED EQUAL	CADWELD CONNECTIONS OR ENGINEER APPROVED EQUAL	
 BOND JUMPER FIELD FABRICATED GREEN STRANDED INSULATED TYPE 2-YA-2	 HORIZONTAL SPLICE SPLICE OF HORIZONTAL CABLES TYPE SS	 PARALLEL HORIZONTAL CONDUCTORS PARALLEL THROUGH CONNECTION OF HORIZONTAL CABLES TYPE PT
 COPPER LUGS TWO HOLE - LONG BARREL LENGTH TYPE YA-2	 HORIZONTAL STEEL SURFACE TO FLAT STEEL SURFACE OR HORIZONTAL PIPE TYPE HS	 PARALLEL HORIZONTAL CONDUCTORS PARALLEL DEAD END TAP OR HORIZONTAL THRU CONDUCTOR TYPE PC
	 VERTICAL PIPE CABLE DOWN AT 45° TO RANGE OF VERTICAL PIPES TYPE VS	 VERTICAL STEEL SURFACE CABLE DOWN AT 45° TO VERTICAL STEEL SURFACE INCLUDING PIPE TYPE VS
	 HORIZONTAL TEE TEE OF HORIZONTAL RUN AND TAP CABLES TYPE TA	 THROUGH CABLE TO GROUND ROD THROUGH CABLE TO TOP OF GROUND ROD TYPE GT



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BLACK & VEATCH

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GROUNDING PLAN

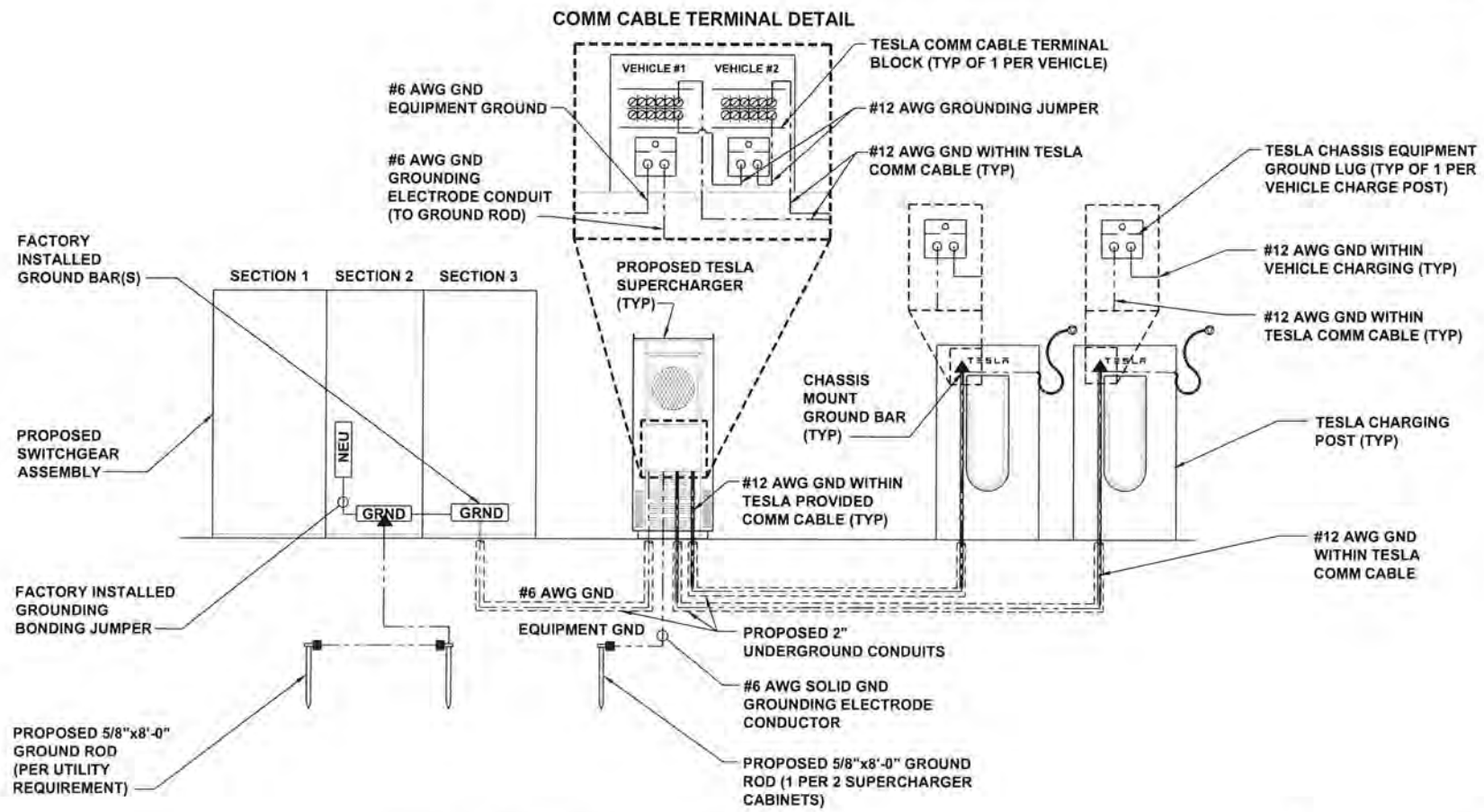
NO SCALE

A

CADWELD CONNECTION DETAIL

NO SCALE

B



GROUNDING SCHEMATIC

NO SCALE

C

GROUNDING NOTES

NO SCALE

D

NOTES

- EXOTHERMIC WELD (2) TWO, #2 AWG BARE TINNED SOLID COPPER CONDUCTORS TO GROUND BAR. ROUTE CONDUCTORS TO BURIED GROUND RING AND PROVIDE PARALLEL EXOTHERMIC WELD.
- ALL GROUND BARS SHALL BE STAMPED IN TO THE METAL "IF STOLEN DO NOT RECYCLE." THE CONTRACTOR SHALL USE PERMANENT MARKER TO DRAW THE LINES BETWEEN EACH SECTION AND LABEL EACH SECTION ("P", "A", "N", "I") WITH 1" HIGH LETTERS.
- ALL HARDWARE SHALL BE STAINLESS STEEL 3/8" DIAMETER OR LARGER. ALL HARDWARE 18-8 STAINLESS STEEL INCLUDING LOCK WASHERS, COAT ALL SURFACES WITH AN ANTI-OXIDANT COMPOUND BEFORE MATING.
- FOR GROUND BOND TO STEEL ONLY: INSERT A CADMIUM FLAT WASHER BETWEEN LUG AND STEEL, COAT ALL SURFACES WITH AN ANTI-OXIDANT COMPOUND BEFORE MATING.
- DO NOT INSTALL CABLE GROUND KIT AT A BEND AND ALWAYS DIRECT GROUND CONDUCTOR DOWN TO GROUND BUS.
- NUT & WASHER SHALL BE PLACED ON THE FRONT SIDE OF THE GROUND BAR AND BOLTED ON THE BACK SIDE. INSTALL BLACK HEAT-SHRINKING TUBE, 600 VOLT INSULATION, ON ALL GROUND TERMINATIONS. THE INTENT IS TO WEATHERPROOF THE COMPRESSION CONNECTION.
- SUPPLIED AND INSTALLED BY CONTRACTOR.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING ADDITIONAL GROUND BAR AS REQUIRED, PROVIDING 50% SPARE CONNECTION POINTS.
- ENSURE THE WIRE INSULATION TERMINATION IS WITHIN 1/8" OF THE BARREL (NO SHINERS).
- TESLA CHARGERS HAVE INTERNAL HIGH IMPEDANCE GROUND FAULT PROTECTION (10M Ω).

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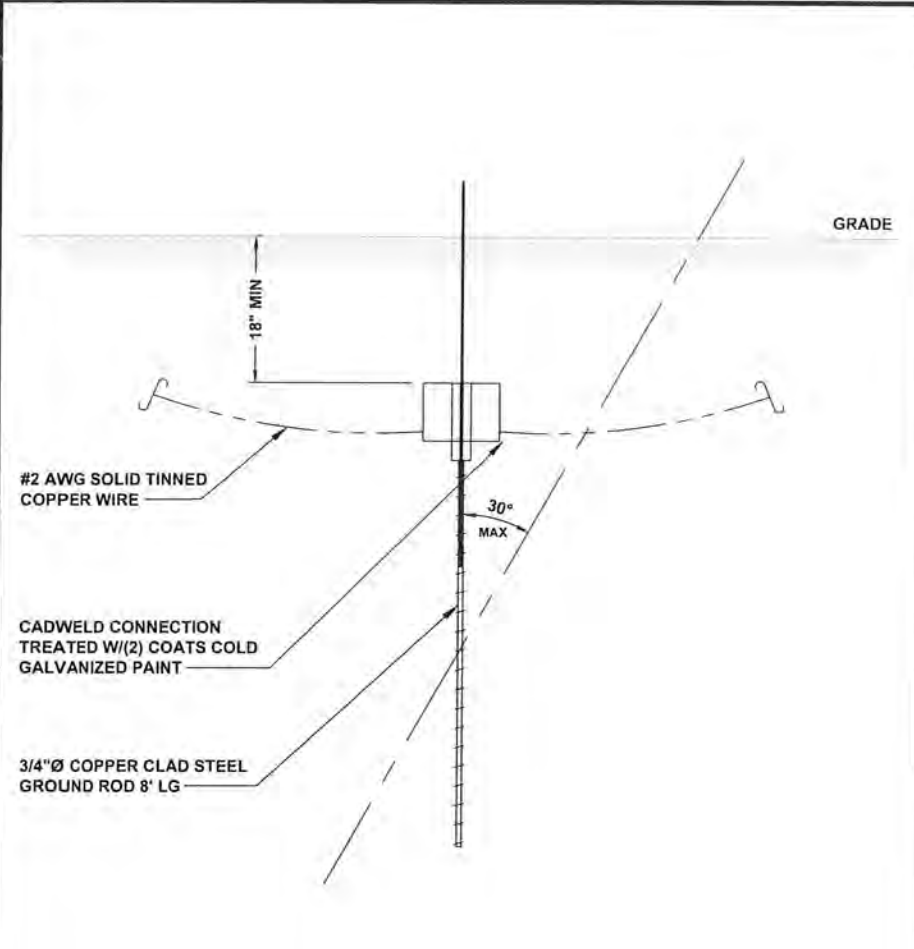
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WI002_PLEASANT PRAIRIE
PLEASANT PRAIRIE OUTLETS
11211 120TH AVENUE
PLEASANT PRAIRIE, WI 53158

SHEET NUMBER
GROUNDING DETAILS

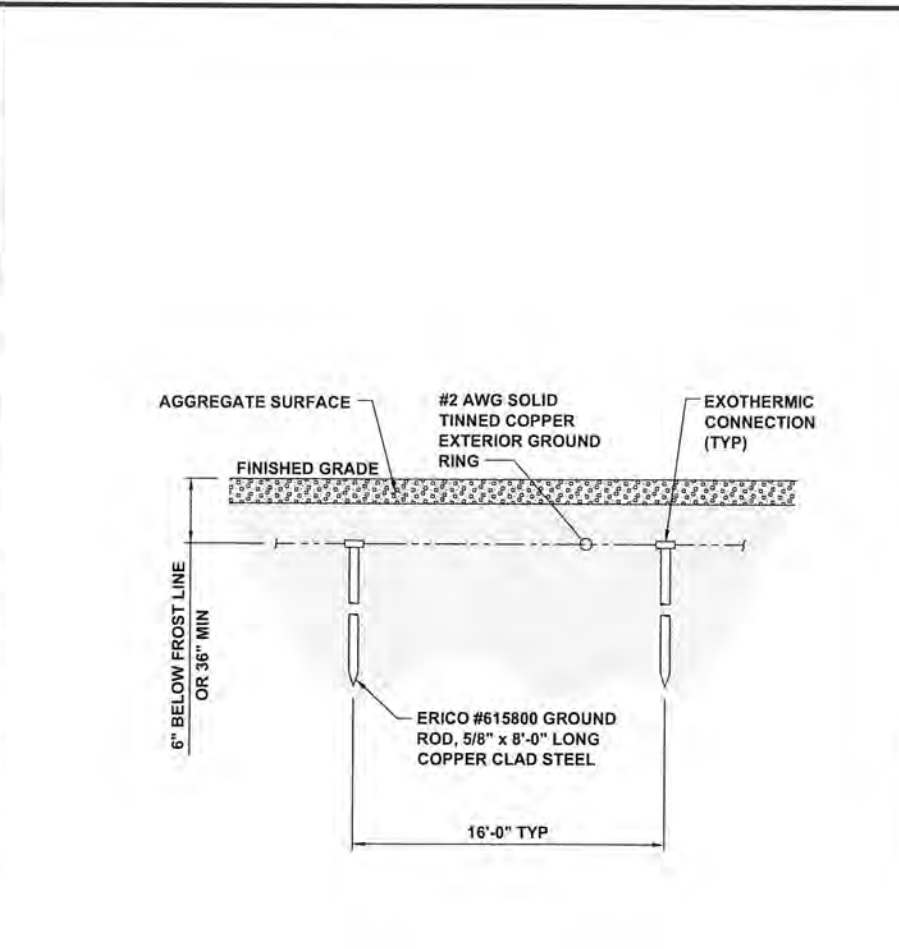
SHEET NUMBER
G-1



TYPICAL GROUND ROD DETAIL

NO SCALE

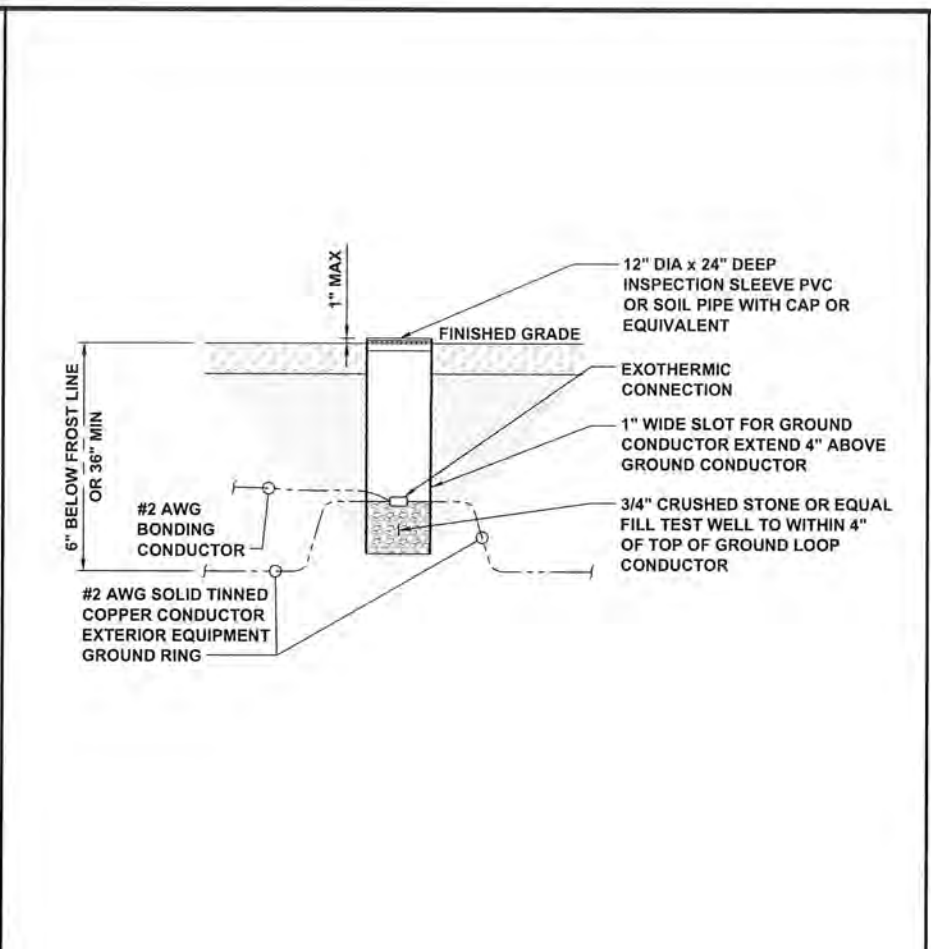
A



PROPOSED GROUNDING RING DETAIL

NO SCALE

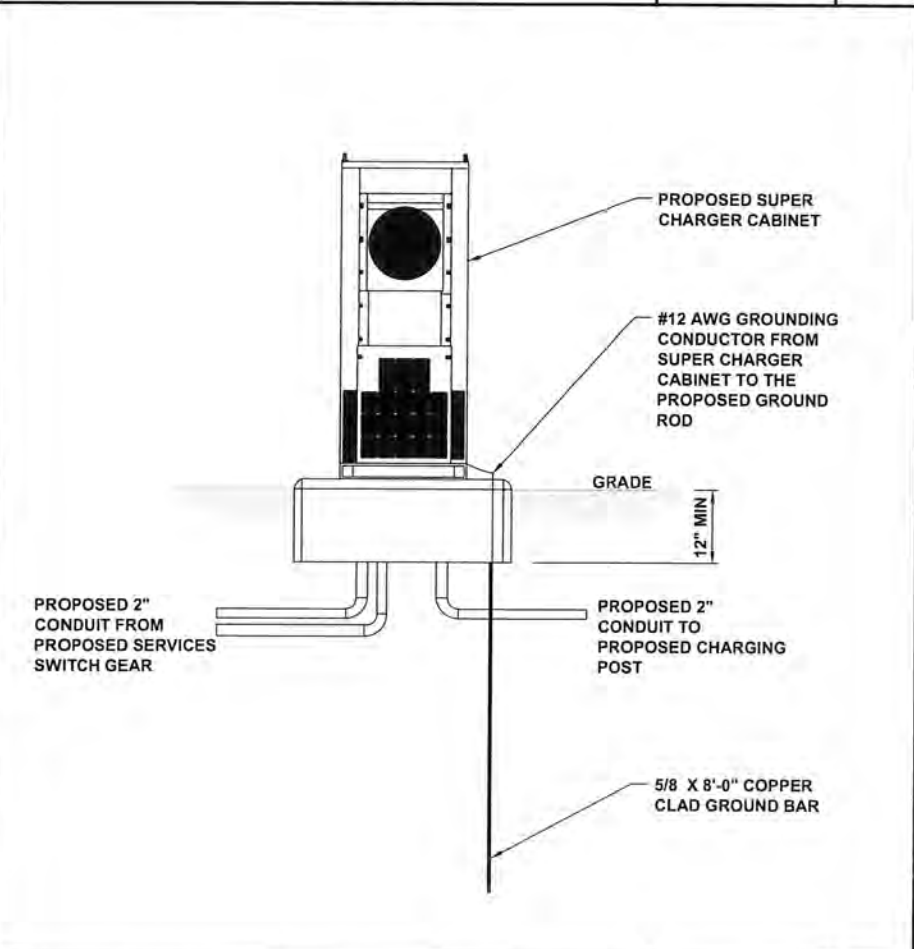
B



EXOTHERMIC WELD INSPECTION SLEEVE DETAIL

NO SCALE

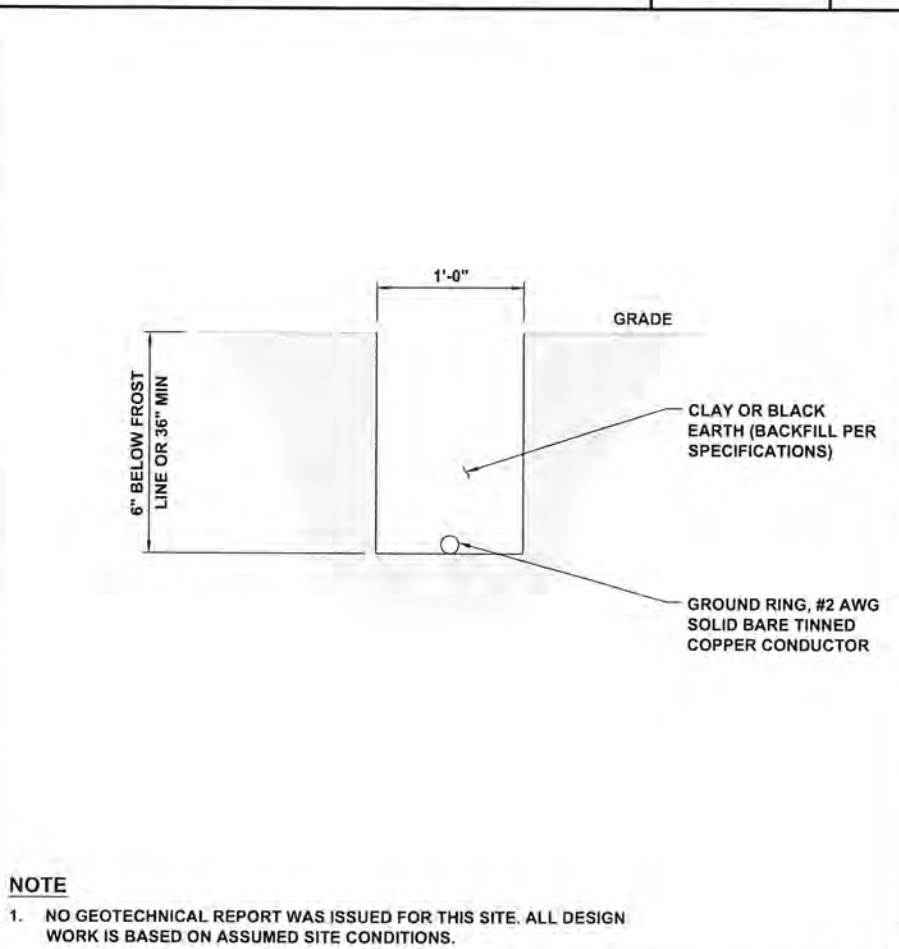
C



SUPERCHARGER GROUNDING DETAIL

NO SCALE

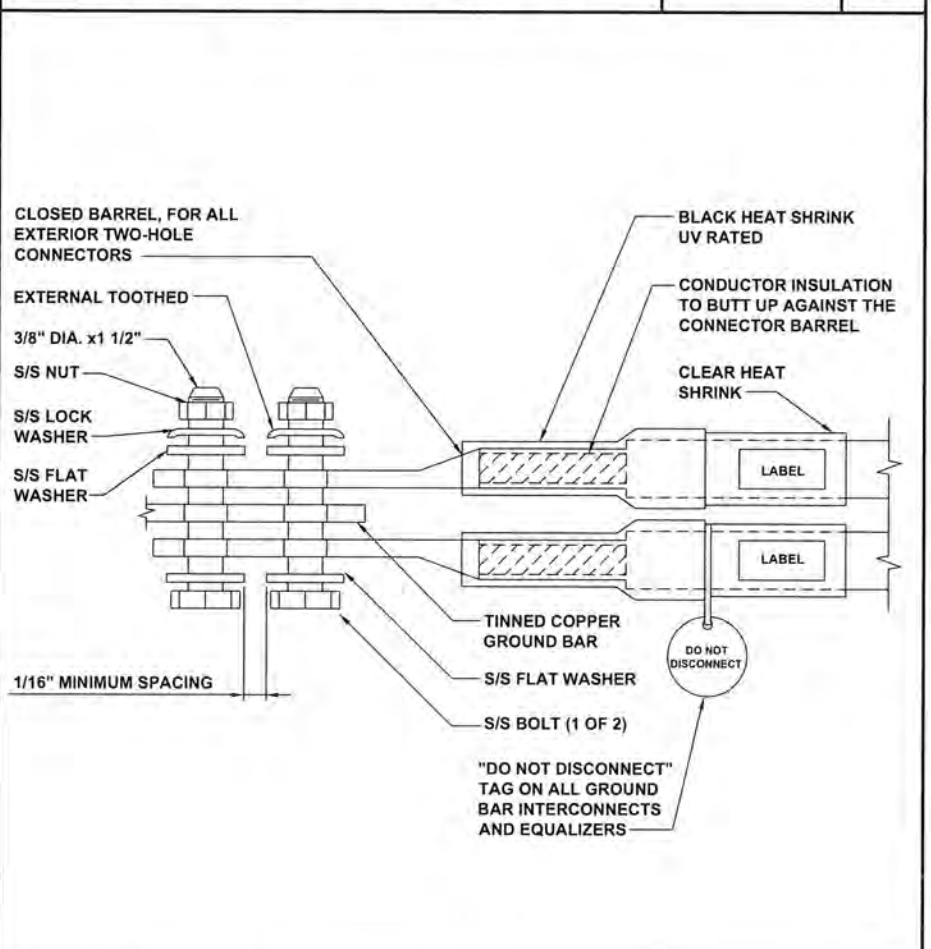
D



GROUNDING TRENCH DETAIL

NO SCALE

E



EXTERIOR TWO HOLE LUG DETAIL

NO SCALE

F

NOTE
 1. NO GEOTECHNICAL REPORT WAS ISSUED FOR THIS SITE. ALL DESIGN WORK IS BASED ON ASSUMED SITE CONDITIONS.

TESLA MOTORS, INC.

3500 DEER CREEK RD
 PALO ALTO, CA 94304
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BLACK & VEATCH

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SHEET NUMBER
GROUNDING DETAILS

SHEET NUMBER
G-2



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BLACK & VEATCH

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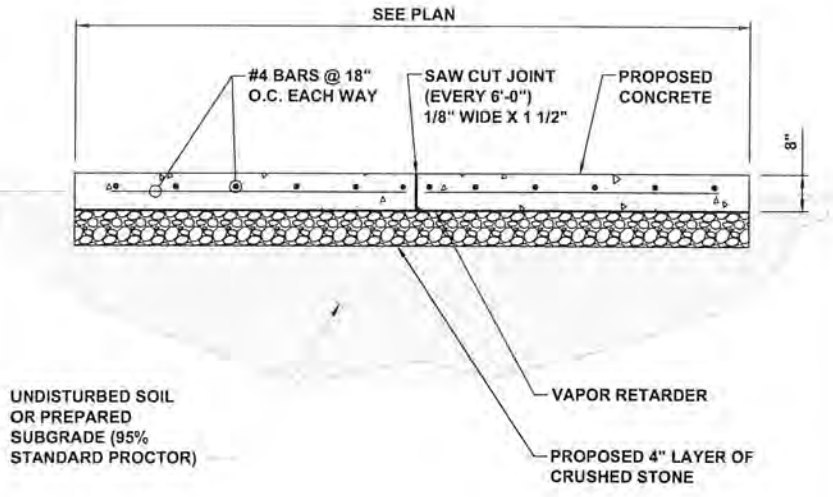
WI002_PLEASANT PRAIRIE
PLEASANT PRAIRIE OUTLETS
11211 120TH AVENUE
PLEASANT PRAIRIE, WI 53158

SHEET NUMBER
STRUCTURAL DETAILS

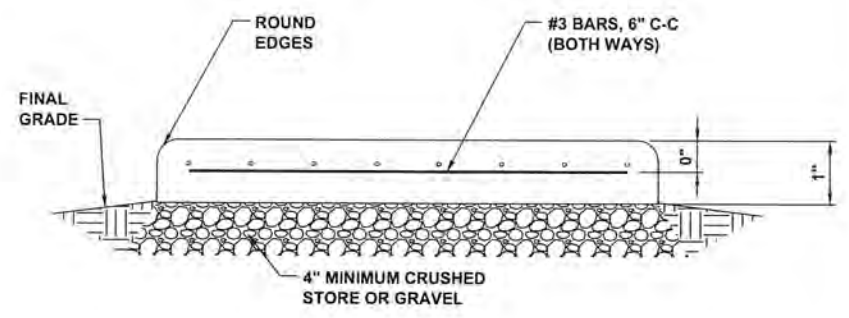
SHEET NUMBER
S-1

NOTES

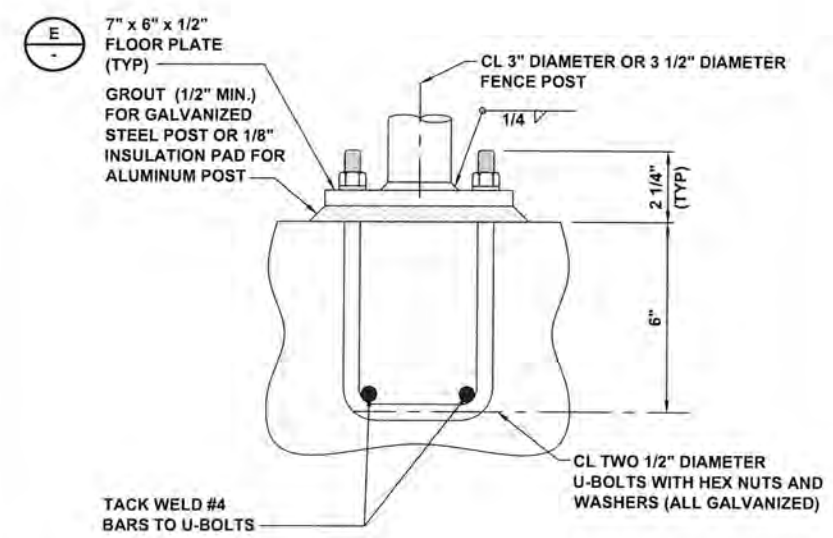
1. THE CONTRACTOR TO INSTALL THE TRANSFORMER FOUNDATION, 1" CONDUITS, AND TRENCH FOR ComEd GROUND WIRE
2. AFTER PRIMARY AND SECONDARY CONDUITS ARE IN PLACE, BACKFILL WITH SCREENINGS, SAND, OR FINE EXCAVATED MATERIAL. COMPACT THOROUGHLY BEFORE POURING FOUNDATION.
3. CONCRETE TO BE IN ACCORDANCE WITH THE LATEST EDITION OF THE APPLICABLE ACI CODE AND AIR ENTRAINMENT. IT SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS. AIR ENTRAINMENT SHALL BE 4 1/2 TO 7 PERCENT OF THE VOLUME OF CONCRETE.
4. TOP OF FOUNDATION TO BE SMOOTH AND LEVEL.
5. GRADE AWAY FROM FOUNDATION. FINAL GRADE SHALL BE WELL DRAINED AT ALL TIMES. DO NOT DISTURB GROUND IN FOUNDATION AREA MORE THAN NECESSARY WHEN INSTALLING CONDUIT.



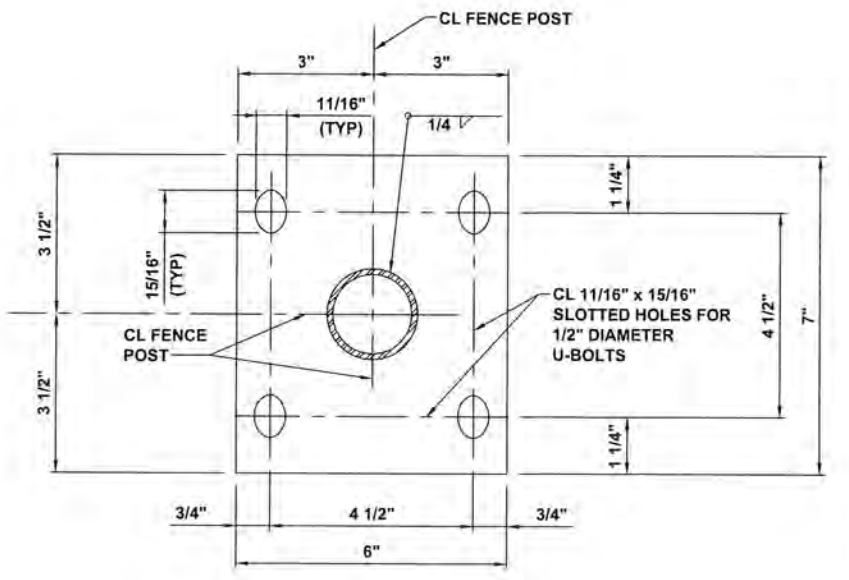
CONCRETE PAD DETAIL NO SCALE A



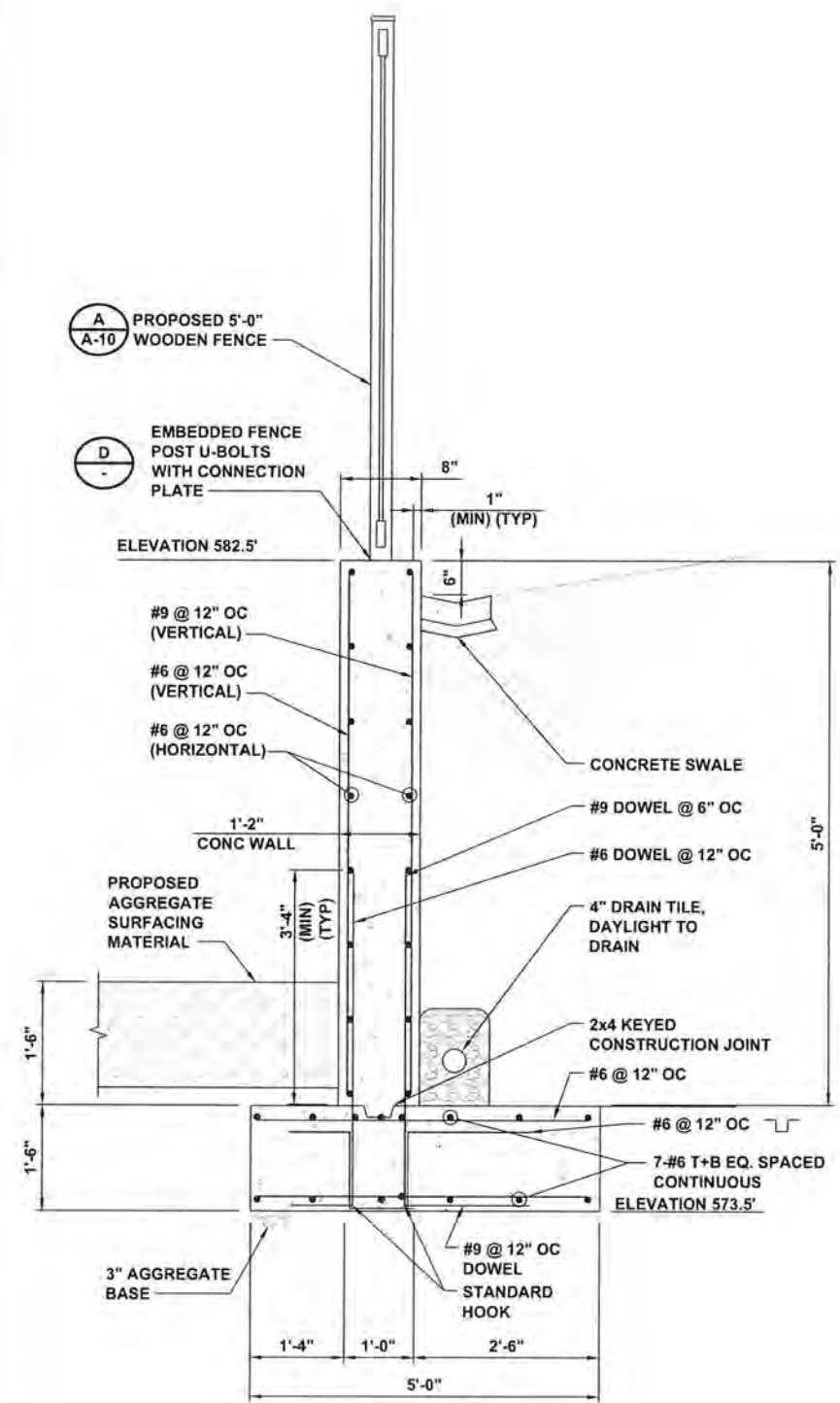
TRANSFORMER FOUNDATION DETAIL NO SCALE B



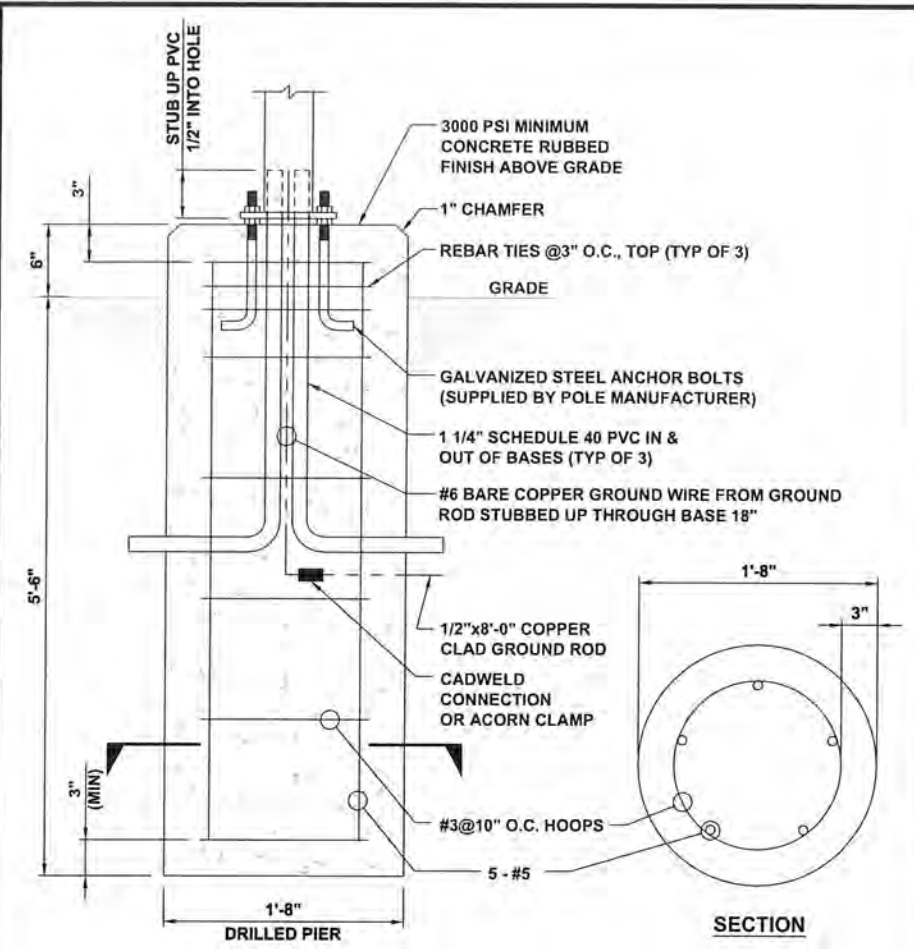
TYPICAL FENCE POST CONNECTION NO SCALE D



FENCE POST BASE PLATE DETAIL NO SCALE E

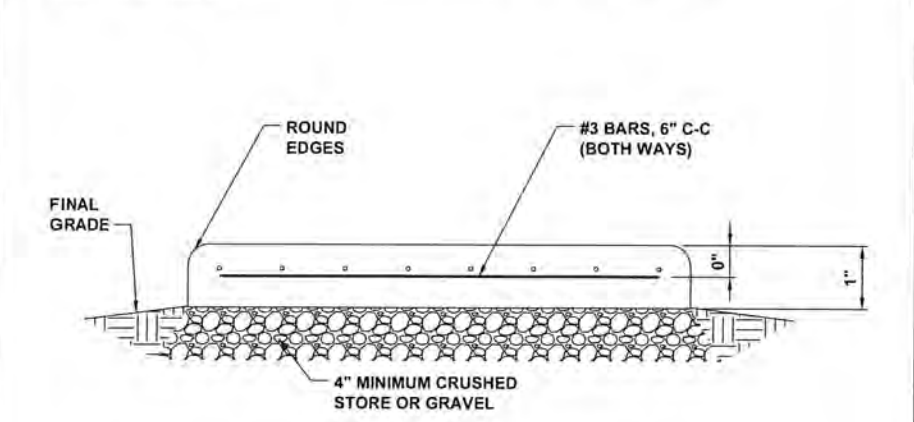


RETAINING WALL SECTION NO SCALE C



PEDESTRIAN LIGHT POLE BASE IN PAVEMENT DETAIL NO SCALE A

- NOTES**
1. THE CONTRACTOR TO INSTALL THE TRANSFORMER FOUNDATION, 1" CONDUITS, AND TRENCH FOR ComEd GROUND WIRE
 2. AFTER PRIMARY AND SECONDARY CONDUITS ARE IN PLACE, BACKFILL WITH SCREENINGS, SAND, OR FINE EXCAVATED MATERIAL. COMPACT THOROUGHLY BEFORE POURING FOUNDATION.
 3. CONCRETE TO BE IN ACCORDANCE WITH THE LATEST EDITION OF THE APPLICABLE ACI CODE AND AIR ENTRAINED. IT SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS. AIR ENTRAINMENT SHALL BE 4 1/2 TO 7 PERCENT OF THE VOLUME OF CONCRETE.
 4. TOP OF FOUNDATION TO BE SMOOTH AND LEVEL.
 5. GRADE AWAY FROM FOUNDATION. FINAL GRADE SHALL BE WELL DRAINED AT ALL TIMES.
 6. DO NOT DISTURB GROUND IN FOUNDATION AREA MORE THAN NECESSARY WHEN INSTALLING CONDUIT.

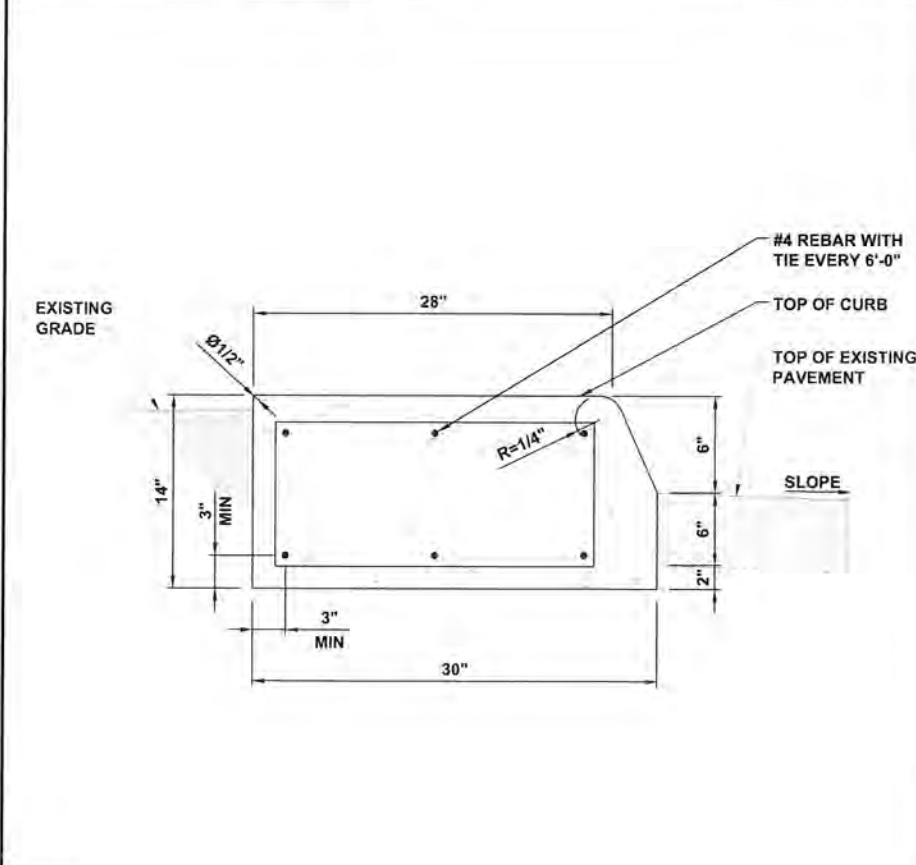


PRELIMINARY

TRANSFORMER FOUNDATION DETAIL NO SCALE D

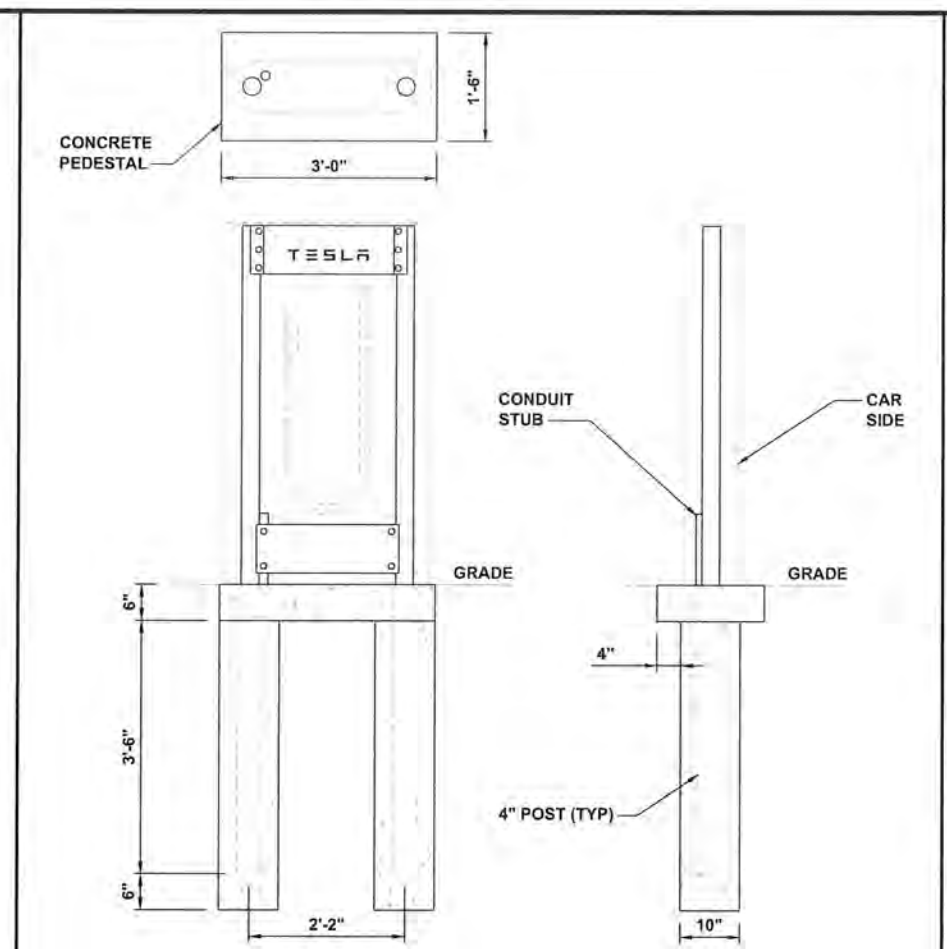
DETAIL NOT USED NO SCALE B

DETAIL NOT USED NO SCALE B



NOTE
1. CURB TO BE CONSTRUCTED IN 10 FOOT LENGTHS.

30" CONCRETE CURB DETAIL NO SCALE E



CHARGING STATION FOOTING DETAIL NO SCALE C

DETAIL NOT USED NO SCALE F

DETAIL NOT USED NO SCALE F

TESLA
MOTORS, INC.

3500 DEER CREEK RD
PALO ALTO, CA 94304
(650) 681-5000

BLACK & VEATCH

10950 GRANDVIEW DRIVE
OVERLAND PARK, KS 66210
(913) 458-2000

PROJECT NO:	179056
DRAWN BY:	JW
CHECKED BY:	MBG

REV	DATE	DESCRIPTION
C	07/09/13	ISSUED FOR 90% REVIEW
B	06/26/13	REISSUED FOR 30% REVIEW
A	06/25/13	ISSUED FOR 30% REVIEW

NOT TO BE USED FOR CONSTRUCTION

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W1002_PLEASANT PRAIRIE
PLEASANT PRAIRIE OUTLETS
11211 120TH AVENUE
PLEASANT PRAIRIE, WI 53158

SHEET NUMBER
STRUCTURAL DETAILS

SHEET NUMBER
S-2



3500 DEER CREEK RD
PALO ALTO, CA 94304
(650) 681-5000



BLACK & VEATCH

10950 GRANDVIEW DRIVE
OVERLAND PARK, KS 66210
(913) 458-2000

PROJECT NO: 179056
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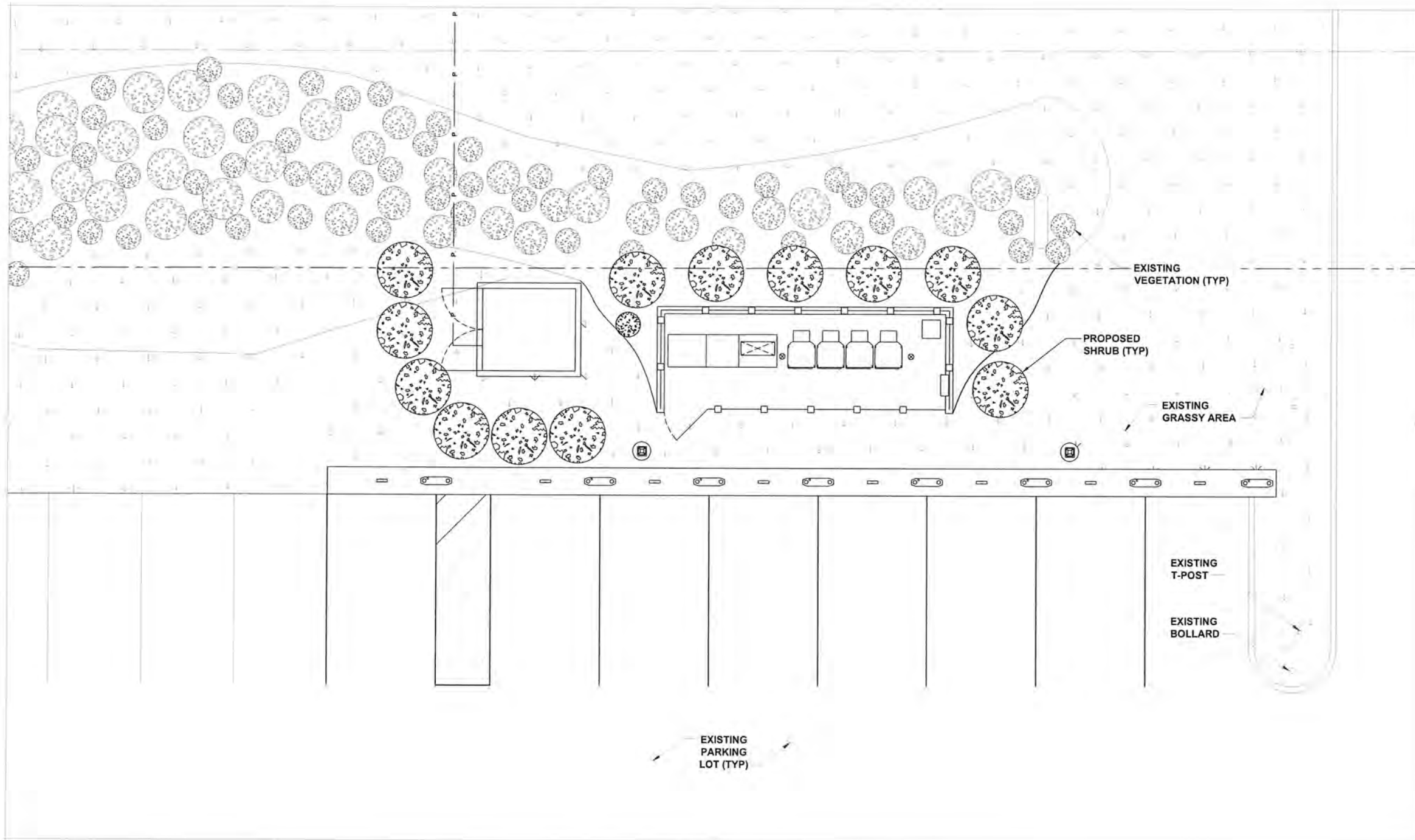
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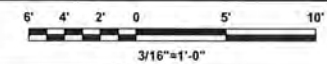
WI002_PLEASANT PRAIRIE
PLEASANT PRAIRIE OUTLETS
11211 120TH AVENUE
PLEASANT PRAIRIE, WI 53158

SHEET NUMBER
LANDSCAPING PLAN

SHEET NUMBER
LS-1

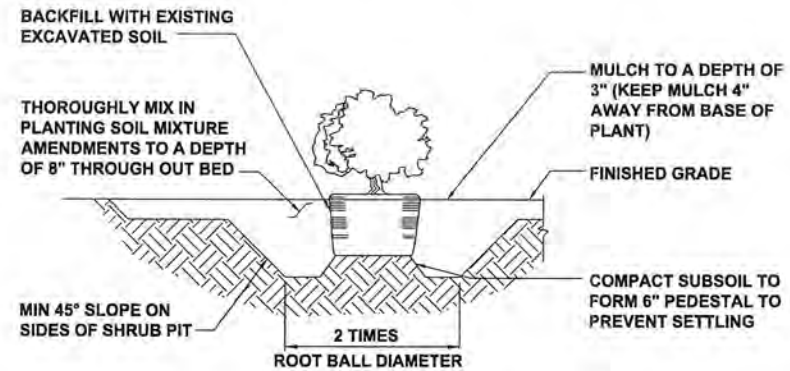


LANDSCAPING PLAN



NOTES

1. PLANT SO THAT TOP OF ROOT BALL IS 1" ABOVE FINISHED GRADE.
2. SCARIFY SIDES AND BOTTOM OF TREE PIT.
3. LOOSEN THE EXISTING EXCAVATED SOIL BEFORE RETURNING IT TO THE SHRUB PIT. BACKFILL PIT WITH EXISTING SOIL, HAND TAMPING TO REMOVE VOIDS. WATER UNTIL NO MORE WATER IS ABSORBED.
4. ALL PLANTS SHALL BE WATERED THOROUGHLY TWICE DURING THE FIRST 24 HOURS PERIOD AFTER PLANTING. ALL PLANTS SHALL THEN BE WATERED WEEKLY, AND MORE FREQUENTLY DURING TIMES OF EXTREME HEAR, FOR THE DURATION OF THE FIRST GROWING SEASON.



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PALO ALTO, CA 94304
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BLACK & VEATCH

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PROJECT NO: 179056
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PLEASANT PRAIRIE OUTLETS
11211 120TH AVENUE
PLEASANT PRAIRIE, WI 53158

SHEET NUMBER
LANDSCAPING DETAILS AND PLANT SCHEDULE

SHEET NUMBER
LS-2

DETAIL NOT USED

A

TYPICAL SHRUB PLANTING

NO SCALE

B

DETAIL NOT USED

NO SCALE

C

DETAIL NOT USED

NO SCALE

D

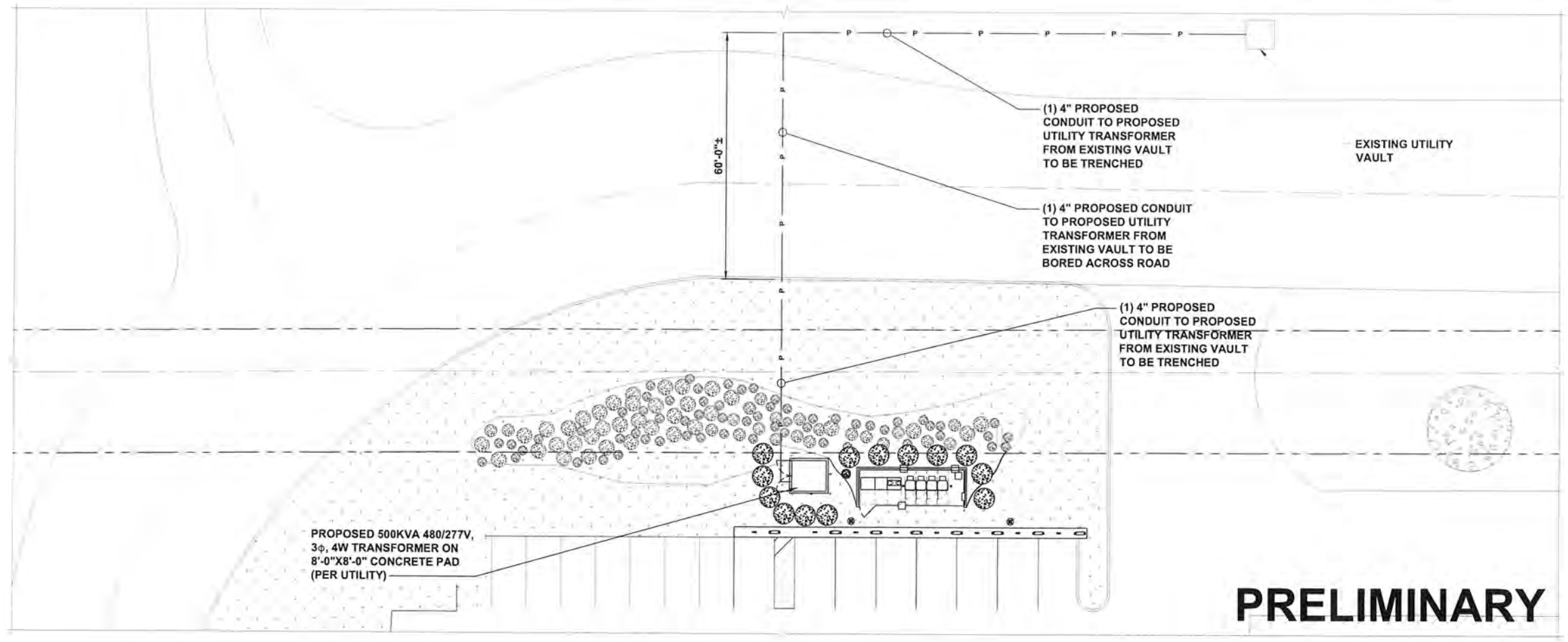
PLANT SCHEDULE

NO SCALE

F

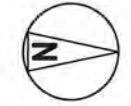
PLANT SCHEDULE

CODE	BOTANICAL NAME	COMMON NAME	QTY	SIZE	SPACING	SPECIFICATIONS
<u>SHRUBS</u>	JUNIPERUS CHINENSIS "SEA GREEN"	SEA GREEN JUNIPER	14	3-5 GALLON	AS SHOWN ON PLAN	CONTAINERIZED, FULL WELL FORMED
<u>GROUND COVER</u>						
<u>OTHER</u>						
<u>MULCH</u>		HARDWOOD MULCH				MULCH ALL PROPOSED BED TO A DEPTH OF 3"

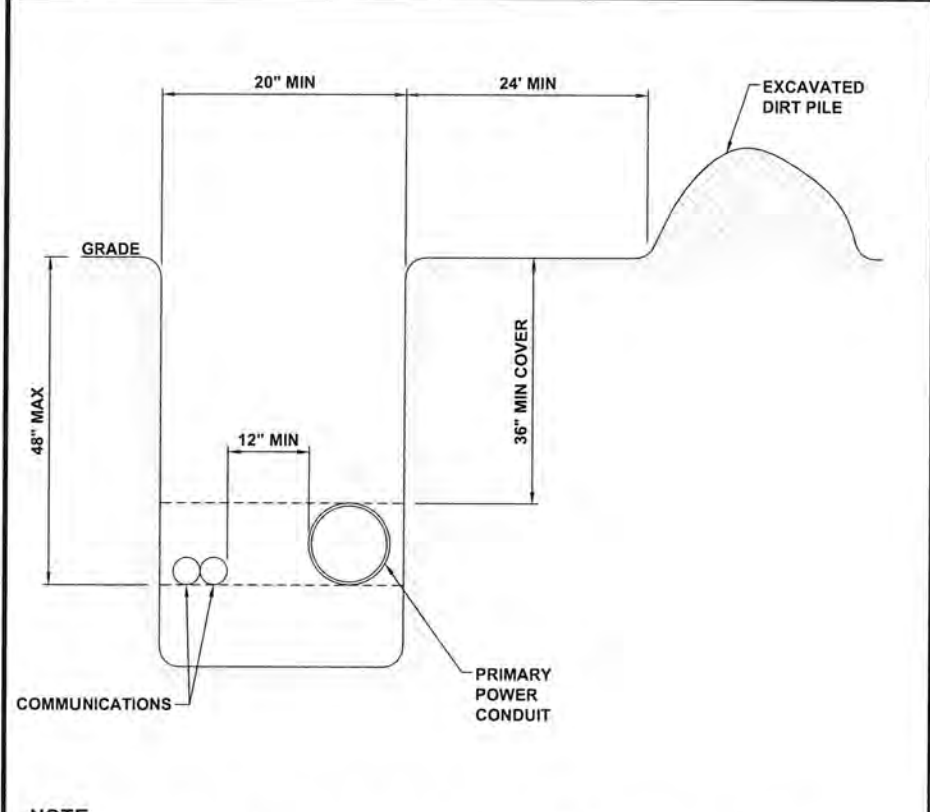
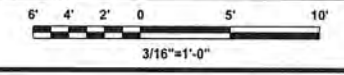


PROPOSED 500KVA 480/277V,
3 ϕ , 4W TRANSFORMER ON
8'-0"X8'-0" CONCRETE PAD
(PER UTILITY)

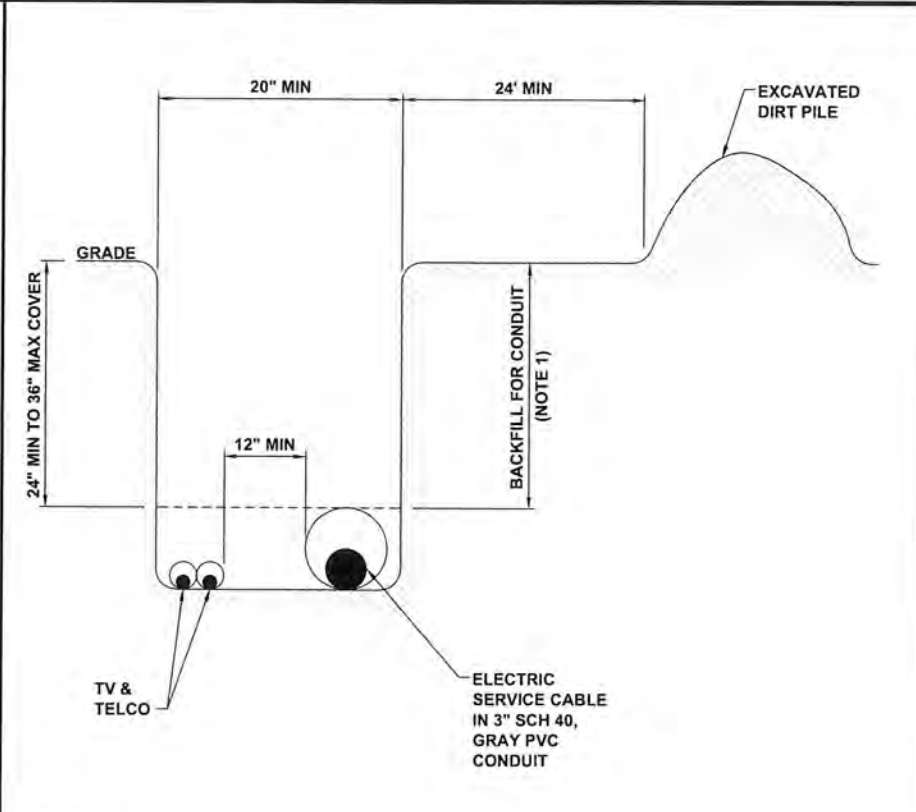
PRELIMINARY



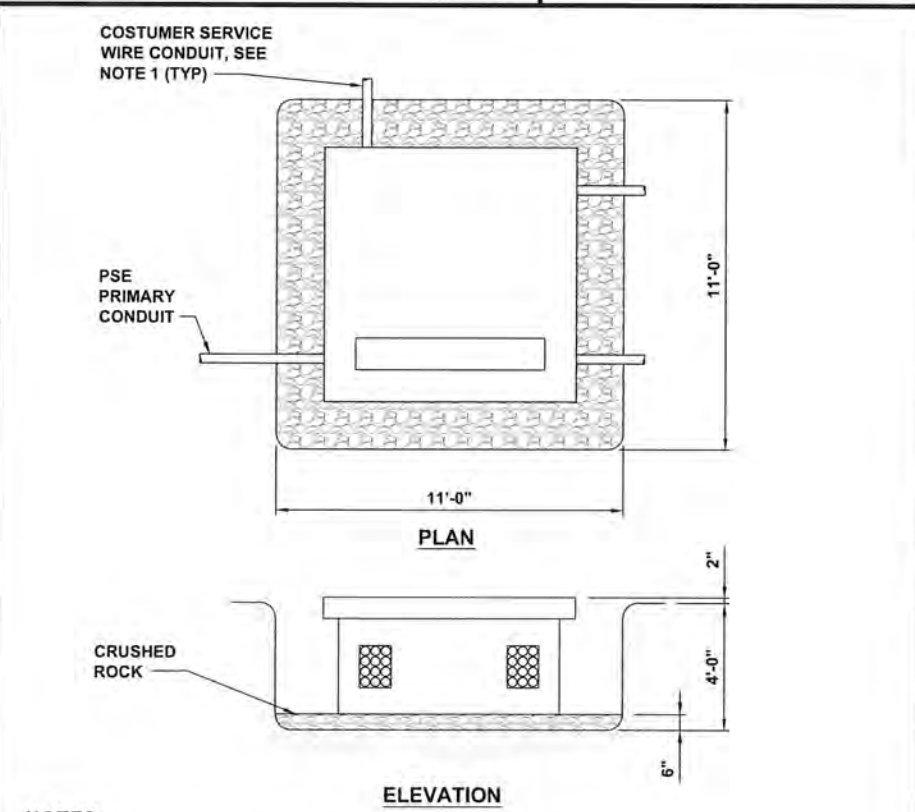
BORING PLAN



NOTE
1. BACKFILL, BEDDING AND SHADING REQUIREMENTS ARE CONTINGENT UPON THE SOIL TYPE PRESENT ON SITE, AND SHALL BE SPECIFIED AT THE PRE-CONSTRUCTION MEETING AFTER COMPOSITION OF THE NATIVE MATERIAL HAS BEEN DETERMINED.



NOTE
1. SOIL THAT IS FREE FROM DEBRIS, SHARP ROCKS, AND ROCKS LARGER THAN 10\"/>



NOTES
1. CUSTOMER SERVICE CONDUITS MAY ENTER VAULT AT ANY CORNER OTHER THAN THE CORNER WHERE THE PRIMARY CABLE ENTERS THE VAULT.
2. EXCAVATION = 20 CUBIC YARDS.

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PROJECT NO:	179056
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WI002_PLEASANT PRAIRIE
PLEASANT PRAIRIE OUTLETS
11211 120TH AVENUE
PLEASANT PRAIRIE, WI 53158

SHEET NUMBER
BORING PLAN AND DETAILS

SHEET NUMBER
BP-1

CUSTOMER SUPPLIED TRENCH FOR PRIMARY CABLE	NO SCALE	A	CUSTOMER SUPPLIED TRENCH FOR SECONDARY CABLE	NO SCALE	B	VAULT DETAIL	NO SCALE	E
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H. **PUBLIC HEARING AND CONSIDERATION OF A CONCEPTUAL PLAN** for the request of Mark Goode, of Venture One Real Estate, agent for James G. Hart and Delaine Farm Partners owners of the properties generally located east of IH-94 south of 110th Street and north of 122nd Street for the approval of a **Conceptual Plan** for the proposed Riverview Corporate Park. The petitioner is requesting to develop approximately 250 acres for five (5) office and manufacturing production buildings ranging in size from about 87,000 square feet to 428,000 square feet.

Recommendation: Village staff recommends that the Plan Commission send a favorable recommendation to the Village Board to approve the **Conceptual Plan** subject to the comments and conditions of the Village Staff Report of September 9, 2013.

VILLAGE STAFF REPORT OF SEPTEMBER 9, 2013

CONSIDERATION OF A CONCEPTUAL PLAN for the request of Mark Goode, of Venture One Real Estate, agent for James G. Hart and Delaine Farm Partners owners of the properties generally located east of IH-94 south of 110th Street and north of 122nd Street for the approval of a **Conceptual Plan** for the proposed Riverview Corporate Park. The petitioner is requesting to develop approximately 250 acres for five (5) office and manufacturing production buildings ranging in size from about 87,000 square feet to 428,000 square feet.

*The petitioner is requesting approval of a Master Conceptual Plan for the proposed development of 254 acres corporate business park generally located east of IH-94 south of 110th Street and north of 122nd Street (Tax Parcel Numbers 92-4-122-303-0101, 92-4-122-304-0200, 92-4-122-311-0200, 92-4-122-312-0305 and 92-4-122-312-0310) to be known as Riverview Corporate Park. This is a **Master Conceptual Plan** for the development of these properties, not the detailed Conceptual Plan. The petitioner has requested approval of this Master Conceptual Plan to obtain early input from the Village and the abutting neighbors as they continue to prepare more detailed plans and work through the Village's development review process.*

The Master Conceptual Plan indicates that five (5) office and manufacturing production buildings ranging in size from about 87,000 square feet to 428,000 square feet could be developed. According to the application, the development referred to as "Riverview Corporate Park" is strategically designed to accommodate five (5) to seven (7) corporate facilities for office, research and development, manufacturing, production and assembly operations. Riverview Corporate Park will be an unified business development park utilizing pre-cast construction with brick accents and significant window lines throughout the office section of the buildings. Riverview will have open space design features utilizing the prairie and wetlands to transition into the adjoining areas.

Riverview Corporate Park is intended to accommodate the business expansion of corporations from both the Chicago and Milwaukee markets. It has immediate access to the four-way interchange at STH 165 and I-94. It is 30 minutes from General Mitchell International Airport and **45 minutes from Chicago O'Hare International Airport. From I-94**, the Park has good access to the interstate highway system for servicing the entire Midwest region. The development of the Corporate Park will likely begin in 2014 with an ultimate estimated employment of 1,100 people at full build-out.

Of the total 254-acres within the Master Conceptual Plan area, there are about 165 acres which contain environmental features. The remaining 86 acres of developable land includes the following conceptual buildings:

- Building A is located on a 12.22 acre site and is proposed to be 205,440 square feet with 192 parking spaces and 24 docks.
- Building B is located on a 22.76 acre site and is proposed to be 428,187 square feet with 419 parking spaces and 8 docks.
- Building C is located on a 17.28 acre site and is proposed to be 319,492 square feet with 555 parking spaces and 10 docks.
- Building D is located on a 19.64 acre site and is proposed to be 397,870 square feet with 448 parking spaces and 10 docks.
- Building E is located on a 6.43 acre site and is proposed to be 87,330 square feet with 212 parking spaces and 6 docks.

The Plan indicates that 116th Avenue would be extended south to connect to 120th Avenue (East Frontage Road) and it would terminate in a temporary cul-de-sac. It also shows that 116th Avenue would be extended to the north from 122nd Street and it would terminate in a temporary cul-de-sac. The Ultimate Plan would be to connect the two (2) temporarily dead-ended cul-de-sacs.

Riverview Corporate Park will be required to be serviced by municipal water, sanitary sewer and storm sewers. The Village is evaluating the proposed development and will be preparing as part of the Neighborhood Plan how lands within the Neighborhood can be serviced. The Village is also working with the Wisconsin Department of Transportation (WI DOT) in reviewing the existing and future transportation requirements and roadway network to service the petitioners land and the land within the Neighborhood Plan area.

The developable land within the proposed Riverview Corporate Park is zoned, M-5, Production Manufacturing Zoning District. This zoning would allow for specific manufacturing, production and office uses located on properties located adjacent to the LakeView Corporation Park. The M-5 Zoning District was adopted by the Village Board as a comprehensive rezoning impacting multiple areas on June 17, 2013 of the Village. The M-5 Zoning District reflects an enhancement of the **Village's** public policy of sound and diversified economic development. While there have been and still are sufficient economic opportunities for the construction of warehouses and distribution facilities in the existing Corporate Parks, it is important to conserve land resources and economic infrastructure support in order to assist in providing more employment in the Village. As such, the M-5 District serves to promote and encourage production, manufacturing, and office related employment as the primary uses in the District, with warehousing and distribution to be ancillary or secondary uses in this District. This area along with an area on the west side of I-94 and as area near STH 31 and 116th Street all have been designated on the Land Use Plan and the Village Zoning Map within the M-5 district to encourage and promote more intensive land uses which in turn would promote greater employment opportunities in proximity to both I-94 and STH 31.

The development of Riverview Corporate Park and the specific sites to be developed shall comply with the requirements set forth in the M-5 District regulations. The M-5 District is intended to provide for manufacturing, assembly, office, and research and development uses with limited warehouse and distribution uses within an enclosed structure wherein no high hazard uses are allowed and the method of manufacturing is not injurious to the point of constituting a nuisance to the occupants of adjacent properties by reason of the emission or creation of noise, vibration, smoke, dust or particle matters, toxic or noxious materials, odors, fire or explosive hazards, glare or heat and located in those areas where the relationship to surrounding land uses would create few problems of compatibility. This District also allows for office parks or individual office buildings and ancillary uses, which may or may not include space for manufacturing, assemblies, or research and development, but provides direct services to the employees or customers or other uses in the area. It is anticipated that these areas would be developed in an attractive corporate park-like setting with landscaping, consistent signage, and similar or compatible building materials and designed to present an integrated image to customers. The District is in compliance with **Village's Comprehensive Land Use Plan**.

The Riverview Corporate Park development must comply with all Village Ordinances and requirements and specifically with the requirements of the M-5 District.

The proposed Riverview Corporate Park is located within a portion of the LakeView West Neighborhood and the River Woods Neighborhood. The next step for the development of the Riverview Corporate Park is to work with the Village to complete a detailed Neighborhood Plan for the entire Lakeview West Neighborhood and a portion of the River Woods Neighborhood.

The LakeView West Neighborhood is generally located east of I-94 and west of the Des Plaines River between approximately the 9300 and 11600 blocks. A portion of the property within the Riverview Corporate Park is located in the River Woods Neighborhood that extends from the 11600 block south the Wisconsin Illinois state line. The Neighborhood Plan will include all of the area in the LakeView West Neighborhood and those portions of the River Woods Neighborhood Plan up to CTH ML. The land uses in this area have already be established in the Land Use Plan but the detailed transportation and utility planning will be incorporated into the Neighborhood Plan.

The 2035 Land Use Plan identifies the areas north of STH 165 within the LakeView West Neighborhood as Freeway Office Center with the preservation of the environmental features including Primary Environmental Corridors, shorelands, wetland and floodplains. The land south of STH 165 within the Neighborhood has a combination of Freeway Office Center, Freeway Oriented Regional Retail Center, Freeway Oriented Service Center and a Production Manufacturing, which is the main land use designation for the lands within the Master Conceptual Plan. *(Note: Smaller wetland areas may be allowed to be filled by the Wisconsin Department of Natural Resources (WI DNR) and U.S. Army Corps of Engineers (ACOE) and floodplain boundaries may be amended pursuant to Village, WI DNR, ACOE, the Federal Emergency Management Agency (FEMA) requirements with approvals.)*

The developable lands north of STH 165 within the Neighborhood Plan area are owned by WisPark LLC and a one parcel is owned by the Village Community Development Authority. Input from both of these developers will be incorporated into the Neighborhood Plan. It is expected that the Neighborhood Plan will be completed and presented to the Plan Commission and the Village Board this fall. A majority of the developable land south of STH 165 within the Neighborhood Plan is either already developed, included as a part of LakeView Corporate Park, included as the 254 acres proposed to be acquired by the petitioner or identified currently as farmland within the River Woods Neighborhood.

Prior to completing the Neighborhood Plan, the detailed environmental stakings will be reviewed on the 254 acre parcel and further discussion is warranted by the petitioner with the Wisconsin Department of Natural Resources and the U.S. Army Corp of Engineers related to any proposed environmental impacts. These discussions may warrant the reconfiguration of the Riverview Corporate Park. See **attached** letters were received from the WI DNR dated August 22, 2013 and ACOE dated September 4, 2013 regarding the environmental impacts.

On May 20, 2013 the Village Board approved a Professional Services Agreement for Traffic Analysis & Design, Inc. to complete a Traffic Impact Analysis (TIA) for several locations within the LakeView Corporate Park, including this area. There are a number of developments that are being constructed and/or planned within/near the Lakeview Corporate Park. In order to adequately plan for the potential traffic and roadway infrastructure impacts from these developments, a TIA is being completed. Intersections near Riverview included in the TIA are: 1) STH 165-Corporate Drive, 2) STH 165-116th Avenue, and 3) 116th Avenue-Corporate Drive-108th Street (near the existing water tower). The latter of those intersections is being studied for potential conversion to a roundabout. Roundabouts have been proven to improve traffic flow and reduce the number and severity of accidents.

NEXT STEPS:

Comprehensive Plan Amendments: Neighborhood Plans are a component of the Village's Comprehensive Plan and are required to be prepared prior to subdividing property for development in the Village. As noted above, a Neighborhood Plan is being prepared for the LakeView West Neighborhood and a portion of the River Woods Neighborhood. Again, the land uses in this area have already be established in the Land Use Plan but the detailed transportation and utility planning will also be incorporated into the Neighborhood Plan.

Any amendments to the Comprehensive Plan are required to be approved by the Village Board by Ordinance. The Plan Commission holds the public hearing (a 30-day public notice is required) and makes recommendations to the Village Board. Additional amendments to the Comprehensive Land Use Plan may be required to reflect the modified land uses shown on the Neighborhood Plan and to reflect and detailed environmental delineations on the specific development site. Upon review of the revised Neighborhood Plan based on the comments in this memo, further evaluation of additional amendments may be required to the Comprehensive Plan.

In addition, the Zoning Map is required to be consistent with the Comprehensive Land Use Plan; therefore, a Zoning Map Amendment may be required to reflect the location of the field delineated wetlands or other environmental features. The environmental related rezoning's typically take place at the time of the Comprehensive Land Use Map Amendments.

Conceptual Plan: A more detailed Conceptual Plan for the specific site areas to be developed may be required based on the Neighborhood Plan. At a minimum, detailed Grading and Drainage Plans and Public Roadway and Utilities Plans will be required. The Developer may choose to move directly to the Site and Operational Plan submittal stage for the specific sites. The Conceptual Plan (for the individual sites) shall include at a minimum:

- Topographic contours at one-foot intervals of the entire property;
- Public street layout;
- Existing and proposed lot or parcel layout, including the dimensions and area of each;
- Existing and proposed uses;
- Lands to be dedicated or reserved public purposes;
- Proposed conceptual landscaping;
- Proposed techniques for handling storm water and retention/detention facilities;
- Conceptual building layouts and parking areas for all uses;
- Location of existing and proposed streets, existing and proposed sanitary and storm sewer and water facilities and existing and proposed utility and drainage easements;
- Artist renderings of structures and facilities and floor plans, if available;
- Environmental features, including, without limitation, primary environmental corridors navigable waters, wetlands, floodplains (base on the June 19, 2012 FIRM, and woodlands;
- Lands to be vacated or structures to be razed; and
- Declaration of restrictions, covenants and easements.

For individual site Conceptual Plans, the Plan Commission is required to hold a public hearing and make recommendations of the Conceptual Plan to the Village Board. Depending on the level of unresolved issues, this approval may be required prior to subdividing the property, zoning map amendments and consideration of Site and Operational Plans.

Certified Survey Map/Public Improvements: A Certified Survey Map (CSM) will be required to dedicate right-of-way; to combine or subdivide the property; to identify Dedication and Easement Provisions, Restrictive Covenants and Other Developer Notes to define Developer maintenance obligations and site restrictions as required. Any public improvements that will be installed as part of the development of the Riverview Corporate Park shall be designed, constructed and installed prior to the development of a specific site.

A Development Agreement and Memorandum of Development Agreement will be prepared by the Village to define the Developer's obligations and construction requirements for all required public improvements. The Development Agreement defines the required public improvements and includes several exhibits such as the approved engineering and grading plans, roadway plans and design details, landscaping plans, lighting plans, signage plans, specifications, executed contracts, performance and payment bonds, Certified Survey Map and Irrevocable Letter of Credit as financial security for the installation of said improvements. The Development Agreement is reviewed by the Plan Commission and reviewed and approved by the Village Board. A closing is scheduled to execute the Developer documents. Developer documents shall be provided as a pre-condition of any approvals. A pre-construction meeting shall be held prior to work commencing on the public improvements. Further discussion is warranted with the petitioner. If it is determined that proposed Riverview Corporate Park improvements will make TID 2 more desirable in that it will attract businesses with better paying jobs and produce significantly higher valued land uses, then the Village will consider an amendment to TID 2 to include the Riverview Corporate Park property into the TID. The Village will not amend TID 2, however, until documentation is presented that the properties are under the ownership of a qualified developer.

Corporate Park Documents: The petitioner is requesting that this 254-acre site shown on the Master Conceptual Plan be developed as a unified development and that specific declarations, restrictions and development standards be developed. **Attached** is a draft of the Declaration of Development Standards and Protective Covenant for Riverview Corporate Park. The Village staff has provided initial comments to the Developer regarding this document. However, this document should not be finalized and recorded to establish the Riverview Corporate Park until the Engineering Plans and Certified Survey Map have been approved by the Village.

Site and Operational Plan: Prior to the development of a specific site and building Plan Commission approval of the detailed Site and Operational Plans are required. Site and Operational Plans shall include a detailed written narrative that explains the proposed development and specific related to the proposed uses (use, employment, traffic, etc.); site surveys of existing conditions; site development plans; building construction plans; lighting, landscaping and signage plans; and other items as required pursuant to Chapter 420 Article IX of the Village Zoning Ordinance. If a Conditional Use Permit is required, the Plan Commission will hold a public hearing. If a Conditional Use Permit is not required, the Plan Commission will consider the Site and Operational Plan at a regular meeting, which does not require a public hearing.

Village staff recommends that the Plan Commission send a favorable recommendation to the Village Board to approve the **Master Conceptual Plan** subject to the above comments and the following conditions:

1. The Neighborhood Plan as discussed above will incorporate the general site layout as shown on the Master Conceptual Plan.
2. What is the status of the developer acquiring the Otto Sprenger, Tax Parcel Number 92-4-122-312-0100 (27.99 acres) and the Kathleen Johnson, Tax Parcel Number 92-4-122-312-0150 (20.39 acres), properties located to the immediate south along 122nd Street? These two (2) properties are important to gaining a southerly 116th Avenue roadway connection to 122nd Street, thus providing another means of access to the development.
3. The Village staff has provided initial comments on the **attached** draft of the Declaration of Development Standards and Protective Covenant for Riverview Corporate Park this document; however this document should not be finalized and recorded to establish the Riverview Corporate Park until the Conceptual Plan and Certified Survey Map have been approved and prior to consideration of Site and Operational Plans for any proposed project. Further changes may be required as the development continues to progress through the development process.
4. All detailed environmental stakings and reports shall be submitted to the Village. Surveys with legal descriptions are required for all environmental features. In addition, written concurrence from the WI DNR or ACOE is required for the wetland staking. Prior to completing the Neighborhood Plan, detailed environmental staking will completed on the 254 acre parcel and further discussion is warranted by the petitioner with the Wisconsin Department of Natural Resources and the U.S. Army Corp of Engineers related to any proposed environmental impacts. These discussions may warrant the reconfiguration of the Riverview Corporate Park. See **attached** letters from the WI DNR dated August 22, 2013 and ACOE dated September 4, 2013 related to environmental impacts. As noted above, smaller wetland areas may be allowed to be filled by the WI DNR and ACOE and floodplain boundaries may be amended pursuant to Village, WI DNR, ACOE, FEMA requirements are approvals.
5. The following are comments related to the site layout, grading and drainage plans and utility plans that will need to be further discussed as the neighborhood plan is completed and detailed development plans are provided for the development of Riverview Corporate Park.
 - a. Conceptual Site Plan:
 - i. The plan needs to depict the phasing of the development. Show phasing lines, acreage of each phase and proposed timing (year) of each phase of the development.
 - ii. The plan shall be revised to show the proposed 116th right-of-way and street cross-section. A copy of the proposed cross-section is **attached**.

- iii. The site plan encroaches into the primary environmental corridor in several areas, most significantly on Lots 1 and 4. It would appear that the storm water pond as identified in Outlot B is all the existing woodlands.
 - iv. Enlarged concept plans shall be provided showing general site dimensions of roadways, drive lanes, parking isles, right-of-way widths, etc. as conceptually shown.
 - v. The site plan shows several delineated wetland areas being filled. Applicable WI DNR and ACOE permits will need to be obtained for these impacts.
 - vi. It appears that a floodplain fill and boundary adjustment is proposed as part of the development. The floodplain adjustment shall be noted / identified on the plan.
 - vii. Show the existing alignment/right-of-way of the Frontage Road on the plans. Also, show the proper existing right-of-way width.
 - viii. The date of the wetland delineation by Wetland & Waterway Consulting LLC shall be noted on the plans.
 - ix. The proposed property line boundaries are unclear. The plans shall be revised to clearly show existing and proposed property lines.
 - x. A copy of the site plan should be overlaid on an aerial photograph in order to show the surrounding area and existing woodland limits and /or show additional land information detail adjacent to the site on the plan.
- b. Conceptual Grading/Drainage Plan
- i. A review of the conceptual grading was not completed as proposed topographic grading information was not provided. However, based on the site layout and the proposed finished floor elevations and pond elevations, there are significant grade differentials on the site. Further information is required to evaluate whether the site plan is viable from a grading perspective, the impacts to environmental areas, and whether retaining walls around ponds etc. will be acceptable.
 - ii. Limits of existing woodland(s), environmental corridor(s), floodplain boundary(s), and wetland limit(s) shall be shown on the grading plan.
 - iii. The ponds are noted to include compensatory storage for floodplain fill. It is unclear how this will be achieved as the ponds shall be outside and above the 100-year floodplain elevation. Compensatory storage for floodplain fill pertaining to a floodplain adjustment shall be in accordance with Village ordinance. We recommend that the floodplain adjustment and associated requirements be further discussed with the Community Development Department to ensure an understanding of these requirements.
 - iv. Storm sewers which drain public roadways that traverse through private lots shall be privately owned but covered by a storm sewer maintenance and access easement giving rights to the Village.
 - v. It is unclear how drainage from the "future road" will be conveyed to pond B as noted and outlined in the plan.
 - vi. A conceptual storm water management narrative shall be submitted as part of the conceptual plan. Also, infiltration provisions or proof of exemption shall be provided.
 - vii. Wet ponds shall be labeled "retention ponds" on all future plans submitted to the Village.

- c. Conceptual Utility Plan
 - i. The Village's consulting engineers will be designing the public roadway and utility extensions to service the development. Continued design coordination will be necessary.
 - ii. A lift station / force main system is required to service lots 3 through 5. The location of the lift station and force main is still being evaluated. Site plan and utility modifications may be needed depending on the lift station placement.
- 6. General Comments:
 - a. This development shall be in compliance with the Village Land Division and Development Control Ordinance, the Village Municipal and Zoning Codes, the Village Construction Site Maintenance and Erosion Control Ordinance and the State of Wisconsin Statutes.
 - b. See **attached** comments from the Village Fire & Rescue Department dated August 4, 2013.
 - c. All building, plumbing, and HVAC plans will need to be designed to the IBC Codes, Wisconsin Plumbing Code and be State Approved prior to submitting (2 sets) for building permits from the Village of Pleasant Prairie.
 - d. Halls, corridors, stairways, passageways, work aisles and other means of egress from factories, offices and mercantile buildings shall have emergency lighting and exit lighting per Article 700 of the NEC, Comm 16.46, 51.15(5), 54.06(2), and 54.11. The Village Fire & Rescue Department should be contacted for further information and requirements. Contact Fire & Rescue Chief Paul Guilbert at 262-694-8027.
 - e. If water main is to serve both domestic and fire protection combined, the plans will need Department of Commerce approval and Village Fire & Rescue Department approval prior to obtaining permits and commencing work.
 - f. Complete erosion control measures, silt fence and gravel access drives must be installed per Wisconsin Construction Site Best Management Practice Handbook and be inspected within 24 hours of any land disturbing activity.
 - g. These parcels and buildings must comply with all requirements of Barrier-Free Design.
 - h. The architect(s)/ professional engineer(s) shall submit, to the Village and State, the compliance statement, Form SBD 9720, prior to the final inspection with the Village Building Inspection and Fire & Rescue Departments.
 - i. All electrical contractors (High and Low Voltage) shall obtain a permit from the Village prior to beginning work.
 - j. All mechanical contractors shall obtain a permit from the Village prior to beginning work.
 - k. Building plans shall show detail on fire stopping of all penetrations through fire rated walls and fire separation walls as required by emergency rule that took effect on January 28, 1998.
 - l. Sprinkler plans and all fire alarm installations are required to be submitted to, reviewed and approved by the Village Fire & Rescue Department.
 - m. Prior to any work commencing a Pre-Construction Meeting shall be held at the **Village Hall, coordinated by the Developer's Engineer at the Village municipal building.**

- n. All easements shall be shown on the Certified Survey Map and Site and Operational Plans submitted for review and approval as each lot is proposed to be developed.
- o. All commercial buildings will be required to install at least one sanitary sewer sampling manhole. The location and details shall be shown on the Site and Operational Plans required for each site. Contact the Village Engineer to confirm an approved location.
- p. All downspouts for all proposed buildings within the development shall be interconnected to the private storm sewer system and shown on the required Site and Operational Plans.
- q. All exterior mechanical units, antennae and/or satellite dishes, whether roof-mounted or ground-mounted, **shall be screened from the general public's view.**
- r. After footings and foundations are installed for each building and prior to framing or construction of walls, an as-built survey stamped by a Wisconsin Registered Land Surveyor shall be submitted to the Village to verify that required building setbacks have been met.
- s. Prior to written occupancy of any building and associated site improvements three (3) copies of an as-built plan, stamped by a Wisconsin Registered Land Surveyor shall be submitted to the Village to verify that required building, above ground structures and all impervious surfaces meet the minimum setbacks and that all signage and pavement markings were installed per the approved site plans and the grading of the site was completed pursuant to the approved Site and Operational Plans. In addition, written certification from the signage companies that the signage was installed pursuant to the approved Site and Operational Plans shall be submitted.
- t. Prior to written occupancy of any building an as-built record drawing of graphical data of all private sewer, water, and storm sewer facilities and underground irrigation systems installed shall be provided to the Village for the Village to update **the Village's Geographic Informational System. Information shall conform to the Village's electronic format requirements.** In addition, a paper copy prepared and stamped by the Engineer of Record for the project shall be submitted.
- u. All signs shall conform to the requirements specified in Article X of Chapter 420 of the Village Zoning Ordinance.
- v. No site within the development shall be used for any parking (neither overnight nor during the day) of junked/inoperable/dismantled/unlicensed vehicles. All junked/inoperable/ dismantled/unlicensed vehicles that are parked overnight will be issued citations.
- w. At no time shall any site within the development be used to sell or advertise any **vehicles that are "for sale".**
- x. No vehicular parking will be permitted in driveways, maneuvering lanes, fire lanes or on landscaped areas.
- y. There shall be no outdoor storage or display of materials, goods or equipment on any site, within the Development unless as approved by the Village.
- z. The use of semi-trailers, storage units, storage bins, roll-off storage devices (e.g. P.O.D.S., S.A.M.S.) or other trucks, for storage purposes is prohibited. Outdoor storage of any materials, including but not limited to: retail products for sale, raw materials, business supplies, pallets, crates, etc., is prohibited.
- aa. No trucks, trailers or cars shall be parked in a manner that would constitute advertising of a business on the properties.

- bb. No use shall be conducted in such a way as to constitute a public or private nuisance or to violate any of the performance standards set out in Section 420-38 of the Village Zoning Ordinance.
- cc. Municipal connection fees shall be paid prior to the connections of each building to the sanitary sewer system.
- dd. All Village fees incurred by the Village Administrative Personnel, Village Engineers, Village Inspectors and/or expert Consultants (e.g. Village Attorneys) required by the Village throughout the development process will be billed directly to the Developer. Such fees shall be paid in a timely manner.
- ee. All Village fees incurred by the Village Community Development Department and/or expert Consultants (e.g. Village Attorneys) required by the Village throughout the development review process will be billed directly to the Developer. Such fees shall be paid in a timely manner.
- ff. Impact fees pursuant to Chapter 181 of the Village Code are required to be paid at time of building permit for each development site.
- gg. More detailed staff comments will be forthcoming as more detailed plans are provided to the Village.



Office of the Village
Fire & Rescue Chief
Doug McElmury

VILLAGE STAFF MEMORANDUM

TO: Jean Werbie-Harris, Community Development Director
FROM: Doug McElmury, Chief Fire & Rescue Department
CC: Lt. Thomas Clark, Fire & Rescue Department
Peggy Herrick, Assistant Planner, Community Development
SUBJECT: Review of the Conceptual Plan for the proposed Riverview/Stateline Corporate Park
DATE: August 4, 2013

This is a review of the Conceptual Plan for the proposed Riverview/Stateline Corporate Park. The plan consists of multiple buildings ranging in size from 87,330 square feet to 428,187 square feet. The Riverview Corporate Park is located east of I-94 Southeast of Premium Outlets.

The Fire & Rescue Department will be responsible for providing fire prevention inspections of this facility, twice annually. The concerns of the Fire & Rescue Department are as follows:

1. **Distribution of Comments:** *the person who obtains the building permit to all Contractors and Subcontractors affected by this document shall distribute Copies of these comments. This document outlines critical times and deadlines. All recipients of this document need to become familiar with the contents.*
2. **Compliance:** A letter shall be submitted to the Fire & Rescue Department prior to receiving a building permit, stating that the project will comply with all requirements addressed within this document.
3. In the event a conflict in code(s) is identified, or a conflict with the insurance carrier criteria occurs, the more stringent shall apply. In the event this conflicts with any codes adopted by the State of Wisconsin, the owner must petition the State directly for a variance. The Owner must demonstrate that they will provide materials or design equivalent to the code or that they will exceed the code when petitioning the State and or Village when applicable.

Upon review of the plans submitted, we have the following concerns:

- Access to building A and building B is limited to only one roadway serving the two buildings. This can severely limit emergency response if this one access point is disrupted.
- AED. Because of the overall size of each building the owner shall install one or more public access Automatic External Defibrillator (AED) in each building for employee use in the event of a sudden cardiac arrest. The Fire & Rescue Department can provide the training necessary to perform CPR and to operate the AED.
- Fire Alarm Control Panel: The main FACP will be placed in the fire sprinkler riser/ fire pump room of each building. Remote annunciator panel locations will need to be determined.
- Fire safety system plans, such as fire sprinkler and fire alarm plans, will need to be submitted to the State of Wisconsin Department of Safety and Professional Services and also to this fire department for review. No installation of any fire protection system is allowed until a satisfactory review is obtained from both departments.
- Fire hydrants: Does not meet the Village Ordinance of a maximum distance of 350 feet apart. Hydrants shall always be visible and accessible, in particular in any area where trailer trucks will be parked or staged.
- Truck staging shall not decrease the width of the fire lanes.
- Rack storage: If it is the intent to use rack storage, that rack storage configuration must be reviewed by the fire protection contractor to assure adequate fire sprinkler protection. Rack storage shall not adversely affect the maximum exit distance requirements. This process needs to begin immediately to assure no interruption in the construction timeline and to assure the opening date will be met.
- Severe Weather Shelter: The architect shall identify the area within the building that can be used as a "severe weather shelter" or "safe haven" during severe weather such as a tornado. That area will be identified with signage.
- Each building shall be re-evaluated at such time a tenant(s) is secured.

Square footage, receiving space:
Square footage, shipping space:
Square footage, warehouse space:
Exterior storage:
Fire protection:

9. **The following Fees and Permits are generated directly from the Fire & Rescue Department.**

NOTE: Permits are required from the Fire & Rescue Department for the installation of water main in addition to any permits required by other Village of Pleasant Prairie Departments.

Bulk Water

- Water Usage
- Fire Protection Plans for Underground and Aboveground
- Fire Alarm System Plans
- Kitchen Hood Systems Plans
- Occupancy Permit & Re-Inspection fees

An invoice for permit fees will be issued upon achieving a satisfactory review. Work cannot begin until all permits have been issued. A typical review turnaround is four weeks.

10. **Required Licenses:** A Wisconsin licensed fire protection contractor and Wisconsin licensed sprinkler fitters must install underground fire mains and aboveground fire protection. Periodic inspections of the job site will be made by fire inspectors to assure compliance.

11. **Pre-Construction Meeting:** A pre-construction meeting shall take place with the general contractor, the fire protection contractor, the Fire & Rescue Department and any other sub-contractor prior to the installation of any underground fire protection. The purpose of this meeting is to assure that the requirements of the State of Wisconsin that only a Wisconsin licensed sprinkler fitter shall perform the installation of all devices, etc. All parties will be asked to initial this document and or permit. Any violation of the installing requirements will be reported in writing to the State of Wisconsin Department of Safety and Professional Services.

12. **Site Access:** Access shall be provided around the perimeter of the site for all Fire Department apparatus, and must comply with the State of Wisconsin and the International Building Code, 2009 edition. A minimum wall-to-wall turning radius of 45'-0" shall be allowed for apparatus movement.

- a. All entrances from public streets, as well as road and driveways around the proposed building must be a minimum of 30 feet wide.
- b. All exterior exit pathways as well as access to the Fire Pump Room shall have a hard surface, leading to a hard surface.
- c. An exterior personnel door shall be located in close proximity to each fire sprinkler riser.

13. **Sprinkler System:** The buildings shall be equipped with an “automatic fire sprinkler system”. The systems shall be designed and constructed to the current edition of NFPA 13, Automatic Fire Sprinklers and the Village of Pleasant Prairie Ordinance 180-16, Automatic Fire Sprinklers.
14. **Fire Pump:** At such time a Fire Pump becomes part of a fire sprinkler system, there shall be sufficient room to maneuver within the fire pump room. There shall be direct ingress/egress from the fire pump room directly to the exterior of the building; a paved surface shall lead to the fire pump room. There shall be Emergency Lighting installed within the Fire Pump Room. The pump test header location shall comply with 180.16.
- **Storage:** The Owner and Tenant both need to be aware of the restrictions that apply to the storage of pallets, cardboard, finished products, etc. Maximum height, width and aisle ways must be maintained and will be enforced. The same concerns apply to the storage of large quantities of combustibles (plastics, plastic wrap and cardboard) such as those used in packaging and storage.
- NOTE:** Dependent upon storage configurations and the possible use of in rack storage; in rack sprinkler protection may be required.
15. **Water Service:** If it is determined that the building will be serviced by a combination municipal water and fire protection main, that main must be sized by the fire protection (sprinkler) contractor. No main is allowed to travel underground, under the building.
16. **Plan Review (Underground):** A review of the underground drawings is required along with the fire protection drawings before a permit will be issued by the Fire & Rescue Department. Underground plans shall be submitted a minimum of four (4) weeks before installation begins.
17. **Standpipes:** In lieu of 1.5 inch hose stations, the building shall be equipped with standpipes that shall consist of 2-½ inch NST valve, capable of delivering 250 GPM, at 75 PSI measured at the standpipe valve, when supplied by the fire department pumper, in the event no fire pump is needed. The standpipes shall be wet and placed adjacent to all exterior exit doors, same side as the door handle/knob. Village Ordinance 180.16 G.
18. **Fire Hydrants:** Fire hydrants shall be spaced no more than 350 feet apart around the perimeter of the building, per Village Ordinance 180-16. The insurance carrier must agree in writing to the hydrant spacing. As many hydrants as possible shall be supplied directly by municipal water. The distance from the finished grade line to the lowest discharge shall be no less than 18 inches and no more than 23 inches. The Fire Department connections shall be located, and of sufficient height where typical snow fall or snow removal operations will not obstruct access. NOTE: Drawing dated 7/17/13 does not meet this requirement.

19. **Fire Hydrant Acceptance:** This project will include the installation of water mains for domestic and fire protection use. Prior to the fire sprinkler system connection to any new water mains (including water mains, fire hydrants, laterals leading to the building and risers) must be hydrostatically tested flushed according to National Fire Protection Association (NFPA–National Fire Code) Standard 24 and witnessed by the Fire Chief and or the Chief’s representative, the installing contractor and the fire sprinkler contractor at a minimum.
20. Fire hydrant and water main flushing can be disruptive to the job site and requires significant coordination of all sub-contractors by the General Contractor. Nonetheless flushing is an essential part of assuring public safety.
21. The General Contractor is highly encouraged to coordinate the flushing of all new water mains, fire hydrants, laterals leading to the building and risers with both the sub-contractors responsible, the Village of Pleasant Prairie Engineering Department, Fire & Rescue Department and the Water Utility Department, prior to seeking a ‘clean water sample’ on this site.

NOTE: The Fire Protection Designer must meet with the Fire & Rescue Department before the underground drawings are submitted for review to finalize the placement of the hydrants.

22. **Pumper Pad:** For each building there shall be a dedicated space for a fire engine to have unobstructed access to the Pumper Pad. Both the Fire Department Sprinkler connection and the fire hydrant shall be installed remote from the building and located a minimum distance from the building equal to the highest wall. The fire hydrant shall be located no more than five (5) feet from the roadway and the Fire Department sprinkler connection shall be placed no more than five (5) feet from the fire hydrant. The Fire Department connection shall be constructed along with an underground drain with access for inspection. A guideline detail is attached and is meant to illustrate the requirements needed to meet the requirements stated in Village Ordinance 180-16.

NOTE: *The Fire Department Connection riser shall include a single five (5) inch Storz fitting with a 30 degree bend.*

23. **Bollards:** Shall be placed near fire hydrants, remote post indicator valves (PIV) and Fire Department connection(s) to prevent damage. Bollards shall be 6 inches in diameter. Bollards shall not obstruct charged fire hoses. It is recommended that the Fire Department approve the location of the bollard(s) before final placement is made.
24. **Strobe Light:** A strobe light shall be provided for each riser and installed vertically above each sprinkler water flow bell. The strobe light shall operate for a sprinkler water flow. The lens color shall be RED. The strobe light shall meet Village specifications as found in section 180-16 K of the Sprinkler Ordinance.

25. **Fire Alarm System:** The system shall be fully addressable so that detailed information will be received about the device in alarm. Utilizing a fire pull station, sprinkler water flow, or any other fire detection device that maybe installed in this building shall activate the internal fire alarm system.
- a. **Manual Fire Alarm Pull Stations:** Shall be located at a minimum, immediately adjacent to each exterior door. Any additional exterior doors will be required to meet this requirement. The pull station shall not be placed in the area of the door, but immediately adjacent to the door jamb.
 - b. **Pull Stations and Audiovisual Alarms:** Shall be installed per ADA requirements.
 - c. **Smoke and Heat Detection:** Shall be installed as required.
 - d. **Tamper Switches:** Tamper switches shall be placed on all sprinkler valves and be identified on the annunciator panel.
 - e. **Fire Alarm Control Panel: Shall be addressable.** The annunciator panel type shall be approved by the Fire & Rescue Department. The Fire Alarm Control Panel shall be located within the Fire Pump Room. The panel shall identify a fire sprinkler water flow by riser, and the specific locations of the fire alarm pull stations and any other fire detection devices that may be installed in this building.
 - f. **Annunciator Panel: Shall be addressable.** The annunciator panel type shall be approved by the Fire and Rescue Department. The panel shall identify a fire sprinkler water flow by riser, and the specific locations of the fire alarm pull stations and any other fire detection devices that may be installed in this building.
 - g. **Central Station:** The Fire Alarm Control Panel shall transmit all fire alarm, tamper, trouble and supervisory signals to a central station that is certified by Underwriters Laboratories (UL) and/or Factory Mutual (FM) and approved by the Fire & Rescue Department. The owner shall provide such documentation for approval. It is recommended that the owner consult with the Fire & Rescue Department prior to signing any contracts with the Central station.
 - 1) The central station shall be provided with this information regarding the geographical location of this alarm:

Village of Pleasant Prairie, County of Kenosha, State of Wisconsin

Fire:	Pleasant Prairie Fire & Rescue
Medical:	Pleasant Prairie Fire & Rescue

Phone numbers:	
Emergency:	(262) 694-1402
Non-emergency:	(262) 694-7105
Business:	(262) 694-8027

26. **Knox Box:** Knox Boxes shall be provided for each building, a determination of the exact number required will need to be made during the pre-construction meeting. The Knox Boxes shall be Model 4400. Two sets of all keys (Master, fire alarm pull station,

annunciator, elevator, etc.) shall be placed within the box, as well as a copy of the pre-fire plan.

27. **MSDS Knox Box:** A minimum of One (1) Knox Box(s) designed for Material Safety Data Sheet storage shall be provided for each tenant to contain the data sheets on all products that are considered hazardous within the facility. The MSDS Box(s) shall be installed within the Fire Pump Room.
28. **Fire Extinguishers:** Shall meet NFPA 10 (Portable Fire Extinguishers) for the specific use of the building and be in sufficient number. Final approval, of fire extinguisher locations and quantity, will not be given until occupancy is taken, to see how a tenant furnishes the space. The company providing the fire extinguishers shall submit a letter to the Fire & Rescue Department stating the locations and size of the extinguishers are in compliance with NFPA 10.
29. **Emergency and Exit Lighting:** Exit and Emergency Lighting shall be provided and shall have battery backup. Combination units are acceptable and recommended. An Emergency Generator eliminates the need for battery backup. Exit and Emergency Lighting shall not be placed on electrical circuits that cannot be disturbed or interrupted, this is for test purposes. These circuits shall be clearly labeled. The Fire & Rescue Department will evaluate this lighting prior to occupancy during the evening hours after sunset. An Emergency light shall be placed within the fire pump room. Emergency and Exit lighting will be inspected after sunset to assure it is adequate and meets the Code.
30. **Final Inspection:** The General Contractor shall provide the following documentation at the time the Final Inspection takes place and before a building occupancy certificate will be issued.
 - a. The fire protection contractor shall provide the owner with a letter (upon completion of the sprinkler work) stating the sprinkler system, or portion thereof, is "100% operational and built according to the design", Village Ordinance, 180-16 N.
 - b. Copy of contract with fire alarm central monitoring station.
 - c. Copy of UL and/or FM certificate(s) for the fire alarm central monitoring station.
 - d. Copies of the fire protection underground flushing documents.
 - e. Copies of the underground and fire sprinkler hydrostatic test certificates.
 - f. Copies of the fire sprinkler operational test certificates.
 - g. Copies of the fire alarm test documents.
 - h. Copies of other test documents such as, hood/duct, smoke, etc...
 - i. The Pleasant Prairie Fire and Rescue Department shall have all information needed for our pre-fire plan prior to occupancy.
 - j. Provide two- (2) CD's, one for the property owner and one for the Fire & Rescue Department. The disks shall include all Floor plans and fire protection plans for the building in an as-built condition.
 - k. Severe Weather Shelter: The architect shall provide for both the Owner and the Fire & Rescue Department the area within the building that can be used as a "severe weather shelter" or "safe haven" during severe weather such as a tornado.
 - l. Maps of the fire alarm and fire sprinkler system shall be placed in the fire pump room, near

the fire alarm control panel; the maps shall be hung on the wall, with a waterproof covering and accessible to firefighters wearing bulky clothes and equipment.

- m. AED, in place at such time a tenant takes occupancy.
- n. A copy of the tenants Emergency Plan must be submitted to the Fire & Rescue Department before occupancy.
- o. Occupancy inspection fee and re-inspection fee will be assessed at the final inspection in accordance with ordinance 180-17.

31. **Occupancy:** All fire and life safety requirements must be in place prior to any building being occupied.

Riverview

Riverview Stateline Corporate
Park

Document Title

Document Number

All comments.

JKH

Recording Area

Name and Return Address

RIVERVIEWSTATELINE CORPORATE PARK
DECLARATION OF DEVELOPMENT STANDARDS
AND PROTECTIVE COVENANTS

EXHIBITS

- Exhibit A - Legal Description of ~~Riverview~~Stateline Corporate Park
- Exhibit B - Depiction of Areas for Use Restrictions
- Exhibit C - Description of Subtraction Land

~~Riverview~~ ~~StateLine~~ CORPORATE PARK

Declaration of Development Standards and Protective Covenants

THIS DECLARATION made as of the _____ day of _____, 2013, by _____, a[n] _____ limited liability company, with its principal place of business at _____, _____ (the "Company").

RECITALS:

WHEREAS, the Company is the owner of the real property located in the Village of Pleasant Prairie, County of Kenosha, State of Wisconsin described on the attached Exhibit A (the "Premises"); and

WHEREAS, it is the Company's intent to develop the Premises into a corporate park to be known as ~~RIVERVIEW~~ ~~STATELINE~~ CORPORATE PARK (the "Park"); and

WHEREAS, the Company desires that development of the Park accomplish the following purposes:

(a) To provide for development and use of the Park which is structurally, architecturally and aesthetically acceptable to the Company and the Architectural Control Committee (as defined below);

(b) To create an attractive environment by applying quality development standards;

(c) To ensure that any Buildings or Structures within the Park are constructed of materials acceptable to the Company and the Architectural Control Committee in energy efficiency, appearance, quality and design;

(d) To provide for adequate off-street parking and loading facilities, sign controls, landscaping, surface drainage, and property maintenance on individual Building Sites; and

(e) To provide for development and maintenance that will preserve and enhance the value of the Premises, and generally benefit the Company, Owners, and the Municipality; and

WHEREAS, to accomplish these purposes, it is the Company's further intent to impose certain covenants, conditions and restrictions upon the Premises (the "Covenants"), and to retain the right (but not the obligation) to enforce the Covenants with respect to any existing or future use of the Premises or any part thereof by Owners, their heirs, assigns, lessees, licensees, invitees, successors in interest and personal representatives;

NOW, THEREFORE, the Company hereby declares that, ~~except as provided in Section 1.16.2~~, the Premises shall be held, sold, conveyed, occupied, developed and maintained in accordance with the Covenants set forth herein, and these Covenants shall run with the land and shall be binding upon any party having any right, title or interest in or to any part or parcel of

the Premises, their heirs, assigns, lessees, licensees, invitees, successors in interest, and personal representatives until these Covenants are terminated in accordance with the provisions hereof.

ARTICLE I
Definitions

Unless the context otherwise requires, the terms used herein have the following meanings:

1.1 Affiliate. The term "Affiliate" shall mean a parent, sister or subsidiary corporation, joint venturer, or general partner of an Owner or a person who owns more than fifty percent (50%) of the voting stock, membership interests or partnership interests in an Owner.

1.2 Architect. The term "Architect" shall mean a person duly licensed as an architect under the laws of Wisconsin or any other state acceptable to the Company.

1.3 Architectural Control Committee. The term "Architectural Control Committee" shall mean the committee authorized to conduct the architectural building plan review described at Article V and to otherwise oversee development of the Park, as described in this Declaration.

1.4 Association. The term "Association" shall mean the non-stock, non-profit Wisconsin corporation whose membership consists of Owners of Lots in Riverview Stateline Corporate Park. The Company or its assigns shall be entitled to exercise all of the rights of the Association until such time as the conditions set forth in Section [14.1] are satisfied, the Association is established and the Board of Directors of the Association is elected.

1.5 Building. The term "Building" shall include both the main portion of any building on the Premises, and all projections and extensions thereof, including but not limited to platforms, docks, eaves, canopies, walls and screens.

1.6 Building Site. The term "Building Site" or "Site" shall mean any Lot or contiguous Lots or portion(s) thereof within the Park upon which Buildings may be erected and used in conformance with these Covenants and the statutes, regulations, codes and ordinances of the State of Wisconsin, County of Kenosha and the Municipality Village.

1.7 Common Elements. The term "Common Elements" shall mean all personal property, fixtures, structures and improvements conveyed by the Company to the Association at the time the Association is formed. Common Elements may include such things as signs, maintenance equipment, drainage systems and other improvements, which have been constructed or maintained for the common good of the Owners.

1.8 Company. The term "Company" shall mean _____, in addition to _____, and any person or organization, which shall be assigned the right to enforce these Covenants under Section [13.1].

1.9 Retention Ponds. The term "Retention Ponds" shall mean areas of open water, whether permanent or seasonal, natural or man-made, forming part of the Park's drainage system as described and designated as such on the Drainage Master Plan.

1.10 Drainage Master Plan. The term "Drainage Master Plan" shall mean the plan

adopted by the Company describing the drainage pattern of the Premises and outlining the proposed drainage system for the Park, together with any future revisions and amendments to said plan made by the Architectural Control Committee, which plan ~~and, including any~~ revisions and amendments, shall be available for review at the office of the Company.

1.11 Engineer. The term "Engineer" shall mean a person duly licensed as a professional engineer under the laws of Wisconsin or any other state acceptable to the Company.

1.12 Improvements. The term "Improvements" shall mean any man-made changes in the natural condition of the Premises including, but not limited to, Buildings, Structures, or other construction of any kind (whether above grade, below grade, or on the land surface), fences, walls, signs, additions, alterations, screen enclosures, sewers, drains, disposals, lakes, waterways, roads, paving, utilities, grading, landscaping and exterior illumination, and shall expressly include any changes in existing Improvements.

1.13 Lot. The term "Lot" shall mean a fractional part of the Premises, which has been designated as a separate parcel by, or with the written approval of, the Company.

1.14 Municipality. The term "Municipality" shall mean the Village of Pleasant Prairie or such other municipality in which the Premises, or any part thereof, may be located.

1.15 Occupancy. The term "Occupancy" shall mean the legal right of any person or organization, whether Owner, lessee, tenant, licensee or such person's heirs, assigns, successors in interest or personal representatives, to possess and/or use any Lot or Improvement within the Park as determined by the issuance of an occupancy permit by the Municipality, whether or not such right is exercised. ~~In the event that the Municipality does not have a system of issuing occupancy permits, then~~ "Occupancy" shall occur when the improvements are sufficiently complete such that they comply with all applicable building and zoning codes, local ordinances and state law and can be used for the purposes intended.

1.16 Owner.

1.16.1 The term "Owner" shall mean, collectively, one or more partners, persons, trusts, corporations, or other entities holding record title to the fee simple interest to a Lot or Lots, and shall include land contract purchasers (but not land contract vendors) and secured parties if in possession, their heirs, assigns, successors in interest or personal representatives. An Owner may upon written notice to the Company, assign all or part of its rights hereunder to said Owner's tenant or lessee. An Owner may not assign its duties and obligations hereunder.

1.16.2 The term "Owner" shall not include the Company with respect to Lots not yet any Lot or Saleable Acreage until sold to an Original Owner by the Company, ~~Lots repurchased by the Company pursuant to Section 3.2, or undeveloped Lots repurchased by the Company pursuant to Section 3.3,~~ but shall include the Company with respect to developed Lots any Lot purchased by the Company and with respect to unsold Lots developed by the Company. [MARK: Do you see a conflict that should be clarified?]

1.16.3 The term "Original Owner" shall mean the first purchaser of each Lot or Lots from the Company.

1.17 Plan Commission. The term "Plan Commission" shall mean the Plan

Village

Commission or such other committee of the Municipality authorized to review and approve land use planning.

1.18 Percentage Sold. The term "Percentage Sold" shall mean the percentage determined by calculating the ratio of acreage sold and deeded to Owners with Saleable Acres.

1.18 Preservation Lands. The term "Preservation Lands" shall mean all real property and real property interests owned by the Company, located within the Park and which at the time of incorporation of the Association the Company desires to convey to the Association, and which are determined by the Company in its sole judgment to be worthy of preservation. Floodplains, greenways, wetlands, open spaces, lakes and Detention Ponds are examples of real property that may be considered Preservation Lands.

Conservation Lands?

1.19 Saleable Acreage. The term "Saleable Acres" shall mean the number of acres calculated from time to time by the Company based on acreage subject of record to this Declaration, by subtracting from the total acreage, the acreage of all areas not intended by the Company to be included in a Lot or Building Site, such as dedicated roads and potential Preservation Lands. Saleable Acreage shall include both acreage sold by the Company and acreage the Company intends to sell.

1.19 Site Plan. The term "Site Plan" shall mean a comprehensive plan describing the development of a Building Site as described in Section 4.1.

1.20 Structure. The term "Structure" shall mean an above-ground Improvement.

ARTICLE II
Permitted Uses

attach

2.1 Permitted Uses. The development of the Premises shall be divided into Lots as described and depicted on Exhibit B. ~~pecific~~ Specific permitted uses, as more fully set forth below and subject to applicable requirements or restrictions of the Municipality. ~~Such Specific per and~~ approved uses shall be performed or carried out entirely within a Building that is so designed and constructed that the operations and uses, which must be enclosed, do not cause or produce a nuisance to other Lots or property, such as, but not limited to, vibration, magnetic disturbances, radiation, air or water pollution, dust or emission of odorous, toxic or nontoxic matter (including steam), nor create a potential for explosion or other hazard. Certain activities, which cannot be carried on within a Building, may be permitted, provided the Company specifically consents to such activity in writing, and further provided such activity is screened so as not to be visible from neighboring property and streets.

see Village performance standards

2.2 Uses Permitted in The Park. Lots are designated for ~~certain light and medium industrial uses, research and development uses, industrial support and service uses, and business and professional office uses.~~ The following uses are permitted on Lots:

~~2.2.1 Uses primarily engaged in research activities, including research laboratories, developmental laboratories, and compatible light manufacturing such as, but not limited to, the following:~~

- ~~2.2.1.1 Chemical;~~
- ~~2.2.1.2 Electronics;~~

- ~~2.2.1.3 — Film and photography;~~
- ~~2.2.1.4 — Medical and dental;~~
- ~~2.2.1.5 — Metallurgy;~~
- ~~2.2.1.6 — Pharmaceutical; or~~
- ~~2.2.1.7 — X-ray.~~

~~2.2.2 — Uses primarily engaged in manufacture, research, assembly, testing and repair of components, devices, equipment and systems and parts and components, involving the following or similar items:~~

- ~~2.2.2.1 — Coils, tubes, semiconductors;~~
- ~~2.2.2.2 — Communication, navigation, guidance and control equipment;~~

CONTENT INTEGRATING AND CONFORMING TO M5 ZONING

~~2.2.2.3 — Data processing equipment, including computer software; **WILL BE INSERTED HERE.]**~~

- ~~2.2.2.4 — Glass edging and silvering equipment;~~
- ~~2.2.2.5 — Graphics and art equipment;~~
- ~~2.2.2.6 — Metering equipment~~
- ~~2.2.2.7 — Radio and television equipment;~~
- ~~2.2.2.8 — Photographic equipment;~~
- ~~2.2.2.9 — Radar, infrared and ultraviolet equipment;~~
- ~~2.2.2.10 — Optical devices and equipment; or~~
- ~~2.2.2.11 — Filling and labeling machinery.~~

~~2.2.3 — Uses primarily engaged in manufacturing, processing, and/or assembly of the following or similar products:~~

- ~~2.2.3.1 — Food products;~~
- ~~2.2.3.2 — Apparel and finish products from textile products;~~
- ~~2.2.3.3 — Lumber and wood products;~~
- ~~2.2.3.4 — Furniture and fixture products;~~
- ~~2.2.3.5 — Chemical and allied products;~~
- ~~2.2.3.6 — Plastic and rubber products;~~
- ~~2.2.3.7 — Stone, clay, and glass products;~~
- ~~2.2.3.8 — Fabricated metal products; or~~
- ~~2.2.3.9 — Professional, scientific, controlling, photographic, and optical products or equipment.~~

~~2.2.4 — Uses engaged in service industries or those industries providing service to, as opposed to the manufacture of, a specific product, such as the repair or maintenance of appliance or component parts, tooling, printers, testing shops, small machine shops, and shops engaged in the repair, maintenance and servicing of such items, but excluding automobile and truck repair and equipment rental yards.~~

~~2.2.5 — Uses involving industries engaged in the distribution and/or storage or warehousing of products relating to the Permitted Uses on Lots.~~

~~2.2.6 — Uses involving construction industry businesses such as general contractors, electrical contractors, plumbing contractors, and their accessory and incidental offices.~~

~~2.2.7 Uses engaged in blueprinting, photostating, photoengraving, printing, publishing, and bookbinding.~~

~~2.2.8 Uses primarily engaged in administrative and professional offices, but limited to: (i) offices, which are associated with any permitted business use, or (ii) offices, which do not attract nor are primarily dependent upon business customers visiting the office. Permitted offices include, but are not limited to, corporate offices, regional offices, general offices, and such professional offices as accountants, attorneys, engineers, architects, and planners. Prohibited offices include, but are not limited to, banks and financial institutions, medical and dental offices, employment agencies, real estate agencies, and travel agencies.~~

~~2.2.9 Accessory uses and structures when related and incidental to a permitted use such as, but not limited to, food preparation, food service, eating facilities, and auditoriums to serve employees.~~

~~2.2.10 Restaurants, subject to the review and approval of conditional use permit by the Company and the appropriate governmental authority having jurisdiction.~~

~~2.3 Uses Permitted in Area 2. Area 2 is designated for community and regional service, commercial, travel service, industrial support, and business and professional office uses. Commercial uses within Area 2 are intended to service the needs of the employees and businesses within the Park and are not intended to draw traffic from surrounding areas. The following uses shall be allowed in Area 2:~~

~~2.3.1 Retail commercial businesses oriented to the needs of people employed within the Park;~~

~~2.3.2 Commercial service businesses oriented to the need of the businesses and their employees located within the Park;~~

~~2.3.3 Personal service businesses;~~

~~2.3.4 Financial service businesses;~~

~~2.3.5 Blueprinting, photo-stating, photoengraving, printing, publishing, and bookkeeping;~~

~~2.3.6 Administrative, professional, and business offices;~~

~~2.3.7 Restaurants;~~

~~2.3.8 Health or athletic club facilities;~~

~~2.3.9 Service stations;~~

~~2.3.10 Hotels and motels; and~~

~~2.3.11 Theaters.~~

~~2.4 Uses Permitted in Area 3. Area 3 is designated for business and professional~~

~~office uses and ancillary uses.~~

as may be amended from time to time

2.5 Compliance with Zoning. All Building Sites in the Park shall be developed in conformance with the zoning requirements in effect as of the date of application and approval of necessary building permits or, if more restrictive in the judgment of the Architectural Control Committee, with the zoning requirements in existence on the date of this Declaration for the specific zoning district(s) in which such Sites are located. Owners shall be responsible for ascertaining the zoning classification applicable to their Building Sites, and shall comply with all regulations applicable to such classification. An Owner intending to apply for a zoning amendment, conditional use permit, ~~exception~~ or variance for its Building Site, must obtain the Architectural Control Committee's approval and shall first submit such application to the Architectural Control Committee for review and approval. Disapproval by the Architectural Control Committee shall be in the sole discretion of the Architectural Control Committee and shall be final notwithstanding later favorable action by the Plan Commission.

written

no special exceptions

2.6 Nuisances. No noxious or offensive trade or activity, whether or not permitted by applicable zoning, shall be carried on within the Park, nor shall anything be done which is or may become an annoyance or nuisance to adjacent Owners or other Park users, or which is inconsistent with these Covenants or other governmental or private restrictions applicable to the Premises. Violation of these Covenants shall constitute a nuisance under this section.

2.7 Hazardous Waste. Notwithstanding anything to the contrary in these Covenants and/or applicable zoning, no storage of hazardous or toxic waste, or discharge of such waste into the sanitary system or surface drainage system, shall be permitted within the Park. Any party violating this provision, whether intentionally or negligently, hereby agrees to indemnify the Company, its Affiliates and each and every other Owner against any and all liability and costs arising from such violation, including reasonable attorneys' fees.

or the boundaries adjusted

ARTICLE III
Site Specifications and Requirements

3.1 No Subdivision of Lots. After a Lot has been purchased, such Lot shall not be further subdivided without the written consent of the Company. No Owner may sell, lease or rent less than all of a Lot without the written consent of the Company. The leasing restriction in this Section 3.1 shall not apply to occupancy leases of space in a Building made in the ordinary course of business.

3.2 Proceeding with Work; Right of Repurchase. The Original Owner of a Building Site, and any subsequent Owner, shall have two (2) years, or such longer period as may be granted by the Company, from the closing date of the sale of the Site by the Company to the Original Owner to begin development of the Site. Once development begins, it shall continue uninterrupted until completion, which shall be no later than one (1) year from commencement, unless a longer period is expressly granted in writing by the Company. If an Owner fails to comply with this section or any agreement between the Company and an Owner hereunder permitting development at a later date, the Company may, but shall not be required to, purchase the Site for the price paid to the Company by the Original Owner, if another price is not willingly agreed to in writing by the Company and the then Owner, by giving written notice to the then Owner of its intention to repurchase. The notice can be given at any time after failure of an Owner to comply with this section.

or

3.3 Farming. Agricultural farming of crops is a use permitted on any Lot within the Park. However, non-agricultural farming, including by way of example and not limitation, dairy farming,

grandfathered, non-impairing

If farming stops for more than 12 months - the right to farm is gone

pig farming, poultry farming, livestock, keeping of livestock, beef, or dairy herds are prohibited.

**[CONTENT INTEGRATING AND CONFORMING TO M5 ZONING
WILL BE INSERTED BEGINNING HERE.]**

ARTICLE IV
Site Plans/Development

4.1 Site Plan. No new Improvements, or modifications of any kind or degree to existing Improvements, shall be made or constructed upon a Building Site or other Lot until a detailed Site Plan of the entire Building Site or Lot, with a common scale not smaller than 1"=50', is reviewed and approved, in writing, by the Company or designated representative. Improvements shown on such Site Plan shall include, but not be limited to:

4.1.1 All finished grade levels;

4.1.2 All Buildings and other Structures, showing the setbacks required by Section [3.6];

4.1.3 Sidewalks and driveways (including types of materials);

4.1.4 Parking areas (including types of materials);

4.1.5 Loading areas (including types of materials);

4.1.6 Utility and storage areas (including types of materials);

4.1.7 Lawns and landscaped areas (including types of materials);

4.1.8 Water impoundments;

4.1.9 Fences (including types of materials);

4.1.10 Lights (including types);

4.1.11 Areas of fill or cut;

4.1.12 Storm water drainage plans and facilities;

4.1.13 On-Site sewer, water and other utility locations, sizes and easement locations;

4.1.14 Rail spurs; ?

4.1.15 Location and type of refuse collection facilities;

4.1.16 All exterior signs and all other signs visible from the exterior of Buildings and Structures.

ARTICLE V

** comply with village zoning Ordinance regulations - site and operational provisions*

Conservation areas woodlands, wetlands, floodplains, shreland

Architectural Building Plan Review

5.1 Architectural Control Committee. From the date of recording of this Declaration until such time as the conditions described at Section 14.1 and in this Section 5.1 are met, the Company shall appoint individuals to serve as the Architectural Control Committee. Upon the Association being established and the Board of Directors of the Association being elected, said Board of Directors shall serve as the Architectural Control Committee.

5.2 Building Plan. No Building or other Structure shall be constructed or placed on any Building Site or other Lot, nor shall the exterior of any Building or Structure be remodeled or altered, until detailed plans and specifications for such Building, Structure, or remodeling, alteration or addition thereto, have been reviewed and approved, in writing, by the Architectural Control Committee, which approval may be granted or withheld in the sole discretion of the Architectural Control Committee, rendered consistent with this Declaration.

Building plans shall comply with the following minimum requirements:

5.2.1 Plans shall be prepared by an Architect or Engineer in at least 1/8"=1' scale;

5.2.2 Plans shall show Building location(s) within the Building Site;

5.2.3 Floor plans and building elevations shall show all features and information required by the Plan Commission and the State of Wisconsin;

5.2.4 Plans shall identify all materials used; samples and/or color charts shall be provided to the Architectural Control Committee upon request;

5.2.5 Plans shall show all public and/or private utility connections and storm water drainage systems.

5.3 Building Standards. Buildings and Structures shall comply with the following minimum standards:

5.3.1 They shall be designed by an Architect or Engineer. No side, elevation or facade of a Building or Structure is exempt from public view, consequently, all sides, elevations, or facades of all Buildings and Structures shall be visually pleasing and architecturally and aesthetically compatible with the surrounding environment.

5.3.2 The majority of exterior and externally visible opaque surfaces shall be constructed of not more than ~~three of the following types of materials (provided, however, that such list shall not be deemed to exclude the use of other accent or exterior trim materials, glass and glazing, and earth berms):~~

**[CONTENT INTEGRATING AND CONFORMING TO M5 ZONING
WILL BE INSERTED HERE.]**

~~5.3.2.1 ——— Brick;~~

~~5.3.2.2 ——— Architectural precast concrete panels;~~

~~5.3.2.3 ——— Decorative concrete block (for no more than 50% of the exterior building wall area);~~

- ~~5.3.2.4 — Cut stone;~~
- ~~5.3.2.5 — Exterior insulation and finish systems such as Drivit or Sunalar;~~
- ~~5.3.2.6 — Wood; and~~
- ~~5.3.2.7 — Other building materials being developed, and to be developed, by the construction industry. The use of such materials will be reviewed by the Architectural Control Committee on a case-by-case basis.~~

Building materials will be selected for their ability to present a visual statement of a Building or Structure's strength, attractiveness and permanence. The building materials used shall be harmonious with the natural environment and with the general character of other Buildings and Structures in the Park.

5.3.3 Metal trim materials may be used when in keeping with the architectural and aesthetic character of the Building or Structure.

5.3.4 All mechanical, electrical, pollution control or waste handling equipment, whether roof, pedestal or ground mounted, and any outside solid waste, raw material, inventory, finished product, equipment, fuel storage facility or other storage of any kind, shall either be architecturally screened from view using materials identical to, or structurally and visibly compatible with, the main Buildings or Structures on the Building Site, or shall be landscape screened in accordance with Article VII. All storage areas shall be screened as provided above and shall be hard-surfaced with either concrete or asphalt materials within ninety (90) days from the date of Occupancy, or as soon thereafter as weather will permit if such period occurs during winter months.

5.3.5 All Buildings to be constructed on a Building Site which are to be heated or cooled shall be designed and constructed in an energy efficient manner consistent with sound and prudent design and construction techniques.

5.4 Ancillary Structures. Ancillary Structures will be approved by the Architectural Control Committee only if such Structures are necessary to the principal use of the Building Site, are in architectural and aesthetic conformance with other Building(s) or structure(s) on the Site, are properly screened, meet all requirements of these Covenants and are otherwise satisfactory to the Architectural Control Committee in its sole discretion. No Building or Structure of a temporary nature ~~may~~shall be constructed or located on any Building Site, except construction sheds ~~in use~~used during construction. ~~Such~~All such ~~sheds~~ shall be promptly removed upon completion of construction.

5.5 Trailers Utilities. All utilities serving a Building Site shall be installed underground.

ARTICLE VI Drainage

6.1 Drainage Plan. Prior to constructing any Improvements upon a Building Site or other Lot, the Owner shall submit to and obtain written approval from the Architectural Control Committee of a detailed plan describing all drainage facilities upon the Site.

6.2 Conformance with Drainage Master Plan. Each Owner shall be responsible for controlling drainage from its Building Site or Lot, including construction of retention facilities, if

deemed necessary by the Architectural Control Committee. The existing drainage pattern on a Site shall not be changed significantly, and no change to the drainage pattern on other lands within the Park shall be caused by an Owner, which that varies from the Drainage Master Plan, as that Plan is revised and amended by the Architectural Control Committee, from time to time.

6.3 Storm Drainage. Storm drainage outfall from a completely developed Site, and generated from a 100 year rain storm event, shall not exceed the physical abilities of the streams, drainage ways or storm sewers immediately adjacent to and downstream from the Site to accommodate such outfall. Such drainage shall be in compliance with the Drainage Master Plan and with all Wisconsin Department of Natural Resources rules and regulations. Each Owner shall be responsible for obtaining all permits or approvals relating to drainage and erosion control for such Owner's Building Site or Lot from the Wisconsin Department of Natural Resources and/or local authority.

6.4 Erosion Control. Each Owner shall take whatever steps are deemed reasonably necessary by the Architectural Control Committee to prevent erosion during the construction of any Improvements.

ARTICLE VII
Landscaping

7.1 Landscaping Plan. The landscaping upon any Building Site or Lot shall be carried out in accordance with a detailed landscaping plan, which has been reviewed and approved, in writing, by the Architectural Control Committee. The landscape plan shall include, but not be limited to, plant location, common and botanical names of plant material, planting size, root condition, and quantity of all plant material. The plan shall also show all ground cover and mulch areas, landscape and construction materials, and construction details.

7.2 Landscaping Methods. Landscaping may include grading, earth berms, seeding, sodding, raised planters, architectural decorative walls or fencing, trees and shrubs, ground cover and other landscape materials including permanent sprinkling systems, foundations, storm run-off retention ponds, reflective ponds, and landscape lighting. The Owner of any Lot shall be required to install a permanent, underground irrigation system in groomed or regularly-maintained areas immediately surrounding its Building.

7.3 Plant Material. Selected plant material should provide for a variety of shade trees, evergreen trees and shrubs, ornamental trees and shrubs and ground covers. Plant material selection shall take into consideration the following:

- 7.3.1 Disease and insect resistance;
- 7.3.2 Hardiness to the area;
- 7.3.3 The ability to provide seasonal interest; and
- 7.3.4 Future maintenance considerations.

7.4 Time for Completion. All landscaping shall be completed within ninety (90) days following Occupancy, or as soon thereafter as weather will allow if such period occurs within winter months. A landscaping bond or letter of credit satisfactory to the Architectural Control Committee shall be furnished to the Architectural Control Committee in an amount deemed reasonable by the Architectural Control Committee to guarantee enforcement of this section. If any governmental agency requires a similar landscaping bond, the bond hereunder shall be waived to such extent.

Complies with the Erosion Control and Construction Site Maintenance Ordinance

Retaining Walls

The Village

FYI - if not completed at occupancy a bond is required

7.5 Maintenance. The Owner shall be responsible for maintaining all landscaping as approved on the original plan for the Site. Any variation or changes to the landscape plan must be reviewed and approved in writing by the Architectural Control Committee. Landscaped areas, materials, fixtures, and Improvements shall be maintained by the Owner of the Building Site, or by such Owner's long-term lessee(s) in good condition at all times. Such maintenance shall include watering, mowing, trimming, pruning, spraying, fertilizing, repairing, planting, transplanting, dusting, treating, and other common landscape maintenance activities necessary to keep the Building Site landscape in a state of growth and visual beauty. Building Sites shall at all times be kept free of weeds, grass clippings, leaves, branches, and other natural debris as well as paper, cans, empty storage drums, crates, pallets, boxes, tires, and other trash or debris.

7.6 Screening. Landscape materials planted, located and oriented for the primary purpose of screening an ancillary Structure or appurtenance or storage, loading or parking area under Sections [5.3.4, 5.4, 8.1, 8.6, 8.7, and 8.8] shall be of sufficient size to immediately screen a minimum of fifty percent (50%) of such Structure or area and be of a plant type that will provide full screening within three (3) years from time of planting.

7.7 Open Water. Any liability concerning the maintenance of open water on a Building Site or Lot shall be that of the Owner, and any disposal or diversion of such water from the Site shall be carried out only with written permission of the Architectural Control Committee and, if affecting lands outside the Park, the permission of the Plan Commission.

7.8 Preservation. Landscaping shall be designed to preserve the existing natural habitat to the extent economically practicable and reasonably required by the Architectural Control Committee.

ARTICLE VIII Off-Street Parking, Loading and Storage

8.1 Parking and Loading Areas. Off-street parking and loading areas shall be provided on each Building Site and shall be of sufficient size to accommodate all planned or anticipated parking and loading needs of all Building Site occupants and visitors. Loading areas shall be separate from parking areas on any Building Site where possible, as determined by the Architectural Control Committee in its sole discretion. No front or street yard parking shall be allowed unless the same is adequately screened, as determined by the Architectural Control Committee.

8.2 No On-Street Parking. No motor vehicle or trailer may park on any street, driveway, or on any access easement. The Architectural Control Committee reserves the right to permit on-street parking for special events not more than three (3) times in any calendar year.

8.3 Hard-surfacing. All parking, loading and driveway areas shall be hard-surfaced with either concrete or asphalt materials within ~~ninety (90) days from the date of Occupancy~~, or as soon thereafter as weather will allow if such period occurs during winter months.

8.4 Drainage. All parking, loading, and driveway areas shall be properly sloped and graded to ensure positive drainage to common, private drainage facilities, if any, within the Premises or to on-site impoundments, if any. The perimeter of all hard-surfaced areas on the Site shall be edged with a permanent vertical-faced concrete curbing where necessary to

prior to occupancy

facilitate such drainage. Curbing shall be constructed to transition with curbs within the public or private right-of-way.

8.5 Setback. No perimeter curbing or hard-surfaced areas shall be constructed closer than twenty (20) feet from any property boundary lines, except where necessary to afford permanent ingress and egress to the Building Site, and except where there are shared parking facilities between Building Sites or other Lots. Any such shared parking facilities must otherwise comply with these Covenants, and must be approved in writing by the Architectural Control Committee.

8.6 Landscaping. The visual effect of all parking, loading, storage and driveway areas shall be "softened" by use of landscaping ~~so as~~ to minimize the visibility of hard-surfaced areas, vehicles and equipment to motorists and people working in the Park.

8.7 Location of Loading Areas. Truck and truck-trailer loading, receiving and parking areas shall be located away from the street side(s) of any Building wherever possible, and shall be designed and located ~~so as~~ to confine all truck maneuvering to the Building Site. In addition, all such loading areas shall be given priority with respect to landscape screening.

8.8 Storage of Trailers and Vehicles. There shall be no long-term storage of trailers or vehicles on any Building Site unless adequately screened as determined by the Architectural Control Committee, and unless such storage is necessary for the Site Owner's or lessee's principal business conducted on the Site.

ARTICLE IX Signage and Lighting

9.1 Sign Approval. The Company recognizes the need for signs advertising the identity of Owners and occupants and the businesses they conduct on the Premises, and also recognizes that acceptable standards for such signs may change from time to time. All requests for signs on any Building Site or other Lot within the Park shall be submitted to the Architectural Control Committee for approval and shall contain detail as to size, location, materials, color and lighting together with a full color rendering. The Architectural Control committee may approve or disapprove the request, in writing, or may require that the proposal be altered to fulfill the intent of these Covenants. If the Architectural Control Committee does not act upon a sign proposal within thirty (30) days after submission, the proposal shall be deemed disapproved. All decisions regarding signs shall be within the sole discretion of the Architectural Control Committee.

9.2 Sign Standards. Any sign located within the Park shall, in addition to complying with all applicable zoning requirements, meet the following minimum standards:

9.2.1 Signs may only advertise the name(s) of the Building occupants, the Owners of the Building Site, and the product manufactured or sold on the Building Site.

9.2.2 Each Building Site shall contain only one major free-standing project sign.

9.2.3 Signs shall be permanently affixed to the face of the Building or to the ground, and shall not flash, pulsate, rotate, or be affixed with moving appurtenances. Roof-top signs are prohibited.

Village approval & permit required.

max size and Temporary Portable signs

9.2.4 Signs attached to Buildings shall not extend more than two (2) feet above the higher of the ceiling line of the top floor or the top of a parapet wall

9.2.5 Smaller signs adjacent to individual tenant entrances and identifying individual tenants or directing traffic may also be allowed at the sole discretion of the Architectural Control Committee.

9.2.6 All signs must be architecturally compatible to other Improvements.

9.3 Lighting Standards. Lighting on individual Building Sites shall adhere to applicable governmental lighting codes and ordinances, as well as the following requirements:

9.3.1 All exterior lighting shall be energy efficient and shall be located, oriented, and of an intensity to illuminate only the Building Site or Lot where located without detrimentally affecting activity on adjacent Sites or Lots or traffic on streets and highways.

9.3.2 Lighting shall not be located on the roofs of Buildings. Any lights affixed to a Building shall be oriented downward at no more than a 45 degree angle from the vertical so as to light only areas of the Site.

9.3.3 Lights may neither flash, pulsate, nor be so bright as to impair or hinder vision on public streets or adjacent Building Sites, or otherwise constitute a nuisance in the judgment of the Architectural Control Committee.

9.3.4 Mixing of lighting types (i.e. sodium vapor, incandescent, mercury vapor, metal halide) should be avoided.

9.3.5 Integration of similar lighting fixtures is encouraged.

9.3.6 All plans for lighting must be submitted to the Architectural Control Committee for approval.

ARTICLE X

ARTICLE X

Other Improvements, Maintenance and Repair

10.1 Improvements not Specifically Addressed. The construction and placement of Improvements such as special utilities, antennae, receiving dishes, towers, incidental storage buildings, and other facilities not specifically addressed elsewhere within these Covenants shall require the written approval of the Architectural Control Committee.

10.2 Maintenance and Repair. All Improvements on Building Sites shall be kept, maintained and repaired in good condition at all times. Regular maintenance routines shall be followed by Owners such that the Improvements continue to be maintained, at all times, as nearly as possible, in the condition set forth in the Site Plans and Building Plans approved by the Architectural Control Committee. Any damage resulting from casualty loss to any Improvements shall be immediately replaced or repaired by Owner to their original condition, as nearly as possible, or as otherwise approved by the Architectural Control Committee.

ARTICLE XI

Area-Wide Benefits

Village
11.1 Right to Enter and Maintain. The Association shall have the right to enter upon any Lot, at reasonable times and after reasonable notice to the Owner, for the purpose of maintaining, renewing, or reconstructing any utilities, facilities, Detention Ponds, impoundments or other Improvements, which benefit other Lots, in addition to benefiting such Lot. If such Lots contain public utilities or facilities having an area-wide benefit, which are maintained by the Municipality, the Municipality, following prior written notification to the Association, may, if necessary to maintain such facilities in good working order and appearance, renew, reconstruct, or maintain such facilities or utilities and assess the cost to the Owners or to the Association, which will, in turn, assess such cost to the Owners as described below. No prior written notification shall be required for emergency repairs. *and Retention*

Village
11.2 Right to Assess. The cost of such maintenance, renewal or reconstruction whether by the Association or the Municipality may be assessed against Owners of all Lots within the Premises, on a pro rata basis, based on the acreage of real estate owned. Any assessment imposed hereunder shall be a lien against the real property subject to the assessment. Such lien shall be in the nature of a mortgage and enforceable pursuant to the procedures for foreclosure of a mortgage.

ARTICLE XII Performance Standards

See Zoning Ordinance
12.1 Control of Noise, Vibrations, Dust, Etc. It is difficult, if not impossible, to set minimum or maximum standards for control of noise, vibration, dirt, dust, smoke, odor, glare, and waste within an industrial area. Therefore, to protect the Company's interest in the Premises and the Owners' interest in the Park and their respective Lots, and to facilitate the orderly development of the Park, the plans required under Articles IV and V shall contain sufficient engineering data to enable the Architectural Control Committee to determine whether or not the proposed Improvement will operate within limits acceptable to the Architectural Control Committee with respect to noise, vibration, dirt, dust, smoke, odor, glare, and waste.

12.2 Operations. Each Owner shall operate all Improvements and conduct all of its activities on the Premises in accordance with the limits established pursuant to Section 12.1.

ARTICLE XIII Enforcement, Termination, Modification

??
13.1 Right to Enforce. These Covenants are imposed for the benefit of Company and Owners and until the Association is formed, are enforceable only by the Company, or such person or organization specifically designated by the Company as assigns for the purpose of enforcement thereof, in a document recorded in the office of the Kenosha County Register of Deeds, as assigns for the purpose of enforcement thereof. Purchase of the Premises or any part thereof by any other party shall not alone confer the right to enforce these Covenants.

13.2 Manner of Enforcement. These Covenants shall be enforceable by the Association in any manner provided by Law or equity, including but not limited to one or more of the following:

- 13.2.1 Injunctive relief;
- 13.2.2 Action for specific performance;

- 13.2.3 Action for money damages;
- 13.2.4 Performance of these Covenants by the Association on behalf of any party in default thereof for more than thirty (30) days, after receipt by such party of notice from the Association describing such default. In such event the defaulting Owner shall be liable to the Association for the actual costs of the Association in performing these Covenants.

13.3 Reimbursement. Any amounts expended by the Association in enforcing these Covenants, including reasonable attorneys' fees, and any amounts expended in curing a default on behalf of any Owner or other party, shall constitute a lien against the subject real property until such amounts are reimbursed to the Association, with such lien to be in the nature of a mortgage and enforceable pursuant to the procedures for foreclosure of a mortgage.

13.4 Failure to Enforce not a Waiver. Failure of the Association to enforce any provision contained herein shall not be deemed a waiver of the Association's right to enforce these Covenants in the event of a subsequent default.

13.5 Right to Enter. The Association shall have the right to enter upon any Building Site or other Lot within the Park for the purpose of ascertaining whether the Owner of said Site or Lot is complying with these Covenants, and, if the Association so elects under Section 13.2.4 for the purpose of performing obligations hereunder on behalf of a party in default hereof.

13.6 Right to Vary. The Company and/or Association may, in its sole discretion, grant variances from the strict application of these Covenants where strict application of any provision would result in exceptional or undue hardship to the Owner of any Building Site or Lot, or where otherwise deemed reasonably appropriate by the Association and provided that the grant of such variance would not significantly affect the value of other Owners' Lots.

13.7 Right to Modify. The Company may, when deemed reasonably appropriate by the Company, at any time and from time to time, modify these Covenants in writing, so long as such modification would not significantly affect the value of other Owners' Lots. Such modifications shall apply only to Building Sites and Lots then owned by the Company, and to any alterations to existing Improvements or new Improvements on all other Sites and Lots; alternately, a modification may be made for a specific Building Site. Modifications shall take effect upon recording.

13.8 Duration. For a period of fifty (50) years from the date of recording, these Covenants shall: continue in full force and effect; be binding upon the Owners; and shall inure to the benefit of the Company (and its assigns), the Owners, and the Association. Notwithstanding the foregoing, these Covenants will terminate earlier, if the Company, in its sole discretion, together with a majority of Owners of Building Sites and Lots within the Park (including any owned by the Company), records an instrument terminating and releasing the requirements of these Covenants. If not earlier terminated, fifty (50) years after the date of recording, these Covenants shall continue in effect unless or until a majority of Owners of Building Sites and Lots within the Park executes and records an instrument terminating them.

13.9 Addition to or Subtraction from the Premises. The Company may, in its sole discretion, from time to time subject additional land to the Covenants by recording this

in so far as the variance do not impact Village Ordinance

are you going to Village but not all obligation to enforce covenants?

document against such land and such additional land shall then be a part of the Premises from and after the date of such recording. The Company may also, in its sole discretion, by an appropriate recorded document, remove land from the effect of these Covenants and thereby reduce the extent of the Premises, without the consent of any Owner other than the Owner whose land is being removed or subtracted from the land the land effected by these Covenants. Section 13.8 permits termination of these Covenants in their entirety and this section permits such a termination as to a part of the Premises.]?

ARTICLE XIV Owners' Association

14.1 Intention to Form an Owners' Association. When the Park has been substantially developed, the Company intends to form an owners' association for the purpose of enforcing these Covenants and maintaining and protecting the Common Elements and Preservation Lands. Formation of the Association shall occur: *of the developed*

~~[14.1.1 MODIFY VOTING PROVISIONS. 1 VOTE PER ACRE. DEVELOPER 3 VOTES PER ACRE. NO DILUTION OF DEVELOPER VOTES. FOR VOTING AND ASSESSMENT PURPOSES, FOR FRACTIONAL ACRES (A) LESS THAN .50 ACRE, THE VOTING AND ASSESSMENT CALCULATION SHALL BE ROUNDED DOWN TO THE NEAREST WHOLE ACRE; AND ROUNDED UP TO FOR .50 ACRE OR MORE. 75% STANDARDS SHOULD BE CONSISTENTLY APPLIED IN REVISIONS. 14.1.1 at the discretion of the Company, when more than fifty-five percent (55%) and, but less than seventy-five percent (75%) of the acreage of the aggregate of all Lots in the Park Saleable Acreage has been sold to Owners. The percentage of acreage that has been sold shall be determined by the ratio of acreage sold to the total acreage of the entire Park, excluding roads, Detention Ponds, and other similar areas not intended to be included in a Lot;] or conveyed and deeded of record to Owners;~~

14.1.2 at the discretion of the Company at any time on or after December 31, 2023; or

14.1.3 automatically, when within ninety (90) days after the Percentage Sold equals or exceeds seventy-five (75%) ~~or more of the acreage of the aggregate of all Lots in the Park has been sold to Owners.~~

14.2 Creation of Owners' Association. When the Company elects to exercise option 14.1.1 or 14.1.2 above, or if the condition in 14.1.3 above has been satisfied, the Company shall authorize the creation of the Association, by the filing of Articles of Incorporation of the Association with the Wisconsin Department of Financial Institutions. The Company will give notice of the creation of the Owners' Association to all Owners who have notified the Company of their name and address for notice purposes hereunder. All Owners shall be entitled and required to be members of the Association. The Association shall be known as Riverview the StateLine Corporate Park Owners' Association, Inc. The Association shall be incorporated as a non-stock, non-profit corporation under the laws of the State of Wisconsin. The content of the Articles of Incorporation and the By-Laws for the Association, which will become effective when the Company authorizes the creation of the Association, shall be prepared by the Company in its sole discretion, consistent with the provisions hereof, will be prepared and filed by the Company. Their content shall be determined by the Company, in its sole discretion, consistent with the fundamental purposes and provisions of this Declaration, and will become effective when the Company authorizes the creation of the Association. Upon creation of the

Association, the Company shall retain control over the operation and management of the Association through appointment or election of a majority of the Board of Directors until ~~at least the Percentage Sold equals or exceeds~~ seventy-five percent (75%) ~~of the acreage of the aggregate of all Lots in the Park has been sold to Owners.~~

14.3 General Purposes of the Association. The Association, when formed, shall be responsible for implementing and insuring adherence to these Covenants and shall have the exclusive management and control of the Common Elements and Preservation Lands and enforcement of the restrictions contained herein and the Board of Directors, once elected, shall begin acting as the Architectural Control Committee in place of the individuals appointed by the Company.

14.4 ~~Charges, Assessments and Special Assessments.~~ According to the following procedures, the Association, when formed, shall levy such charges and assessments as may be necessary to carry out its stated purposes: Membership. Ownership of real property subject to this Declaration shall be the sole qualification for membership in the Association. Regardless of the number of persons or entities comprising the Owner of a Lot, or ownership of the Company, each shall only have one (1) "Member" for purposes of voting.

14.4.1 Voting Acres. "Voting Acres" for each Member shall be the total acreage of an Owner's Lot, or in the case of the Company, the Saleable Acres it then owns, with any acreage total containing a fractional acre total adjusted by rounding to a whole number. For rounding calculations, any fractional acre (a) equal to or greater than fifty percent (50%) of an acre shall be rounded up to the next whole number; or (b) if less than fifty percent (50%) of an acre, by rounding down to the next whole number. For example, if a Lot contains six tenths (6/10) of an acre, its Voting Acres will equal one (1), or if a Lot totals four and one tenth (4.1) acres, its Voting Acres will equal four (4). Any dispute regarding calculation of Voting Acres shall be resolved: (i) before creation of the Association, by the Company; or (ii) after creation of the Association, by majority vote of the Association's board of directors. Such determinations shall be binding on all Members. Only a Member shall have voting rights in the Association, and the Association shall initially have two (2) classes of voting Members.

14.4.2 Class A Members. Except as provided in Section 4.4.2 below, one (1) Class A membership shall attach to each Lot, and each class A Member shall have one (1) vote for each Voting Acre, except that no Lot shall have less than one Voting Acre.

14.4.3 Class B Members. The sole holder of a Class B membership, and sole Class B Member, shall be the Company. Class B membership shall only apply to Saleable Acreage owned by the Company. The Class B Member shall have three (3) votes for each Voting Acre then owned by the Company, until the Percentage Sold is equal to or exceeds seventy-five percent (75%) of the Saleable Acreage (the "Conversion"). Upon Conversion, the Class B membership applicable to any Saleable Acreage then owned by the Company shall automatically be converted to Class A membership.

14.5 Assessments and Special Assessments. According to the following procedures, the Association, when formed, shall levy such charges and assessments as may be necessary to carry out its stated purposes:

~~14.4.1~~ 14.5.1 General Annual Assessment. All Lots and the Owners thereof shall be subject to a general annual assessment, determined and levied by the Board of

Directors of the Association, for the purpose of defraying the costs and expenses of the Association in performing its stated purposes and functions, including but not limited to the maintenance and operation of the Common Elements and Preservation Lands and the enforcement of these Covenants. By December 15 of each year the Board of Directors shall prepare an annual budget and shall determine a general annual assessment based thereon which shall be sufficient to meet the estimated costs and expenses of the Association for the ensuing year. The annual budget shall be considered and approved at the annual meeting by the members of the Association. ~~Votes shall be allocated to Owners of Lots based on the amount of acreage in the Park owned by Owners. Each Owner shall be allocated one vote for up to five acres owned, and one additional vote for each additional full three acres owned, up to a maximum of ten votes per Owner during the period of time an Owner owns a vacant Lot and up to a maximum of 5 votes per Owner for the period of time following commencement of construction of a Building by an Owner. For example, if an Owner owns four acres, such Owner shall be entitled to one vote. If an Owner owns seven acres, such Owner shall also be entitled to only one vote, but, if such Owner owns eight acres, such Owner shall be entitled to two votes, and so on. For purposes of determining the number of votes allocated to an Owner, all Lots owned by an Owner shall be aggregated.~~ The general annual assessment shall be allocated and assessed against Owners of all Lots within the Premises, on a pro rata basis, based on the acreage of real estate owned, and shall be paid at the time and in the manner determined by the Board of Directors of the Association, which time shall not be sooner than thirty (30) days after the date of the annual membership meeting. The initial costs of development of the Park, including construction of Retention Ponds and construction of roads shall not be assessed to the Owners under ~~either~~ a general annual assessment or by special assessment under Section 14.4.2.

~~14.4.2~~14.5.2 Special Assessments. Each Lot and the Owners thereof shall be subject to special assessment by the Board of Directors of the Association to cover all or any part of any extraordinary expenses incurred by the Association but not included in the annual budget. Such special assessments shall be assessed against Owners of all Lots within the Premises, on a pro rata basis, based on the acreage of real estate owned. Special assessments shall be due and payable sixty (60) days after the affirmative vote declaring such special assessments by the Board of Directors of the Association. The Board of Directors shall be entitled to specially assess specific Owners of Lots for expenses to the extent such expense primarily benefits such Owner's Lot based on the Board of Directors' reasonable determination.

~~14.4.3~~14.5.3 Collection and Enforcement. The right to collect or enforce the collection of charges, assessments and special assessments is hereby delegated exclusively to the Association. The Owners of Lots shall be personally obligated to pay such charges, assessments and special assessments upon the Lots owned by them, and such charges, assessments and special assessments shall also be and constitute a lien, until paid, against the Lot to which charged. All charges, assessments and special assessments levied by the Association which are unpaid when due shall bear interest from such due date at the rate of twelve percent (12%) per annum until paid in full, and such interest, together with the underlying assessment, shall from such time become and remain a part of the lien upon such Lot until paid.

The Association shall have the exclusive and sole right and power to collect or enforce the collection of charges, annual assessments and special assessments, and to bring any and all actions and proceedings for the collection thereof and for the foreclosure of liens therefor. The Association, acting through the Board of Directors, and as representative of all members, may bring an action at law against any Owner personally obligated for payment of unpaid assessments, or may foreclose the lien against any Lot. Any such foreclosure action

shall be brought in the same manner as an action to foreclose a real estate mortgage, and there shall be added to the amount due the costs of suit and interest, together with reasonable attorneys' fees.

~~14.4.4~~14.5.4 Liability for Payment of Charges and Assessments. No Owner may exempt itself or its Lot from liability for contribution for charges and assessments levied by the Association by waiver of use of any of the Common Elements or Preservation Lands, or by the abandonment of its Lot; no conveyance shall relieve the seller or such seller's Lot of such liability, and such seller shall be jointly, severally and personally liable along with the purchaser in any such conveyance for the charges and assessments incurred until the date of sale, until all charges and assessments against the Lot have been paid. Any interested person shall be entitled to a statement of unpaid assessments with respect to any Lot upon written request to the secretary of the Association.

~~14.5~~14.6 Company's Conveyance to Association. Within ninety (90) days of the Association's incorporation, the Company will convey to the Association by special warranty deed and special warranty bill of sale any and all personal property, fixtures, structures, improvements, real property and real property interests which the Company in its sole judgment may deem to be Common Elements and Preservation Lands as of the date of such conveyance.

ARTICLE XV Miscellaneous

15.1 Submission of Plans. Whenever an Owner is required by these Covenants to submit plans of any kind to the Architectural Control Committee, such plans shall be submitted in duplicate. After the plans have been reviewed, one set shall be returned to the Owner with the Architectural Control Committee's approval and/or comments. The other set shall be retained by the Architectural Control Committee.

15.2 Time for Approval. Unless otherwise specifically provided herein whenever the Architectural Control Committee's approval is required hereunder, the Architectural Control Committee shall take action within thirty (30) days after receipt of the request for approval, together with all plans, specifications, or other documents required for evaluation of such request (unless a longer time is specifically provided for herein). If the Architectural Control Committee determines that additional material or information is necessary, this time period shall not begin until after such additional material or information is provided. If the Architectural Control Committee elects not to grant approval, it shall provide specific written objections within the thirty (30) day time period provided herein, otherwise (except as provided in Section 9.1 above) the request shall be deemed to have been approved.

15.3 Company not Liable. The Company shall not be liable for any damage, loss, or prejudice suffered or claimed by any person on account of:

15.3.1 The approval or disapproval of any plans, drawings, and specifications, whether or not in any way defective;

15.3.2 The construction of any Improvement, or performance of any work, whether or not pursuant to approved plans, drawings, and specifications;

15.3.3 The development of any Building Site or other Lot within the Park; or

15.3.4 Waiver, variance, modification, or termination of these Covenants in accordance with this Declaration.

15.4 Invalidity. Invalidation of any of the provisions of these Covenants, whether by court order or otherwise, shall in no way affect the validity of the remaining provisions, which shall remain in full force and effect.

15.5 Captions. The captions of articles and sections herein are for convenience only and are not intended to be part of the Covenants or in any way to define, limit or describe the scope and intent of the particular article or section to which they refer.

15.6 Recording. Any reference herein to recording a document; shall mean recording in the office of the Register of Deeds for Kenosha County, Wisconsin.

15.7 Notices. Every Owner shall give written notice to the Company (at the address set forth at the beginning of this Declaration) (and after formation of the Association, then to the Association) of its name and address for notice purposes (identifying the Lot it has acquired) within ten (10) days of becoming an Owner.

15.8 Governing Law. This instrument shall be governed by the laws of the State of Wisconsin.

15.9 Time of Essence. Time is of the essence in the discharge by each party of its respective duties and obligations hereunder.

15.10 Exercise of Association Rights. All references to the Association in this Declaration shall mean the Company or assigns until the conditions described in Section 14.1 are satisfied and the Association is formed, at which time these Covenants shall run to the Association. Until such time, all of the rights of the Association hereunder shall be exercisable by the Company or its assigns.

IN WITNESS WHEREOF, the Company has caused the presents to be executed the day and year first written above.

STATE OF WISCONSIN)
)
COUNTY OF MILWAUKEE ss.

Personally came before me this _____ day of _____, 2013, the above-named _____, to me known to be the _____ of _____ who executed the foregoing instrument by its authority and on its behalf and acknowledged the same.

Print Name:

[SEAL]

STATE OF WISCONSIN)
)
COUNTY OF MILWAUKEE ss.

Personally came before me this _____ day of _____, 2013, the above-named _____, to me known to be the _____ of _____ who executed the foregoing instrument by its authority and on its behalf and acknowledged the same.

Print Name:

[SEAL]

This instrument was drafted by:

** Approve by
Pham Comm @
Village
Board*

Exhibit A

Exhibit B

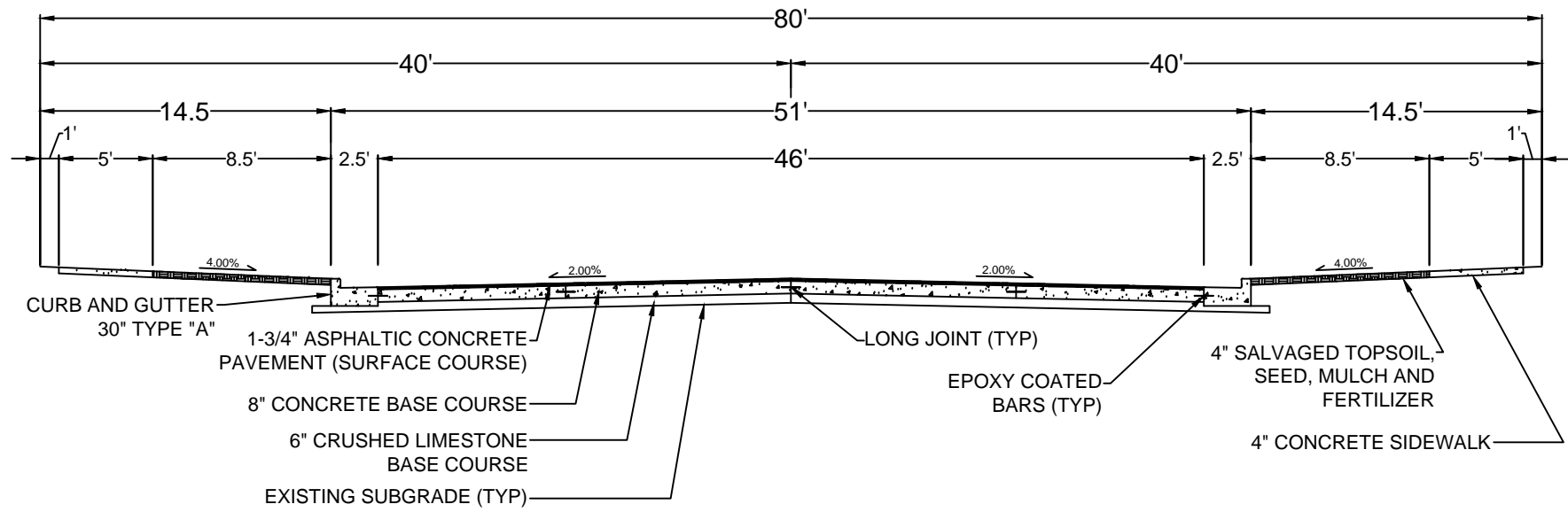
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7:10:48 PM

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Rendering set	Standard

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Deletion	
Moved from	
<u>Moved to</u>	
Style change	
Format change	
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Inserted cell	
Deleted cell	
Moved cell	
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Deletions	107
Moved from	4
Moved to	4
Style change	0
Format changed	0
Total changes	182

DETAIL: 116TH AVENUE



TYPICAL SECTION

116TH AVENUE

VILLAGE OF PLEASANT PRAIRIE

116TH AVENUE TYPICAL SECTION

CREATED: 06-12-13

REVISED: 06-17-13

DRAWN BY: S.WLAHOVICH

REVISED BY: S.WLAHOVICH

SCALE: NTS

APPROVED BY: M.SPENCE



DEPARTMENT OF THE ARMY
ST. PAUL DISTRICT, CORPS OF ENGINEERS
180 FIFTH STREET EAST, SUITE 700
ST. PAUL MINNESOTA 55101-1678

REPLY TO
ATTENTION

Operations
Regulatory (2013-03130-MHK)

September 4, 2013

Ms. Jean Werbie-Harris
Village of Pleasant Prairie
9915 29th Avenue
Pleasant Prairie, Wisconsin 53158-6504

Dear Ms. Werbie-Harris:

We have received your notice that the Village of Pleasant Prairie will be conducting a Public Hearing for the proposed Riverview Corporate Park development. The development is located in Section 30 and 31, T. 1N., R. 22E., Kenosha County, Wisconsin. Please consider the following general information concerning our regulatory program that may apply to the proposed project.

If the proposal involves discharge of dredged or fill material into waters of the United States, it may be subject to the Corps of Engineers' jurisdiction under Section 404 of the Clean Water Act (CWA Section 404). Waters of the United States include navigable waters, their tributaries, and adjacent wetlands (33 CFR § 328.3). CWA Section 301(a) prohibits discharges of dredged or fill material into waters of the United States, unless the work has been authorized by a Department of the Army permit under Section 404. Information about the Corps permitting process can be obtained online at <http://www.mvp.usace.army.mil/regulatory>.

The Corps' evaluation of a Section 404 permit application involves multiple analyses, including (1) evaluating the proposal's impacts in accordance with the National Environmental Policy Act (NEPA) (33 CFR part 325), (2) determining whether the proposal is contrary to the public interest (33 CFR § 320.4), and (3) determining whether the proposal complies with the Section 404(b)(1) Guidelines (Guidelines) (40 CFR part 230).

If the proposal requires a Section 404 permit application, the Guidelines specifically require that "no discharge of dredged or fill material shall be permitted if there is a practicable alternative to the proposed discharge which would have less adverse impact on the aquatic ecosystem, so long as the alternative does not have other significant adverse environmental consequences" (40 CFR § 230.10(a)). Time and money spent on the proposal prior to applying for a Section 404 permit cannot be factored into the Corps' decision whether there is a less damaging practicable alternative to the proposal. As the Wisconsin Department of Natural Resources letter dated August 22, 2013 describes, there may be alternative site configurations in upland areas which may further avoid or minimize aquatic impacts than the concept plan currently proposes. It is upon the applicant to clearly rebut the presumption that upland sites/areas are available that would be less environmentally-damaging than the proposal.

The project proposer may request a pre-application consultation meeting with the Corps to obtain information regarding the data, studies or other information that will be necessary for the permit evaluation process. A pre-application consultation meeting is strongly recommended for this project as the proposed impacts to waters of the United States appear to be substantial.

For further information or to request a pre-application consultation meeting, please contact Marie Kopka at (651) 290-5733, the Corps' project manager for the County in which this proposal is located.

Sincerely,



per Tamara E. Cameron
Chief, Regulatory Branch

Electronic copy furnished: Kathi Kramasz, Wisconsin DNR (INF-SE-2013-30-02609)



RECEIVED
AUG 26 2013

08/22/2013

INF-SE-2013-30-02609

Village of Pleasant Prairie

Ms. Jean Werbie-Harris
Village of Pleasant Prairie
9915 39th Avenue
Pleasant Prairie, WI 53158

RE: Venture One Real Estate, Riverview Corporate Center, Des Plaines River Tributary, located in the Village of Pleasant Prairie, Kenosha County, also described as Section 30, Township 1 North, Range 22 East.

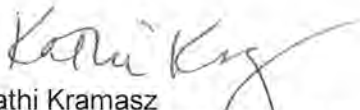
Dear Ms. Werbie:

Thank you for the opportunity to comment on the proposed development plan for the Riverview Corporate Center. The conceptual plan indicates proposed wetland fill for Lot 1, Lot 3, Lot 4 and the future road. No DNR permits have been applied for or issued for this potential wetland fill and it is not likely that this amount of fill can be approved. In the wetland fill application process, the applicant must show that the proposed project cannot avoid wetlands and that the unavoidable fill cannot be minimized. In this case it appears that the building area of Lot 1 can be reduced to avoid/minimize the wetland impact and that lots 3 and 4 can be reconfigured to orient west to east and be reduced in size to avoid/minimize wetland impact. Lots 2 and 5 do not appear to have any wetland impact.

It can be problematic for the applicant when the municipality approves a development plan that has to be modified to meet DNR and COE standards. I would request that the Village consider tabling this request until DNR and COE permitting issues are resolved. In addition some of the proposed fill may be within shoreland-wetland areas which will require a Village rezone process.

I do not have the agent's mailing address so cannot send this letter to them. If you have any questions, please call me at (920) 892-8756 ext 3031 or email Kathleen.Kramasz@wisconsin.gov.

Sincerely,


Kathi Kramasz
Water Management Specialist

C: COE


Pete Wood, DNR Specialist

RIVERVIEW CORPORATE PARK

Riverview Corporate Park is a 254-acre state of the art master-planned corporate business park located at I-94 south of 104th Street, just 60 minutes north of Chicago and 30 minutes south of Milwaukee. The park is strategically designed to accommodate five to seven corporate facilities for office, research, manufacturing and assembly operations. Riverview Corporate Park will be an institutionally developed park utilizing pre-cast construction with significant window line throughout the office section of the buildings. Riverview will have open space design features utilizing the prairie and wetlands to blend into the adjoining areas.

Riverview is meant to accommodate the business expansion of corporations from both the Chicago and Milwaukee markets. It has immediate access to the four-way interchange at 104th Street and I-94 and is 30 minutes from General Mitchell International Airport and 45 minutes from Chicago O'Hare International Airport. From I-94 the park has good access to the interstate highway system for servicing the entire Midwest region.

Riverview Corporate Park is located in Pleasant Prairie, a community that has dynamic civic leaders that understand corporate growth and demand, who have the capacity and desire to facilitate significant economic expansion. Corporations are able to take advantage of the excellent labor pool provided in the community and region.

Riverview Corporate Park is serviced by municipal water, sanitary sewer, We Energies, and fiber optic provided by Time Warner Cable.

SEAL	 THE ART & SCIENCE OF BUILDING 35 E. WACKER DRIVE CHICAGO, ILLINOIS 60601 PH 312.658.0747 FX 314.429.1890	 FORUM Architect	CONSULTANT NAME	PLASANT PRAIRIE, WISCONSIN	PROJECT: MASTER PLAN RIVERVIEW CORPORATE PARK	DEVELOPER: CLAYCO - VENTURE ONE DEVELOPMENT SERVICES, LLC.	DRAWING ISSUE: 07/11/13 Date	Drawing Title: HIGH AERIAL	Drawing No.: SK-6	r2	
			Civil Engineer								Structural Engineer



PRELIMINARY



SITE PLAN
 1" = 600'-0"

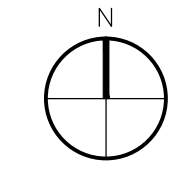
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TABULATIONS:

SITE AREA:	
BUILDING SITE AREA	78.34 ACRES
ROADWAY R.O.W.	8.82 ACRES
WETLAND / UNBUILDABLE*	165.07 ACRES
TOTAL	252.23 ACRES
BUILDING AREA:	
BUILDING - "A"	205,440 S.F.
BUILDING - "B"	428,187 S.F.
BUILDING - "C"	319,492 S.F.
BUILDING - "D"	398,870 S.F.
BUILDING - "E"	87,330 S.F.
TOTAL	1,439,319 S.F.
PARKING PROVIDED:	
AUTO STALLS - "A"	192 CARS
AUTO STALLS - "B"	419 CARS
AUTO STALLS - "C"	556 CARS
AUTO STALLS - "D"	448 CARS
AUTO STALLS - "E"	212 CARS
TOTAL	1,827 CARS
TRAILERS:	
TRAILERS - "A"	0 TRAILERS
TRAILERS - "B"	0 TRAILERS
TRAILERS - "C"	0 TRAILERS
TRAILERS - "D"	0 TRAILERS
TOTAL	0 TRAILERS
DOCKS PROVIDED:	
LOADING DOCKS - "A"	24 DOCKS
LOADING DOCKS - "B"	8 DOCKS
LOADING DOCKS - "C"	10 DOCKS
LOADING DOCKS - "D"	18 DOCKS
LOADING DOCKS - "E"	6 DOCKS
TOTAL	66 DOCKS
DRIVE IN DOORS:	2-4 / BLDG (TYP.)

SITE PLAN
1" = 200'-0"



PRELIMINARY

SEAL

CLAYCO
THE ART & SCIENCE OF BUILDING
36 E. WACKER DRIVE
CHICAGO, ILLINOIS 60601
PH: 312.655.0747 FX: 312.429.1890

Architect
FORUM

Civil Engineer
CONSULTANT NAME

Structural Engineer
CONSULTANT NAME

Landscape Architect
CONSULTANT NAME

Interior Architect
CONSULTANT NAME

MEP Engineer
CONSULTANT NAME

VENTURE ONE
REAL ESTATE, LLC

PROJECT:
MASTER PLAN
RIVERVIEW CORPORATE PARK
PLEASANT PRAIRIE, WISCONSIN

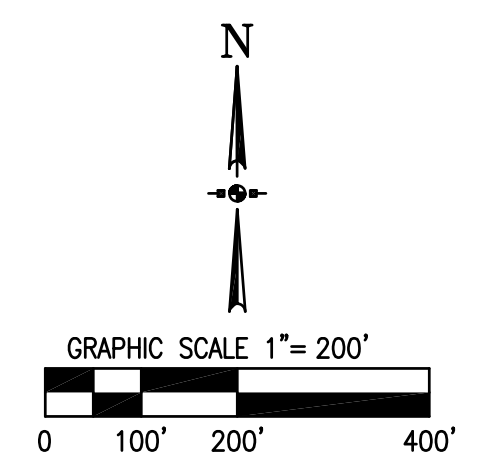
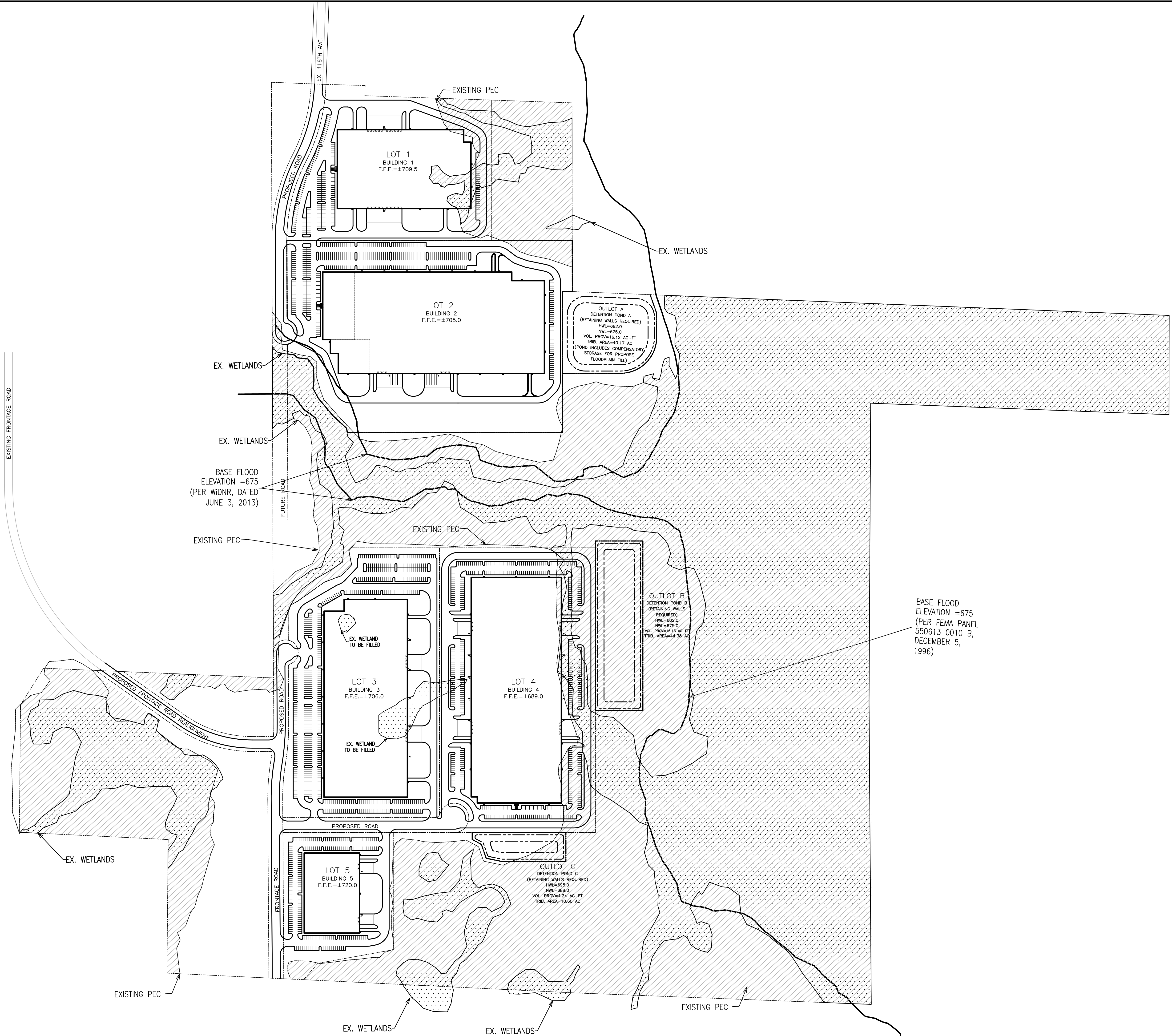
Developer
CLAYCO - VENTURE ONE
DEVELOPMENT SERVICES, LLC.

DRAWING ISSUE 07/11/13
Description Date

Drawing Title
PARK PLAN

Drawing No.
SK-6 r2
JMH

Clayco Job No. 10101300 Consult Job No. #-###-###



SITE DATA

OVERALL PROPERTY	
TOTAL PROPERTY AREA	= 252.23 AC
TOTAL EX. WETLANDS ON-SITE	= 108.15 AC
TOTAL PR. WETLAND FILL	= 3.91 AC
TOTAL EX. PEC ON-SITE	= 153.45 AC
TOTAL PR. PEC ENCROACHMENT	= 12.48 AC
LOT 1	
LOT AREA	= 12.22 AC
BUILDING AREA	= 205,440 SF
WETLAND FILL AREA	= 0.80 AC
PEC ENCROACHMENT AREA	= 2.15 AC
LOT 2	
LOT AREA	= 22.76 AC
BUILDING AREA	= 428,187 SF
WETLAND FILL AREA	= 0 AC
PEC ENCROACHMENT AREA	= 0.73 AC
LOT 3	
LOT AREA	= 17.28 AC
BUILDING AREA	= 319,492 SF
WETLAND FILL AREA	= 0.83 AC
PEC ENCROACHMENT AREA	= 0 AC
LOT 4	
LOT AREA	= 19.64 AC
BUILDING AREA	= 398,870 SF
WETLAND FILL AREA	= 1.55 AC
PEC ENCROACHMENT AREA	= 4.35 AC
LOT 5	
LOT AREA	= 6.43 AC
BUILDING AREA	= 87,330 SF
WETLAND FILL AREA	= 0 AC
PEC ENCROACHMENT AREA	= 0.25 AC
TOTAL RIGHT-OF-WAY (ROW)	
LOT AREA	= 8.85 AC
WETLAND FILL AREA	= 0.73 AC
PEC ENCROACHMENT AREA	= 1.07 AC
OUTLOT A (DETENTION POND A)	
LOT AREA	= 3.24 AC
WETLAND FILL AREA	= 0.00 AC
PEC ENCROACHMENT AREA	= 0.00 AC
OUTLOT B (DETENTION POND B)	
LOT AREA	= 3.61 AC
WETLAND FILL AREA	= 0.00 AC
PEC ENCROACHMENT AREA	= 3.61 AC
OUTLOT C (DETENTION POND C)	
LOT AREA	= 1.10 AC
WETLAND FILL AREA	= 0.00 AC
PEC ENCROACHMENT AREA	= 0.32 AC

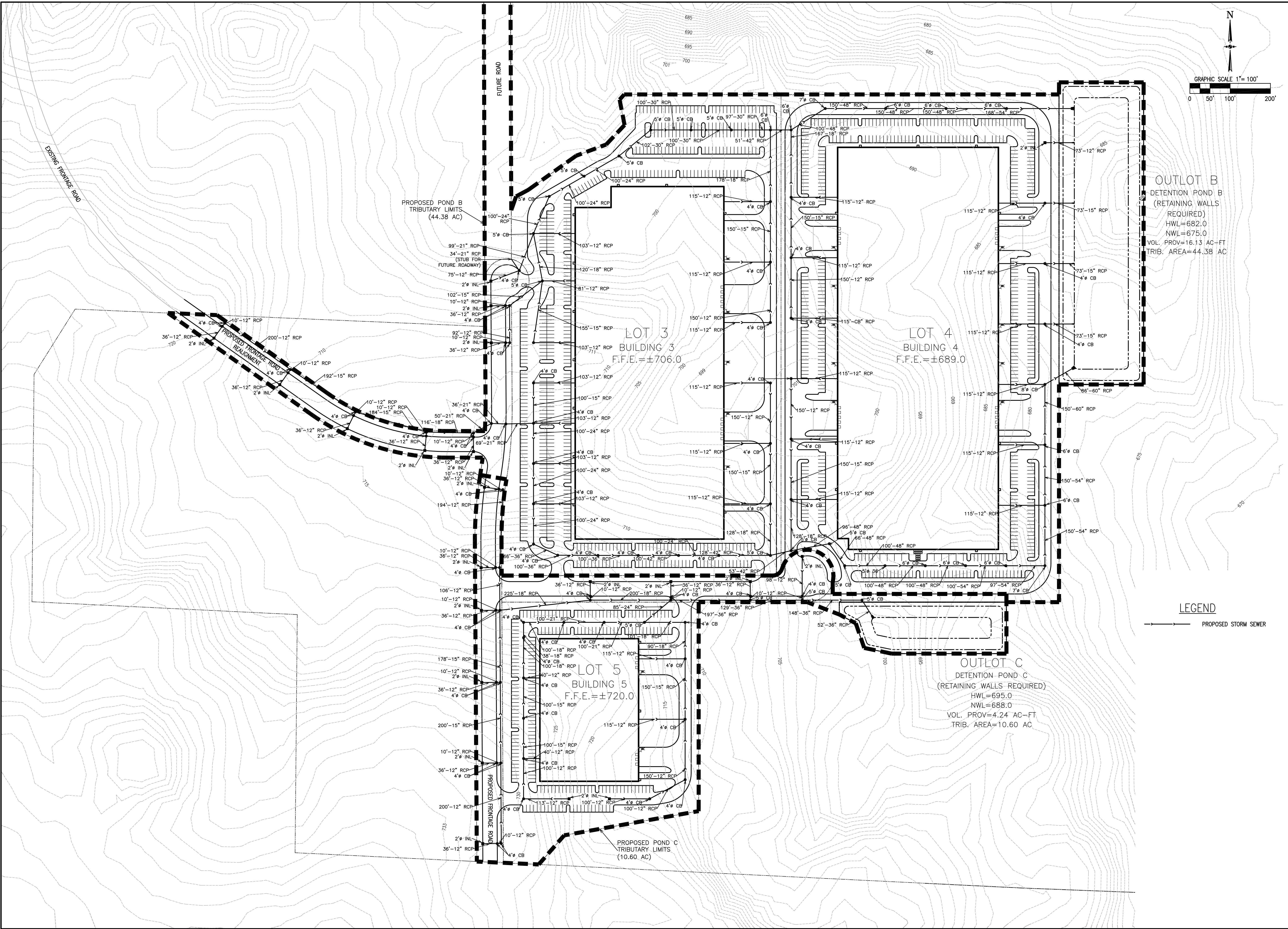
LEGEND

- FLOODPLAIN LIMITS PER FEMA FIRM PANEL NUMBER 550613 0010 B, DATED DECEMBER 5, 1996 AND WIDNR FLOODPLAIN MAP, DATED JUNE 3, 2013.
- WETLAND LIMITS AS DELINEATED BY WETLAND & WATERWAY CONSULTING, LLC.
- PRIMARY ENVIRONMENTAL CORRIDOR (PEC) LIMITS AS DELINEATED BY WETLAND & WATERWAY CONSULTING, LLC.

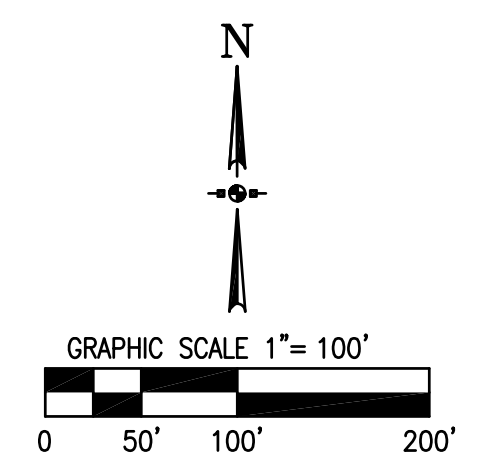
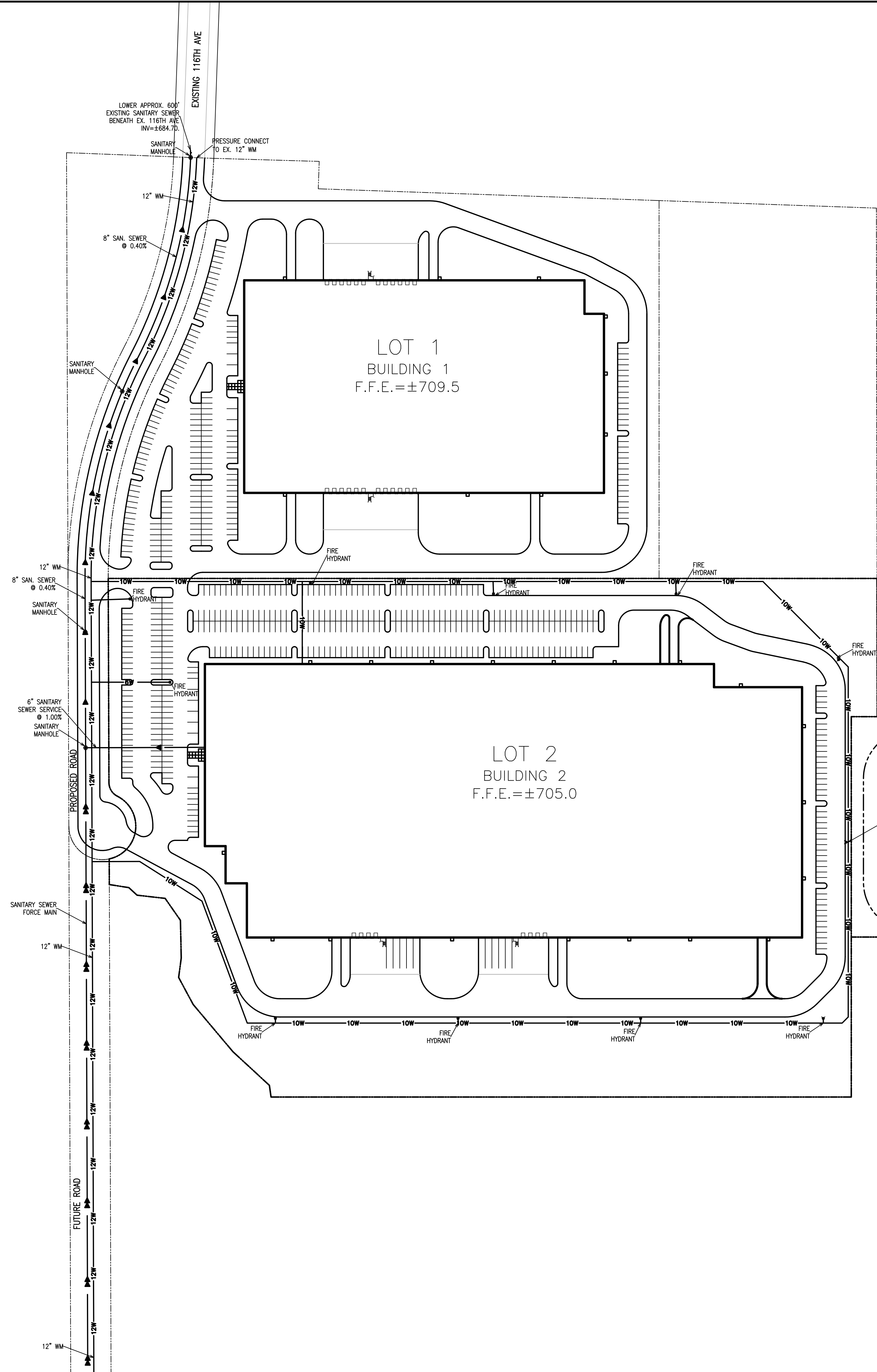
CONCEPTUAL SITE PLAN
RIVERVIEW CORPORATE PARK
CALYCO - VENTURE ONE DEVELOPMENT SERVICES, LLC.
PLEASANT PRAIRIE, WISCONSIN

JACOB & HEFNER ASSOCIATES, INC.
ENGINEERS • SURVEYORS
1910 S. Highland Avenue, Suite 100
Lombard, IL 60148
PHONE: (630) 652-4600
FAX: (630) 652-4601

No.	Original Plan Date	Description
	7/17/13	Date



CONCEPTUAL GRADING & DRAINAGE PLAN - SOUTH		Original Plan Date	7/17/13
RIVERVIEW CORPORATE PARK		Description	
CALYCO - VENTURE ONE DEVELOPMENT SERVICES, LLC.		No.	
PLEASANT PRAIRIE, WISCONSIN			
<p>JACOB & HEFNER ASSOCIATES, INC. ENGINEERS • SURVEYORS 1910 S. Highland Avenue, Suite 100 Lombard, IL 60148 PHONE: (630) 652-4600 FAX: (630) 652-4601</p>			
E978			
1"=100'			
C3			



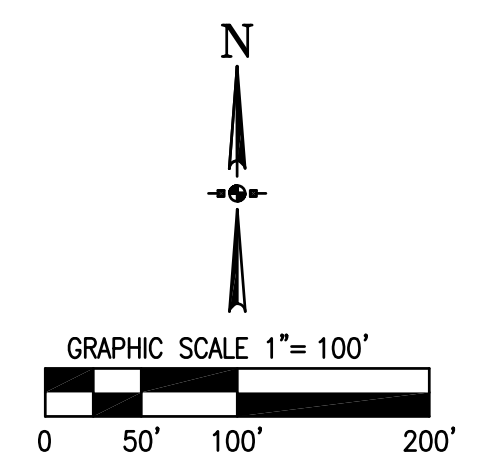
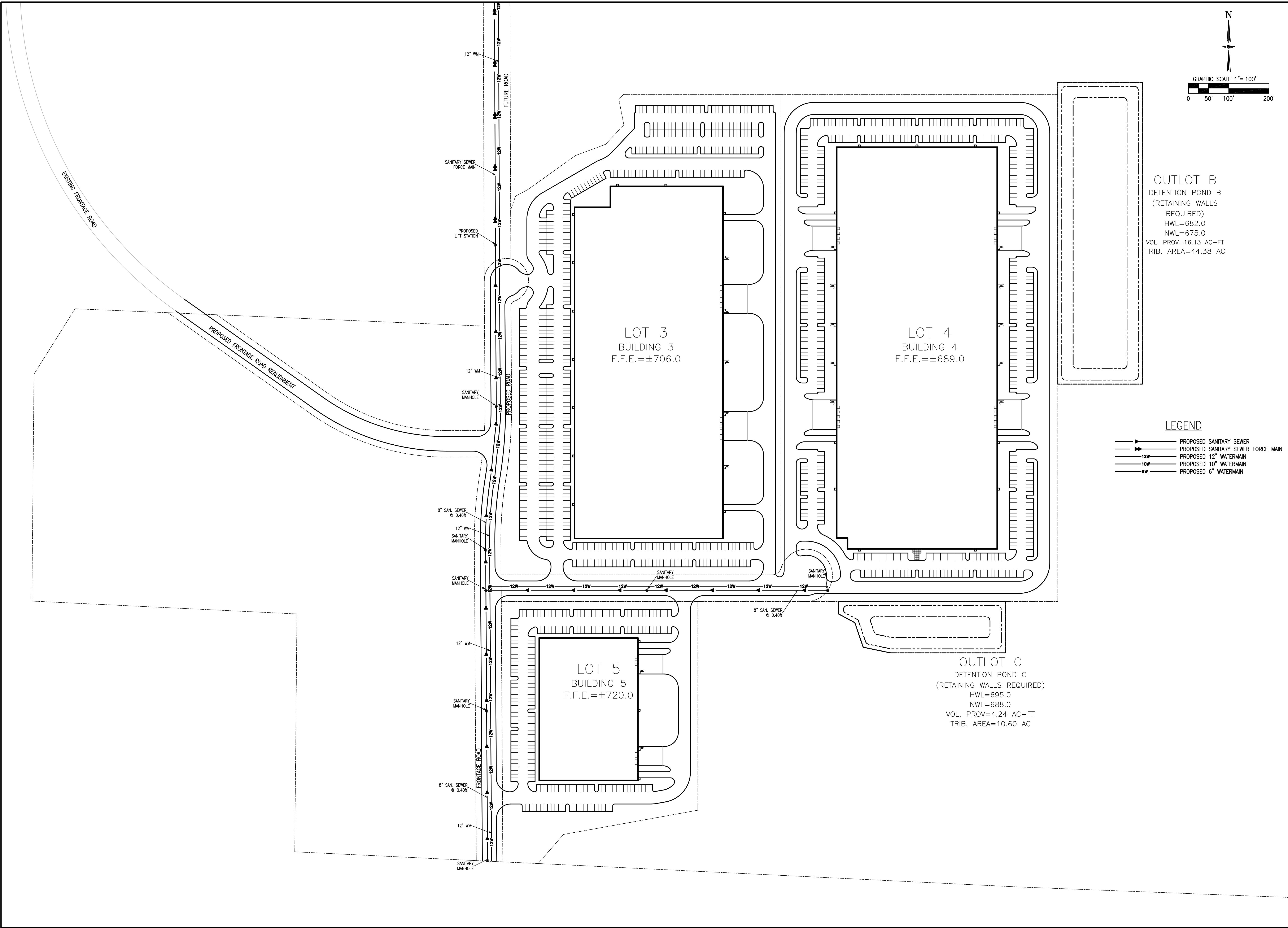
LEGEND

	PROPOSED SANITARY SEWER
	PROPOSED SANITARY SEWER FORCE MAIN
	PROPOSED 12" WATERMAIN
	PROPOSED 10" WATERMAIN
	PROPOSED 6" WATERMAIN

CONCEPTUAL UTILITY PLAN - NORTH
 RIVERVIEW CORPORATE PARK
 CALYCO - VENTURE ONE DEVELOPMENT SERVICES, LLC.
 PLEASANT PRAIRIE, WISCONSIN

JACOB & HEFNER ASSOCIATES, INC.
 ENGINEERS • SURVEYORS
 1910 S. Highland Avenue, Suite 100
 Lombard, IL 60148
 PHONE: (630) 652-4600
 FAX: (630) 652-4601

No.		Original Plan Date	7/17/13
Description		Date	
E978		1"=100'	
C4			



OUTLOT B
 DETENTION POND B
 (RETAINING WALLS
 REQUIRED)
 HWL=682.0
 NWL=675.0
 VOL. PROV=16.13 AC-FT
 TRIB. AREA=44.38 AC

LEGEND

- PROPOSED SANITARY SEWER FORCE MAIN
- PROPOSED 12" WATERMAIN
- PROPOSED 10" WATERMAIN
- PROPOSED 6" WATERMAIN

OUTLOT C
 DETENTION POND C
 (RETAINING WALLS REQUIRED)
 HWL=695.0
 NWL=688.0
 VOL. PROV=4.24 AC-FT
 TRIB. AREA=10.60 AC

UTILITY PLAN - SOUTH

RIVERVIEW CORPORATE PARK
 CALYCO - VENTURE ONE DEVELOPMENT SERVICES, LLC.
 PLEASANT PRAIRIE, WISCONSIN

JACOB & HEFNER ASSOCIATES, INC.
 ENGINEERS • SURVEYORS

1910 S. Highland Avenue, Suite 100
 Lombard, IL 60148
 PHONE: (630) 652-4600
 FAX: (630) 652-4601

No.	Original Plan Date	Description	Date
			7/17/13

E978
 1"=100'
 C5

VILLAGE STAFF REPORT OF SEPTEMBER 9, 2013

THESE ITEMS ARE RELATED AND WILL BE DISCUSSED AT THE SAME TIME HOWEVER SEPARATE ACTION IS REQUIRED.

- I. **PUBLIC HEARING AND CONSIDERATION OF PLAN COMMISSION RESOLUTION #13-09 FOR THE FOLLOWING AMENDMENTS TO THE VILLAGE COMPREHENSIVE PLAN** to consider the request of Mark Eberle, P.E. of Nielsen Madsen and Barber, agent for SB1 Pleasant Prairie WI, LLC owners of vacant 9.9 acre property generally located between 88th and 91st Avenues and 76th Street and Prairie Ridge Blvd to correct and amend the Village of Pleasant Prairie 2035 Comprehensive Land Use Plan Map 9.9 and update Appendix 10-3 of the Village of Pleasant Prairie Wisconsin, 2035 Comprehensive Plan to include said amendment. Specifically, Map 9.9 is proposed to be amended to correctly identify the field delineated wetlands in the Park, Recreational and Other Open Space Lands with a field verified wetland land use designation on the vacant property located between 88th and 91st Avenues and 76th Street and Prairie Ridge Blvd.

Recommendation: Village staff recommends approval of **Plan Commission Resolution #13-09** to approve amendments to the Comprehensive Plan as outlined in said Resolution.

- J. **PUBLIC HEARING AND CONSIDERATION OF A ZONING MAP** to consider the request of Mark Eberle, P.E. of Nielsen Madsen and Barber, agent for SB1 Pleasant Prairie WI, LLC owners of vacant 9.9 acre property generally located between 88th and 91st Avenues and 76th Street and Prairie Ridge Blvd to rezone the field delineated wetlands on the property into the C-1, Lowland Resource Conservancy District.

Recommendation: Village staff recommends that the Plan Commission send a favorable recommendation to the Village Board to approve the **Zoning Map Amendment** as presented in the Village Staff Report of September 9, 2013.

- K. **PUBLIC HEARING AND CONSIDERATION OF A CONCEPTUAL PLAN** to consider the request of Mark Eberle, P.E. of Nielsen Madsen and Barber, agent for SB1 Pleasant Prairie WI, LLC owners of vacant 9.9 acre property generally located between 88th and 91st Avenues and 76th Street and Prairie Ridge Blvd for the proposed office development on four (4) lots ranging in size from 2.122 acres and 2.912 acres.

Recommendation: Village staff recommends that the Plan Commission send a favorable recommendation to the Village Board to approve the **Conceptual Plan** subject to the comments and conditions of the Village Staff Report of September 9, 2013.

- L. Consider the request of Mark Eberle, P.E. of Nielsen Madsen and Barber, agent for SB1 Pleasant Prairie WI, LLC owners of vacant 9.9 acre property generally located between 88th and 91st Avenues and 76th Street and Prairie Ridge Blvd for approval of a **Certified Survey Map** to subdivide the property and create a 2.912 acres property for a proposed office building.

Recommendation: Village staff recommends that the Plan Commission send a favorable recommendation to the Village Board to approve the **Certified Survey Map** subject to the comments and conditions of the Village Staff Report of September 9, 2013.

The petitioner is requesting several approvals for the development of a 9.9 acre property within the Prairie Ridge Development generally located between 88th and 91st Avenues and 76th Street and Prairie Ridge Blvd (Parcel 1 of CSM 2175).

CONCEPTUAL PLAN: The 9.9 acre site located is proposed to be subdivided into four (4) lots for the potential development of four (4) commercial office buildings.

- Lot 1 is 2.912 acres with frontage on 76th Street and cross access to Lot 2A. Lot 1 shows a 20,000 square foot office building (2-story building with a 10,000 square foot footprint) with 83 parking spaces.
- Lot 2A is 2.180 acres with frontage on 91st Street and cross access to Lots 2B and 2C and the property to the north (BMO Harris Bank). Lot 2A shows a 21,500 square foot office building (2-story building with a 10,250 square foot footprint) with 91 parking spaces.
- Lot 2B is 2.739 acres with frontage on Prairie Ridge Blvd. and 91st Avenue and cross access to Lots 2A and 2C. Lot 2B shows a 19,300 square foot office building (1 story building) with 81 parking spaces.
- Lot 2C is 2.122 acres with frontage on Prairie Ridge Blvd. and cross access to Lots 1, 2A and 2B. Lot 2C shows an 11,500 square foot office building (1 story building) with 45 parking spaces.

There are no specified defined users as this time; however, when specific users and tenants are identified, the detailed Site and Operational Plans will be required to be submitted for the development of each lot and the building size and parking ratios will be further evaluated to ensure compliance with the Village regulations.

The property is zoned B-2, Community Commercial District and the field delineated wetlands on the property are proposed to be rezoned into the C-1, Lowland Resource Conservancy District (see below). The following office or clinic uses are permitted uses in the B-2 District: accounting; architectural; dental; engineering; financial services; information services; insurance; legal; medical (but no ambulance service); and real estate. In addition, the B-2 District requires the following minimum requirements:

Lot size: two acres minimum

Lot frontage on a public street: 150 feet minimum

Open space: 30% minimum.

Principal building standards:

Gross floor area: 4,000 square feet minimum and 25,000 square feet maximum

Height: 35 feet maximum

Setbacks:

Street setback: minimum of 40 feet from non-arterial streets or private roads.

Side and Rear setback: 30 feet minimum.

Wetland setback: 25 feet minimum.

Detached accessory building/trash enclosure standards: detached accessory buildings or trash enclosures are prohibited.

Driveway access locations for the lots are proposed to align with existing driveway access points on the opposite side of the streets or are adequately spaced on the boundary street. In addition, all proposed uses will be required to be serviced by municipal sewer and water already located within the Prairie Ridge Development.

The wetlands on the site were re-delineated by Wetland and Waterway Consultants on September 2, 2011 (written concurrence from the U.S. Army Corps of Engineers or Wisconsin Department of Natural Resources is required to be submitted.) The wetlands are proposed to be located within Dedicated Wetland Preservation and Protection, Access and Maintenance Easements as shown on the CSM.

CERTIFIED SURVEY MAP: A Certified Survey Map is proposed to subdivide the property into two parcels – Lot 1 and Lot 2. Lot 1 is 2.912 acres as shown on the Conceptual Plan. Lot 2 is 7.040 acres and could be further subdivided into Lots 2A, 2, B and 2C as shown on the Conceptual Plan.

The CSM shows existing easements and restrictions that will remain on the properties that were previously shown on the original Prairie Ridge Plat and CSM 2175. In addition, the CSM dedicates new wetland easements over the re-delineated wetland areas. Upon further development of Lot 1 and further subdivision/development of Lot 2 cross access easements will be required to be dedicated at no cost to the abutting lots.

ZONING MAP AMENDMENT: As noted above, the wetlands on the property were re-delineated in 2011. The Zoning Map is proposed to be amended to rezone the field delineated wetlands into the C-1 District. The non-wetland areas will remain in the B-2, Community Business District. The entire property will remain in the PUD, Planned Unit Development Overlay District (Specific Development Plan #1 in Chapter 420 Attachment 3, Appendix C). This PUD allows Non-Residential Development Identification Signs for the entire Prairie Ridge Development at the main entrances from STH 50 and 88th and 104th Avenues).

COMPREHENSIVE PLAN AMENDMENT: Pursuant to the Village Comprehensive Plan, the Village Zoning Map and the Comprehensive Land Use Plan shall be consistent; therefore, the Village 2035 Comprehensive Land Use Plan is also proposed to be amended to reflect the wetland staking on the property. Specifically, Map 9.9 is proposed to be amended to correctly identify the field delineated wetlands into the Park, Recreational and Other Open Space Lands with a field verified wetland land use designation.

RECOMMENDATIONS:

Item I: Village staff recommends approval of **Plan Commission Resolution #13-09** to approve amendments to the Comprehensive Plan as presented.

Item J: Village staff recommends that the Plan Commission send a favorable recommendation to the Village Board to approve the **Zoning Map Amendment** as presented.

Item K: Village staff recommends that the Plan Commission send a favorable recommendation to the Village Board to approve the **Conceptual Plan** subject to the above comments and the following conditions:

1. The Conceptual Plan approval will be valid for a period of one (1) year. Prior to the expiration of the Conceptual Plan, the developer will be required to submit the Site and Operational Plan for the property.
2. The Conceptual Plan and ALTA Survey show an electric line located outside of the dedicated utility easement. Also, the new wetland boundary delineation will place the existing utility easement for this portion of the electric alignment within the wetland limits. Development plans will need to dedicate a new utility easement over the existing electric line or new alignment outside the wetland boundary if the line ends up being relocated for development purposes.

3. Cross-Access Easements will be required to be dedicated and recorded for the shared driveways between lots/parcels. Submit all easement documents to the Village for review and approval prior to recording.
4. The Development will need to incorporate water quality provisions. This will need to be addressed on-site or by retrofitting the downstream detention basin(s).
5. The future development of the lots and structures shall comply with the ordinances in effect at the time of construction. In addition, detailed Site and Operational Plans are required to be submitted for review and approval prior to any development pursuant to the requirements for the Village Zoning Ordinance.
6. Compliance with the attached memo from the Fire & Rescue Department dated August 10, 2013. In addition, when specific development plans are submitted detailed and more specific comments will be provided by all Village Departments as part of the required Site and Operational Plans.
7. Sidewalk connections to the proposed buildings from the existing concrete sidewalks in the abutting road rights-of-way will be required.
8. Building architectural designs, elevations and sample materials will be required to be approved by the Plan Commission as part of the detailed Site and Operational Plans.
9. At the time that each lot is proposed to be developed for commercial purposes, detailed landscaping plans will be required to be submitted and reviewed. All landscaped areas will be required to be irrigated with a sprinkler system. The base map for these landscape plans shall include the approved grading plan. In addition, the location of all pedestals and transformers and proposed screening shall be shown on the Site and Operational Plans required for each development site.
10. Landscaping and parking lot islands will be required pursuant to the Village Ordinance requirements. In particular, landscaping between parking areas and roadways shall comply with Section 420-57 J (2) (d) of the Village Zoning Ordinance that states "***Parking lots associated with manufacturing, business or institutional uses shall be screened from public rights-of-way and/or residential zoning districts located within 50 feet of such parking lots; such screening shall be installed in close proximity to the parking lot and shall be 75% opaque to a height of at least four (4) feet above the grade of the nearest edge of such parking lot within three (3) years of installation and may consist of shrubs and trees, an appropriately landscaped undulating berm...***" Revise the plans. Review and place similar quantity, quality and size landscaping as shown in the Shoppes at Prairie Ridge.
11. Each Lot is required to have a primary monument sign. Two (2) secondary entrance signs (entry monument signs) are proposed at the shared access locations at 104th Avenue and 77th Street. All signage shall conform to the provisions of the PUD Ordinance and all general requirements of the Village Sign Ordinance (Chapter 420 Article X).
12. All commercial buildings will be required to install a sanitary sewer sampling manhole. The location and details shall be shown on the Site and Operational Plans required for each site. Contact the Village Engineer to confirm an approved location.
13. Prior to the development of each lot for commercial purposes, detailed Site and Operational Plans are required to be submitted and approved by the Plan Commission pursuant to Article IX of the Village Zoning Ordinance. Also, depending on the use proposed, the occupants may require a Conditional Use Permit along with Site and Operational Plan approval from the Plan Commission and may require approval of special licenses by the Village.
14. All easements shall be shown on the required Site and Operational Plans submitted for review and approval as each lot is proposed to be developed.

15. All downspouts for all proposed buildings within the development shall be interconnected to the private storm sewer system and shown on the required Site and Operational Plans.
16. Details of the dumpster enclosures shall be provided on the required Site and Operational Plans for the development of each lot. The dumpster enclosures shall be constructed of the same brick, block or stone materials as the building and be attached to the building. Detached garbage enclosures are not allowed. A wooden fence enclosure is not allowed. Sample materials, doors and paint colors of the dumpster enclosures shall be submitted for review and approval.
17. Details (cut sheet details) of the proposed exterior lighting on the building, in the parking areas shall be provided with each detained Site and Operational Plan. In addition, provide a photometric plan to ensure proper lighting levels at the property boundaries as required by Article IX of the Village Zoning Ordinance. (This is a unified business developed – the lighting color, height, and style shall be similar for the commercial sites). Concrete bases shall not exceed 18 inches above grade and shall be located in landscape island areas,
18. Each handicapped parking space shall be appropriately signed (locations to be reviewed with planning staff) and painted on the pavement pursuant to ADA requirements prior to occupancy of any development site.
19. All exterior mechanical units, antennae and/or satellite dishes, whether roof-mounted or ground-mounted, **shall be screened from the general public's view.**
20. Impact fees shall be paid prior to issuance of the building permit. (Currently based upon \$1.94 per \$1,000 of valuation as determined by the Village Assessing Department).
21. All required landscaping and screening for the buildings and signage shall be installed prior to occupancy of any building. A written letter verification and certification shall be provided to the Village by the landscape designer that all building and signage landscaping has been installed in accordance with the approved landscape plan prior to the issuance of a certificate of compliance/occupancy. However, if weather conditions prevent installation of all or portions of the landscape materials, the developer, owner or occupant shall enter into a written agreement with the Village that specifies the date by which all approved landscaping shall be completed and grants the Village a temporary easement to complete the landscaping if not timely completed and shall deposit with the Village Clerk a cash deposit, an irrevocable letter of credit, or other financial assurance approved by the Zoning Administrator to ensure timely completion of all required landscaping; the amount of the financial assurance shall be equal to 110% of the contracted amount to complete the landscaping improvements in order to reasonably compensate the Village for the cost of completion of any landscaping improvements not completed within the specified time.
22. After footings and foundations are installed for each building and prior to framing or construction of walls, an as-built survey stamped by a Wisconsin Registered Land Surveyor shall be submitted to the Village to verify that required building setbacks have been met.
23. Prior to written occupancy of any building and associated site improvements three (3) copies of an as-built plan, stamped by a Wisconsin Registered Land Surveyor shall be submitted to the Village to verify that required building, above ground structures and all impervious surfaces meet the minimum setbacks and that all signage and pavement markings were installed per the approved site plans and the grading of the site was completed pursuant to the approved Site and Operational Plans. In addition, written certification from the signage companies that the signage was installed pursuant to the approved Site and Operational Plans shall be submitted.
24. Prior to written occupancy of any building an as-built record drawing of graphical data of all private sewer, water, and storm sewer facilities and underground irrigation systems installed shall be provided to the Village for the Village **to update the Village's Geographic Informational System. Information shall conform to the Village's electronic format** requirements. In addition, a paper copy prepared and stamped by the Engineer of Record

for the project shall be submitted.

25. No site within the development shall be used for any parking (neither overnight nor during the day) of junked/inoperable/dismantled/unlicensed vehicles. All junked/inoperable/dismantled/unlicensed vehicles that are parked overnight will be issued citations.
26. Real Estate Marketing Signs and/or Temporary Development Signs are permitted only by permit pursuant to the requirements of Article X of Chapter 420.
27. At no time shall any site within the development be used to sell or advertise any vehicles **that are "for sale"**.
28. No vehicular parking will be permitted in driveways, maneuvering lanes, fire lanes or on landscaped areas.
29. There shall be no outside banners, strings of pennants, flags, inflatable devices or streamers affixed or attached to the building(s), light poles, ground or landscaping, etc. within the Development
30. There shall be no semi-truck/trailer or commercial box truck or commercial van parking permitted on the site within the Development, except temporarily, for routine deliveries.
31. There shall be no outdoor storage or display of materials, goods or equipment on any site, within the Development unless as approved by the Village.
32. The use of semi-trailers, storage units, storage bins, roll-off storage devices (e.g. P.O.D.S., S.A.M.S.) or other trucks, for storage purposes is prohibited. Outdoor storage of any materials, including but not limited to: raw materials, business supplies, pallets, crates, etc., is prohibited.
33. No trucks, trailers or cars shall be parked in a manner that would constitute advertising for the business on the properties.
34. No sign walkers – persons with costumes or signs strapped, hung, affixed or over their clothes shall walk the properties or public right-of-ways for extended periods of time advertising the businesses, sales or special offers of the service or retail businesses.
35. No use shall be conducted in such a way as to constitute a public or private nuisance or to violate any of the performance standards set out in Section 420-38 of the Village Zoning Ordinance.
36. Municipal connection fees shall be paid prior to the connections of each building to the sanitary sewer system.
37. This development shall be in compliance with the Village Land Division and Development Control Ordinance, the Village Municipal and Zoning Codes, the Village Construction Site Maintenance and Erosion Control Ordinance and the State of Wisconsin Statutes.
38. All Village fees incurred by the Village Engineer, Village Inspectors and/or expert Assistants/Consultants/Attorneys required by the Village throughout the development process will be billed directly to the Developer. Such fees shall be paid in a timely manner.
39. All Village fees incurred by the Village Community Development Department and/or expert Assistants/Consultants/Attorneys required by the Village throughout the development process will be billed directly to the Developer. Such fees shall be paid in a timely manner.
40. Impact fees pursuant to Chapter 181 of the Village Code are required to be paid at time of building permit for each development site.

Item L: Village staff recommends that the Plan Commission send a favorable recommendation to the Village Board to approve the **Certified Survey Map** subject to the above comments and the following conditions:

1. The changes as noted on the **attached** CSM and in the staff comments shall be made and a revised draft shall be submitted to the Village staff for review.
2. Any outstanding taxes or special assessments shall be paid in full prior to recording the CSM at the Kenosha County Register of Deeds Office.
3. The CSM shall be executed and recorded and a recorded copy provided to the Village within 30 days of Village Board approval.



Office of the Village
Fire & Rescue Chief
Doug McElmury

VILLAGE STAFF MEMORANDUM

TO: Jean Werbie-Harris, Community Development Director
FROM: Doug McElmury, Chief Fire & Rescue Department
CC: Lt. Thomas Clark, Fire & Rescue Department
Peggy Herrick, Assistant Planner, Community Development
SUBJECT: Review of the Conceptual Plan for the Re-division of Parcel 1, Prairie Ridge
Boulevard
DATE: August 10, 2013

This is a review of the Conceptual Plan for the proposed Re-division of Parcel 1, Prairie Ridge Boulevard. The plan consists of four office buildings ranging in size from 19,300 square feet to 21,500 square feet.

The Fire & Rescue Department will be responsible for providing fire prevention inspections of this facility, twice annually. The concerns of the Fire & Rescue Department are as follows:

1. **Distribution of Comments:** *the person who obtains the building permit to all Contractors and Subcontractors affected by this document shall distribute Copies of these comments. This document outlines critical times and deadlines. All recipients of this document need to become familiar with the contents.*
2. **Compliance:** A letter shall be submitted to the Fire & Rescue Department prior to receiving a building permit, stating that the project will comply with all requirements addressed within this document.
3. In the event a conflict in code(s) is identified, or a conflict with the insurance carrier criteria occurs, the more stringent shall apply. In the event this conflicts with any codes adopted by the State of Wisconsin, the owner must petition the State directly for a variance. The Owner must demonstrate that they will provide materials or design equivalent to the code or that they will exceed the code when petitioning the State and or Village when applicable.

Upon review of the plans submitted, we have the following concerns:

- Access to around all buildings must comply with the International Building Code 2009 edition.
- AED. Because of the overall size of each building the owner shall install one or more public access Automatic External Defibrillator (AED) in each building for employee use in the event of a sudden cardiac arrest. The Fire & Rescue Department can provide the training necessary to perform CPR and to operate the AED.
- Fire Alarm Control Panel: The main FACP will be placed in the fire sprinkler riser/fire

pump room of each building. Remote annunciator panel locations will need to be determined.

- Fire safety system plans, such as fire sprinkler and fire alarm plans, will need to be submitted to the State of Wisconsin Department of Safety and Professional Services and also to this fire department for review. No installation of any fire protection system is allowed until a satisfactory review is obtained from both departments.
- Fire hydrants: Not shown on the plan. Hydrants must meet the Village Ordinance of a maximum distance of 350 feet apart. Hydrants shall always be visible and accessible, in particular in any area where trailer trucks will be parked or staged.
- Elevator: All elevators must comply with Village of Pleasant Prairie Ordinance 180-20. This will include the minimum clear cab inside of five feet eight inches by seven feet 9 ½ inches.
- Severe Weather Shelter: The architect shall identify the area within the building that can be used as a “severe weather shelter” or “safe haven” during severe weather such as a tornado. That area will be identified with signage.
- Each building shall be re-evaluated each time a tenant(s) is secured.

4. **Fire and Rescue Department Review and Comments:**

A. Site and Operational Permits

- Site accessibility
- Pumper Pad
- Fire hydrant spacing

5. **Plan Review, Permits and Fees:** The plans for the fire protection underground, aboveground and fire alarm system shall be submitted for review a minimum of four (4) weeks before installation is scheduled to begin. The Village will use an independent fire safety consultant for review of all fire protection plans submitted. A satisfactory review must be completed before any permits will be issued and before construction can begin.
6. **Insurance Carrier:** The Owner of this project shall submit to the insurance carrier for review the plans for both underground water distribution and fire protection prior to construction. The Fire & Rescue Department shall receive a copy of the comments when plans are submitted for review.

7. **Each building requires the following information be submitted with the sprinkler plans for review:**

Building height:

Number of stories/floors:

Mezzanines:

Clear space:

Elevators:

Hazard class:

Commodity:

Maximum storage height:

Square footage, office space:

Exterior storage:

Fire protection:

8. **The following Fees and Permits are generated directly from the Fire & Rescue Department.**

NOTE: Permits are required from the Fire & Rescue Department for the installation of water main in addition to any permits required by other Village of Pleasant Prairie Departments.

Bulk Water

- Water Usage
- Fire Protection Plans for Underground and Aboveground
- Fire Alarm System Plans
- Kitchen Hood Systems Plans
- Occupancy Permit & Re-Inspection fees

An invoice for permit fees will be issued upon achieving a satisfactory review. Work cannot begin until all permits have been issued. A typical review turnaround is four weeks.

9. **Required Licenses:** A Wisconsin licensed fire protection contractor and Wisconsin licensed sprinkler fitters must install underground fire mains and aboveground fire protection. Periodic inspections of the job site will be made by fire inspectors to assure compliance.

10. **Pre-Construction Meeting:** A pre-construction meeting shall take place with the general contractor, the fire protection contractor, the Fire & Rescue Department and any other sub-contractor prior to the installation of any underground fire protection. The purpose of this meeting is to assure that the requirements of the State of Wisconsin that only a Wisconsin licensed sprinkler fitter shall perform the installation of all devices, etc. All parties will be asked to initial this document and or permit. Any violation of the installing requirements will be reported in writing to the State of Wisconsin Department of Safety and Professional Services.

11. **Site Access:** Access shall be provided around the perimeter of the site for all Fire Department apparatus, and must comply with the State of Wisconsin and the International Building Code, 2009 edition. A minimum wall-to-wall turning radius of 45'-0" shall be allowed for apparatus movement.
 - a. All entrances from public streets, as well as road and driveways around the proposed building must be a minimum of 30 feet wide.
 - b. All exterior exit pathways as well as access to the Fire Pump Room shall have a hard surface, leading to a hard surface.
 - c. An exterior personnel door shall be located in close proximity to each fire sprinkler riser.

12. **Sprinkler System:** The buildings shall be equipped with an "automatic fire sprinkler system". The systems shall be designed and constructed to the current edition of NFPA 13, Automatic Fire Sprinklers and the Village of Pleasant Prairie Ordinance 180-16, Automatic Fire Sprinklers.

13. **Fire Pump:** At such time a Fire Pump becomes part of a fire sprinkler system, there shall be sufficient room to maneuver within the fire pump room. There shall be direct ingress/egress from the fire pump room directly to the exterior of the building; a paved surface shall lead to the fire pump room. There shall be Emergency Lighting installed within the Fire Pump Room. The pump test header location shall comply with 180.16.

14. **Water Service:** If it is determined that the building will be serviced by a combination municipal water and fire protection main, that main must be sized by the fire protection (sprinkler) contractor. No main is allowed to travel underground, under the building.

15. **Plan Review (Underground):** A review of the underground drawings is required along with the fire protection drawings before a permit will be issued by the Fire & Rescue Department. Underground plans shall be submitted a minimum of four (4) weeks before installation begins.

16. **Standpipes:** Standpipes will only be required in storage areas. In lieu of 1.5 inch hose stations, the building shall be equipped with standpipes that shall consist of 2-1/2 inch NST valve, capable of delivering 250 GPM, at 75 PSI measured at the standpipe valve, when supplied by the fire department pumper, in the event no fire pump is needed. The standpipes shall be wet and placed adjacent to all exterior exit doors, same side as the door handle/knob. Village Ordinance 180.16 G.

17. **Fire Hydrants:** Fire hydrants shall be spaced no more than 350 feet apart around the perimeter of the building, per Village Ordinance 180-16. The insurance carrier must agree in writing to the hydrant spacing. As many hydrants as possible shall be supplied directly by municipal water. The distance from the finished grade line to the lowest discharge shall be no less than 18 inches and no more than 23 inches. The Fire Department connections shall be located, and of sufficient height where typical snow fall or snow removal operations will not obstruct access

18. **Fire Hydrant Acceptance:** This project will include the installation of water mains for domestic and fire protection use. Prior to the fire sprinkler system connection to any new water mains (including water mains, fire hydrants, laterals leading to the building and risers) must be hydrostatically tested flushed according to National Fire Protection Association (NFPA–National Fire Code) Standard 24 and witnessed by the Fire Chief and or the Chief’s representative, the installing contractor and the fire sprinkler contractor at a minimum.
19. Fire hydrant and water main flushing can be disruptive to the job site and requires significant coordination of all sub-contractors by the General Contractor. Nonetheless flushing is an essential part of assuring public safety.
20. The General Contractor is highly encouraged to coordinate the flushing of all new water mains, fire hydrants, laterals leading to the building and risers with both the sub-contractors responsible, the Village of Pleasant Prairie Engineering Department, Fire and Rescue Department and the Water Utility Department, prior to seeking a ‘clean water sample’ on this site.

NOTE: The Fire Protection Designer must meet with the Fire & Rescue Department before the underground drawings are submitted for review to finalize the placement of the hydrants.

21. **Pumper Pad:** For each building there shall be a dedicated space for a fire engine to have unobstructed access to the Pumper Pad. Both the Fire Department Sprinkler connection and the fire hydrant shall be installed remote from the building and located a minimum distance from the building equal to the highest wall. The fire hydrant shall be located no more than five (5) feet from the roadway and the Fire Department sprinkler connection shall be placed no more than five (5) feet from the fire hydrant. The Fire Department connection shall be constructed along with an underground drain with access for inspection. A guideline detail is attached and is meant to illustrate the requirements needed to meet the requirements stated in Village Ordinance 180-16.

NOTE: *The Fire Department Connection riser shall include a single five (5) inch Storz fitting with a 30 degree bend.*

22. **Bollards:** Shall be placed near fire hydrants, remote post indicator valves (PIV) and Fire Department connection(s) to prevent damage. Bollards shall be 6 inches in diameter. Bollards shall not obstruct charged fire hoses. It is recommended that the Fire Department approve the location of the bollard(s) before final placement is made.
23. **Strobe Light:** A strobe light shall be provided for each riser and installed vertically above each sprinkler water flow bell. The strobe light shall operate for a sprinkler water flow. The lens color shall be RED. The strobe light shall meet Village specifications as found in section 180-16 K of the Sprinkler Ordinance.

24. **Fire Alarm System:** The system shall be fully addressable so that detailed information will be received about the device in alarm. Utilizing a fire pull station, sprinkler water flow, or any other fire detection device that maybe installed in this building shall activate the internal fire alarm system.
- a. **Manual Fire Alarm Pull Stations:** Shall be located at a minimum, immediately adjacent to each exterior door. Any additional exterior doors will be required to meet this requirement. The pull station shall not be placed in the area of the door, but immediately adjacent to the door jamb.
 - b. **Pull Stations and Audiovisual Alarms:** Shall be installed per ADA requirements.
 - c. **Smoke and Heat Detection:** Shall be installed as required.
 - d. **Tamper Switches:** Tamper switches shall be placed on all sprinkler valves and be identified on the annunciator panel.
 - e. **Fire Alarm Control Panel: Shall be addressable.** The annunciator panel type shall be approved by the Fire & Rescue Department. The Fire Alarm Control Panel shall be located within the Fire Pump Room. The panel shall identify a fire sprinkler water flow by riser, and the specific locations of the fire alarm pull stations and any other fire detection devices that may be installed in this building.
 - f. **Annunciator Panel: Shall be addressable.** The annunciator panel type shall be approved by the Fire and Rescue Department. The panel shall identify a fire sprinkler water flow by riser, and the specific locations of the fire alarm pull stations and any other fire detection devices that may be installed in this building.
 - g. **Central Station:** The Fire Alarm Control Panel shall transmit all fire alarm, tamper, trouble and supervisory signals to a central station that is certified by Underwriters Laboratories (UL) and/or Factory Mutual (FM) and approved by the Fire & Rescue Department. The owner shall provide such documentation for approval. It is recommended that the owner consult with the Fire & Rescue Department prior to signing any contracts with the Central station.
 - 1) The central station shall be provided with this information regarding the geographical location of this alarm:

Village of Pleasant Prairie, County of Kenosha, State of Wisconsin

Fire:	Pleasant Prairie Fire & Rescue
Medical:	Pleasant Prairie Fire & Rescue

Phone numbers:	
Emergency:	(262) 694-1402
Non-emergency:	(262) 694-7105
Business:	(262) 694-8027

25. **Knox Box:** Knox Boxes shall be provided for each building, a determination of the exact number required will need to be made during the pre-construction meeting. The Knox Boxes shall be Model 4400. Two sets of all keys (Master, fire alarm pull station, annunciator, elevator, etc.) shall be placed within the box, as well as a copy of the pre-fire plan.
26. **MSDS Knox Box:** A minimum of One (1) Knox Box(s) designed for Material Safety Data Sheet storage shall be provided for each tenant to contain the data sheets on all products that are considered hazardous within the facility. The MSDS Box(s) shall be installed within the Riser/Fire Pump Room.
27. **Fire Extinguishers:** Shall meet NFPA 10 (Portable Fire Extinguishers) for the specific use of the building and be in sufficient number. Final approval, of fire extinguisher locations and quantity, will not be given until occupancy is taken, to see how a tenant furnishes the space. The company providing the fire extinguishers shall submit a letter to the Fire & Rescue Department stating the locations and size of the extinguishers are in compliance with NFPA 10.
28. **Emergency and Exit Lighting:** Exit and Emergency Lighting shall be provided and shall have battery backup. Combination units are acceptable and recommended. An Emergency Generator eliminates the need for battery backup. Exit and Emergency Lighting shall not be placed on electrical circuits that cannot be disturbed or interrupted, this is for test purposes. These circuits shall be clearly labeled. The Fire & Rescue Department will evaluate this lighting prior to occupancy during the evening hours after sunset. An Emergency light shall be placed within the fire pump room. Emergency and Exit lighting will be inspected after sunset to assure it is adequate and meets the Code.
29. **Final Inspection:** The General Contractor shall provide the following documentation at the time the Final Inspection takes place and before a building occupancy certificate will be issued.
 - a. The fire protection contractor shall provide the owner with a letter (upon completion of the sprinkler work) stating the sprinkler system, or portion thereof, is "100% operational and built according to the design", Village Ordinance, 180-16 N.
 - b. Copy of contract with fire alarm central monitoring station.
 - c. Copy of UL and/or FM certificate(s) for the fire alarm central monitoring station.
 - d. Copies of the fire protection underground flushing documents.
 - e. Copies of the underground and fire sprinkler hydrostatic test certificates.
 - f. Copies of the fire sprinkler operational test certificates.
 - g. Copies of the fire alarm test documents.
 - h. Copies of other test documents such as, hood/duct, smoke, etc...
 - i. The Pleasant Prairie Fire and Rescue Department shall have all information needed for our pre-fire plan prior to occupancy.
 - j. Provide two- (2) CD's, one for the property owner and one for the Fire & Rescue Department. The disks shall include all Floor plans and fire protection plans for the building in an as-built condition.

- k. Severe Weather Shelter: The architect shall provide for both the Owner and the Fire & Rescue Department the area within the building that can be used as a “severe weather shelter” or “safe haven” during severe weather such as a tornado.
 - l. Maps of the fire alarm and fire sprinkler system shall be placed in the fire pump room, near the fire alarm control panel; the maps shall be hung on the wall, with a waterproof covering and accessible to firefighters wearing bulky clothes and equipment.
 - m. AED, in place at such time a tenant takes occupancy.
 - n. A copy of the tenants Emergency Plan must be submitted to the Fire & Rescue Department before occupancy.
 - o. Occupancy inspection fee and re-inspection fee will be assessed at the final inspection in accordance with ordinance 180-17.
30. **Occupancy:** All fire and life safety requirements must be in place prior to any building being occupied.

**VILLAGE OF PLEASANT PRAIRIE PLAN COMMISSION
RESOLUTION #13-09**

**TO AMEND THE VILLAGE OF PLEASANT PRAIRIE, WISCONSIN
2035 COMPREHENSIVE PLAN**

WHEREAS, on December 19, 2009 the Village Board adopted the *Village of Pleasant Prairie, Wisconsin 2035 Comprehensive Plan* (Comprehensive Plan); and

WHEREAS, on September 2 2011, Wetland and Waterway Consulting conducted a wetland staking on the property generally located between 88th and 91st Avenues and 76th Street and Prairie Ridge Blvd within the Prairie Ridge development in the Village of Pleasant Prairie known as Parcel 1 of CSM 2175 and further identified as Tax Parcel Number 91-4-122-081-0131; and

WHEREAS, SB1 Pleasant Prairie WI, LLC, the current property owner requested to correct and amend the Village of Pleasant Prairie 2035 Comprehensive Land Use Plan Map 9.9 to accurately reflect the location of the wetlands on said property as shown on **Exhibit 1**; and

WHEREAS, on August 9, 2013 the required 30-day notice was published in the Kenosha News for the September 9, 2013 public hearing held by the Village Plan Commission and on August 9, 2013, notices were sent to property owners within 300 feet of the subject property.

NOW THEREFORE, BE IT RESOLVED, that pursuant to Sections 62.23 (3) (b) and 66.1001 (4) (b) of the Wisconsin Statutes, the Village of Pleasant Prairie Plan Commission hereby approves the following amendments to the Village of Pleasant Prairie, Wisconsin 2035 Comprehensive Plan as presented at the September 9, 2013 public hearing:

1. To amend the 2035 Land Use Plan to correctly identify the field delineated wetlands as shown on **Exhibit 1** by placing the field delineated wetlands into the Park, Recreational and Other Open Space Lands with a field verified wetland land use designation.
2. To update Appendix 10-3 of the Village of Pleasant Prairie Wisconsin, 2035 Comprehensive Plan to include said amendment.

BE IT FURTHER RESOLVED that the Plan Commission does hereby recommend that the Village Board enact an Ordinance adopting the amendments, as referenced above, to the *Village of Pleasant Prairie 2035 Comprehensive Plan*.

Adopted this 9th day of September 2013.

VILLAGE OF PLEASANT PRAIRIE

ATTEST:

Donald Hackbarth
Secretary

Thomas W. Terwall
Plan Commission Chairman

Date Posted: _____

ORD. # 13-

**ORDINANCE TO AMEND THE OFFICIAL ZONING MAP
OF THE VILLAGE OF PLEASANT PRAIRIE,
KENOSHA COUNTY, WISCONSIN
PURSUANT TO CHAPTER 420-13 OF THE VILLAGE ZONING ORDINANCE**

**BE IT ORDAINED by the Village of Pleasant Prairie Board of Trustees,
Kenosha County, Wisconsin, that the Official Village Zoning Map is hereby amended
as follows:**

The subject property is generally located between 88th and 91st Avenues and 76th Street and Prairie Ridge Blvd. within the Prairie Ridge development and known as Lot 1 of CSM 2175 located in U.S. Public Land Survey Section 8, Township 1 North, Range 22 East in the Village of Pleasant Prairie and further identified as Tax Parcel Number 91-4-122-081-0131 is hereby rezoned as follows: 1) the field delineated wetlands as shown and legally described on **Exhibit 1** are rezoned into the C-1, Lowland Resource Conservancy District and the non-wetland on the property will remain in the B-2, Community Business District and the entire property will remain in the PUD, Planned Unit Development Overlay District.

The Village Zoning Administrator is hereby directed to record this Zoning Map Amendment on the appropriate sheet of the Official Village Zoning Map and Appendix B in Chapter 420 of the Village Municipal Code shall be updated to include said amendments.

Adopted this ____ day of _____, 2013.

VILLAGE BOARD OF TRUSTEES

John P. Steinbrink
Village President

ATTEST:

Jane M. Romanowski
Village Clerk

Posted: _____

___ SB1 wetland.doc

WETLAND 1

Part of Lot 1, of Certified Survey Map No. 2175, a redivision of Outlot 17 in Pleasant Prairie, a recorded subdivision being part of the Northeast 1/4 of the Northeast 1/4 of Section 8, Township 1 North, Range 22 East, in the Village of Pleasant Prairie, Kenosha County, Wisconsin described as follows: Commence at a point on the East line of said Northeast 1/4 located S02°59'24"E 675.67 feet from the Northeast corner of said Section; thence S87°10'02"W 59.75 feet to a point on the West right-of-way of C.T.H. "H" (88th Avenue); thence S02°59'24"E 34.70 feet along said West right-of-way to the point of beginning of this description; run thence S87°39'16"W 57.31 feet; thence S58°02'12"W 39.73 feet; thence S49°03'25"W 45.53 feet; thence S43°52'40"W 38.11 feet; thence S24°47'46"W 32.02 feet; thence S00°50'50"E 28.33 feet; thence S17°57'58"E 16.76 feet; thence S45°06'52"E 25.72 feet; thence N48°16'30"E 3.34 feet; thence S68°27'15"E 72.89 feet; thence S60°31'39"E 72.06 feet; thence S30°00'41"E 8.82 feet; thence S78°29'48"E 2.82 feet; thence S72°51'54"E 7.57 feet; thence N69°30'02"E 6.96 feet to said West right-of-way; thence N02°59'24"W 240.49 feet along said West right-of-way to the point of beginning. Containing 28,740 S.F.

WETLAND 2

Part of Lot 1, of Certified Survey Map No. 2175, a redivision of Outlot 17 in Pleasant Prairie, a recorded subdivision being part of the Northeast 1/4 of the Northeast 1/4 of Section 8, Township 1 North, Range 22 East, in the Village of Pleasant Prairie, Kenosha County, Wisconsin described as follows: Commence at a point on the East line of said Northeast 1/4 located S02°59'24"E 675.67 feet from the Northeast corner of said Section; thence S87°10'02"W 429.48 feet along the South right-of-way of 76th Street to the point of curvature of a curve of Southerly convexity whose radius is 333.00 feet and whose chord bears N78°13'37"W 167.94 feet; thence Westerly 169.78 feet along the arc of said curve and said South right-of-way; thence S07°44'14"W 218.05 feet to the point of beginning of this description; run thence S41°25'51"W 30.12 feet; thence S11°25'17"W 19.44 feet; thence S03°06'18"E 25.24 feet; thence S00°50'29"W 31.28 feet; thence S41°58'19"E 32.63 feet; thence S65°54'40"E 30.42 feet; thence N80°04'09"E 46.92 feet; thence N60°42'38"E 41.94 feet; thence N42°35'36"E 32.08 feet; thence N09°28'26"E 35.60 feet; thence N17°22'25"W 39.17 feet; thence N58°03'46"W 33.49 feet; thence S79°27'48"W 39.05 feet; thence S89°30'22"W 58.57 feet to the point of beginning. Containing 18,197 S.F.

The wetlands were delineated by Wetland & Waterway Consulting, LLC. and field located by Trio Engineering. The map hereon drawn is a correct representation thereof to the best of my knowledge and belief.

Mark R. Madsen

Mark R. Madsen, S-2271
July 26, 2013



Nielsen Madsen & Barber S.C.
Civil Engineers and Land Surveyors

1458 Horizon Blvd. Suite 200, Racine, Wisconsin 53406
Phone (262) 634-5588 * Facsimile (262) 634-5024 * Website nmbcsc.net

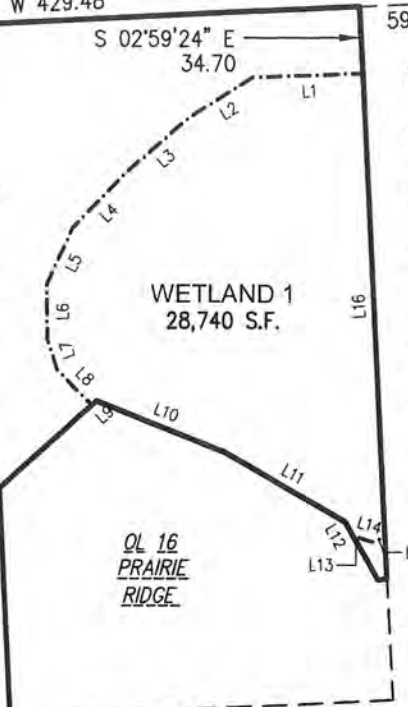


PARCEL 2 CSM 2175

WETLAND NOTE

WETLANDS WERE DELINEATED BY WETLAND & WATERWAY CONSULTING, LLC. ON SEPTEMBER 2, 2011 AND FIELD LOCATED BY TRIO ENGINEERING ON SEPTEMBER 9, 2011.

PARCEL 1 CSM 2175



91ST AVENUE

PRAIRIE

RIDGE

76TH STREET

CTH H (88TH AVENUE)

BLVD.

Exhibit 1

NE CORNER SEC. 8-1-22

S 02°59'24" E 675.67

Wetland 1 Line Table		
Line #	Length	Direction
L1	57.31	S87° 39' 16"W
L2	39.73	S58° 02' 12"W
L3	45.53	S49° 03' 25"W
L4	38.11	S43° 52' 40"W
L5	32.02	S24° 47' 46"W
L6	28.33	S00° 50' 50"E
L7	16.76	S17° 57' 58"E
L8	25.72	S45° 06' 52"E
L9	3.34	N48° 16' 30"E
L10	72.89	S68° 27' 15"E
L11	72.06	S60° 31' 39"E
L12	8.82	S30° 00' 41"E
L13	2.82	S78° 29' 48"E
L14	7.57	S72° 51' 54"E
L15	6.96	N69° 30' 02"E
L16	240.49	N02° 59' 24"W

Wetland 2 Line Table		
Line #	Length	Direction
L17	30.12	S41° 25' 51"W
L18	19.44	S11° 25' 17"W
L19	25.24	S03° 06' 18"E
L20	31.28	S00° 50' 29"W
L21	32.63	S41° 58' 19"E
L22	30.42	S65° 54' 40"E
L23	46.92	N80° 04' 09"E
L24	41.94	N60° 42' 38"E
L25	32.08	N42° 35' 36"E
L26	35.60	N09° 28' 26"E
L27	39.17	N17° 22' 25"W
L28	33.49	N58° 03' 46"W
L29	39.05	S79° 27' 48"W
L30	58.57	S89° 30' 22"W

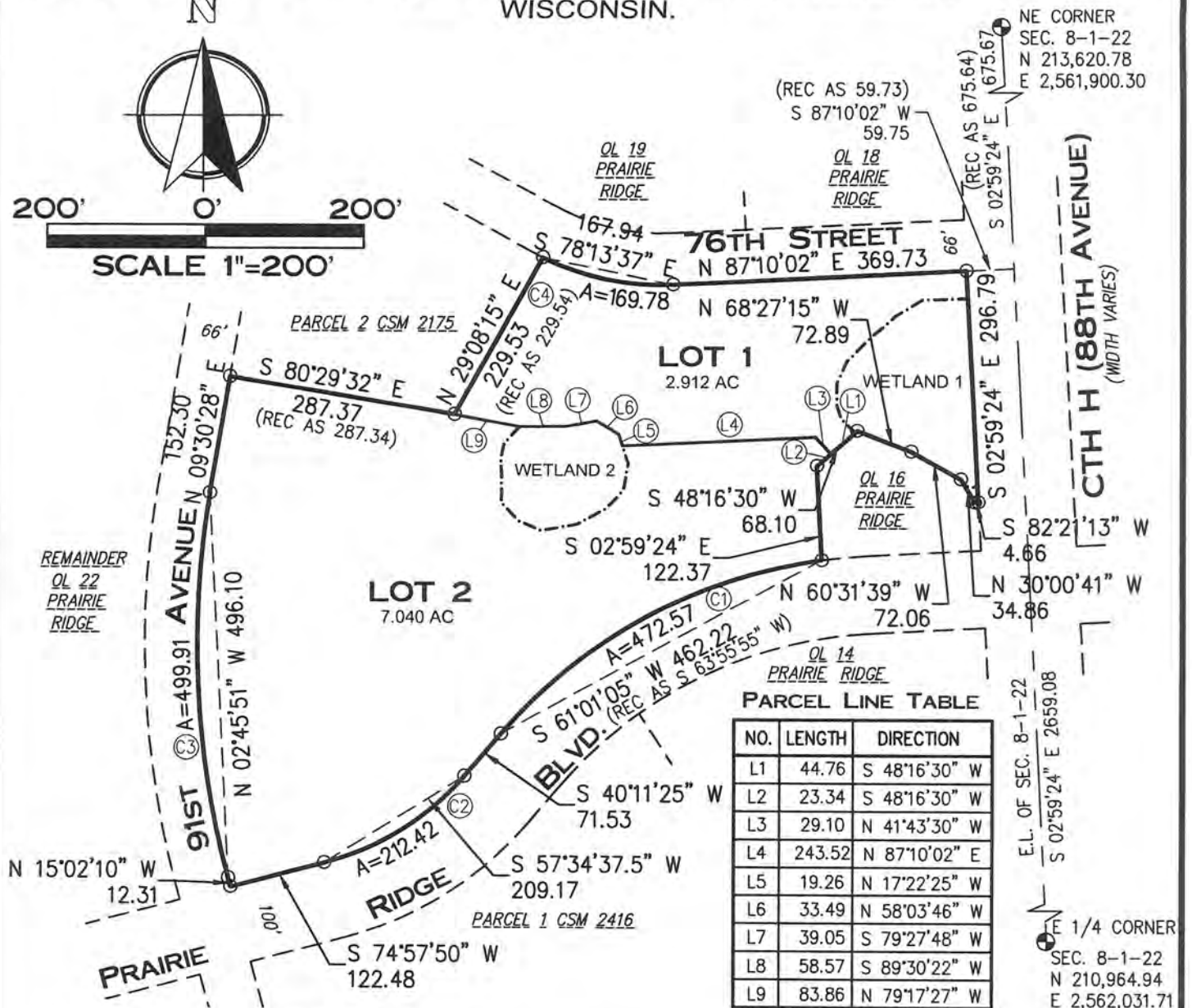
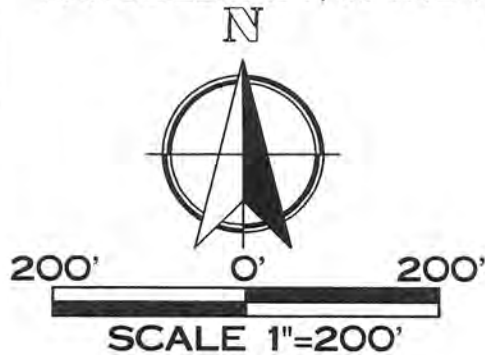
RECEIVED
JUL 26 2013

Village of Pleasant Prairie

Scale: 1" = 100'
Drawn By: SCB
DATE: 7-26-2013
2013.0057.01
Wetland Rezoning
Exhibit
Pleasant Prairie, Wisconsin

CERTIFIED SURVEY MAP NO. _____

A REDIVISION OF PARCEL 1 OF CERTIFIED SURVEY MAP NO. 2175 BEING PART OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 8, TOWNSHIP 1 NORTH, RANGE 22 EAST, IN THE VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN.



PARCEL LINE TABLE

NO.	LENGTH	DIRECTION
L1	44.76	S 48°16'30" W
L2	23.34	S 48°16'30" W
L3	29.10	N 41°43'30" W
L4	243.52	N 87°10'02" E
L5	19.26	N 17°22'25" W
L6	33.49	N 58°03'46" W
L7	39.05	S 79°27'48" W
L8	58.57	S 89°30'22" W
L9	83.86	N 79°17'27" W

CURVE TABLE

NO.	ARC.	RADIUS	CENTRAL ANGLE	CHORD BEARING	CHORD	TANGENT
C1	472.57	650.00	41°39'20"	S 61°01'05" W	462.22	247.27
C2	212.42	350.00	34°46'25"	S 57°34'37.5" W	209.17	109.59
C3	499.91	1167.00	24°32'38"	N 02°45'51" W	496.10	253.85
C4	169.78	333.00	29°12'42"	S 78°13'37" E	167.94	86.78

LOCATION MAP
STH 50 (75TH ST)



NE 1/4 SECTION 8-1-22



Mark R. Madsen
7-26-13

NOTES:

ZONING OF PARCELS IS B-2 (PUD) *and C1(PUD)*

OWNER/LAND SPLITTER: SB1 PLEASANT PRAIRIE WI, LLC
ADDRESS 591 WEST PUTNAM AVENUE
GREENWICH, CT 06830

SURVEYOR: NIELSEN MADSEN & BARBER, S.C.
1458 HORIZON BLVD. SUITE 200, RACINE, WI 53406

ALL ELEVATIONS REFER TO NATIONAL GEODETIC DATUM OF 1929.

BEARINGS BASE: GRID NORTH, WISCONSIN COORDINATE SYSTEM, SOUTH ZONE. BASED UPON NAD 1927. THE EAST LINE OF SECTION 8-1-22 IS ASSUMED TO BEAR S 02°59'24" E.

LEGEND:

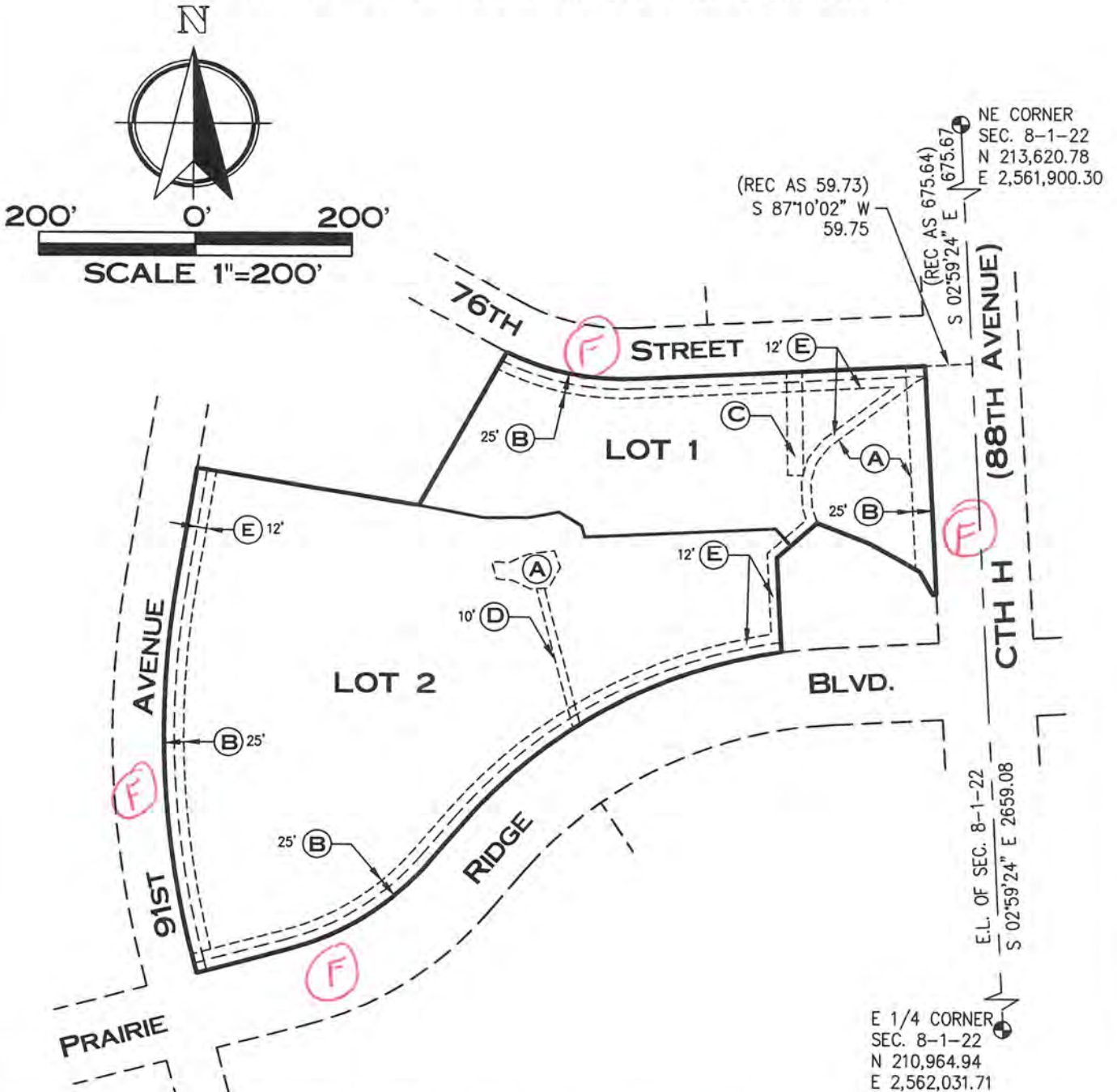
- 1" O.D. IRON PIPE FOUND
- 1.315" O.D.x18" IP - 1.68LBS/LIN FT. SET
- ⊕ 6" CONC. MON. W / BRASS CAP FOUND

Date: July 26, 2013
This Instrument was drafted by Mark R. Madsen
PROJECT ID: 2013.0057.01.DWG

CERTIFIED SURVEY MAP NO. _____

A REDIVISION OF PARCEL 1 OF CERTIFIED SURVEY MAP NO. 2175 BEING PART OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 8, TOWNSHIP 1 NORTH, RANGE 22 EAST, IN THE VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN.

EASEMENT & RESTRICTION CARRYOVER FROM PRAIRIE RIDGE SUBDIVISION & CSM 2175



- (A) DEDICATED WETLAND CONSERVANCY AREA EASEMENT AND RESTRICTED WETLAND CONSERVANCY AREA (SUBJECT TO A RESTRICTIVE COVENANT RUNNING WITH THE LAND). (AS DESCRIBED ON THE FINAL PLAT FOR PRAIRIE RIDGE)
- (B) 25' WIDE DEDICATED PLANTING AND LANDSCAPE EASEMENT AND RESTRICTED PLANTING, LANDSCAPE AND VEHICLE NON-ACCESS AREA, EXCEPT AS OTHERWISE AGREED TO BY THE VILLAGE OF PLEASANT PRAIRIE. (SUBJECT TO A RESTRICTIVE COVENANT RUNNING WITH THE LAND). (AS DESCRIBED ON THE FINAL PLAT FOR PRAIRIE RIDGE)
- (C) DEDICATED PUBLIC STORM SEWER EASEMENT. (AS DESCRIBED ON THE FINAL PLAT FOR PRAIRIE RIDGE)
- (D) DEDICATED ACCESS AND MAINTENANCE EASEMENT. (AS DESCRIBED ON THE FINAL PLAT FOR PRAIRIE RIDGE)
- (E) DEDICATED UTILITY EASEMENT AREAS GRANTED TO WISCONSIN ELECTRIC POWER COMPANY, AMERITECH AND TIME WARNER CABLE. (AS DESCRIBED ON THE FINAL PLAT FOR PRAIRIE RIDGE)

(F) Dedicated Public Street



Mark R. Madsen
7-26-13

Date: July 26, 2013
This Instrument was drafted by Mark R. Madsen
PROJECT ID: 2013.0057.01.DWG

CERTIFIED SURVEY MAP NO. _____

A REDIVISION OF PARCEL 1 OF CERTIFIED SURVEY MAP NO. 2175 BEING PART OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 8, TOWNSHIP 1 NORTH, RANGE 22 EAST, IN THE VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN.

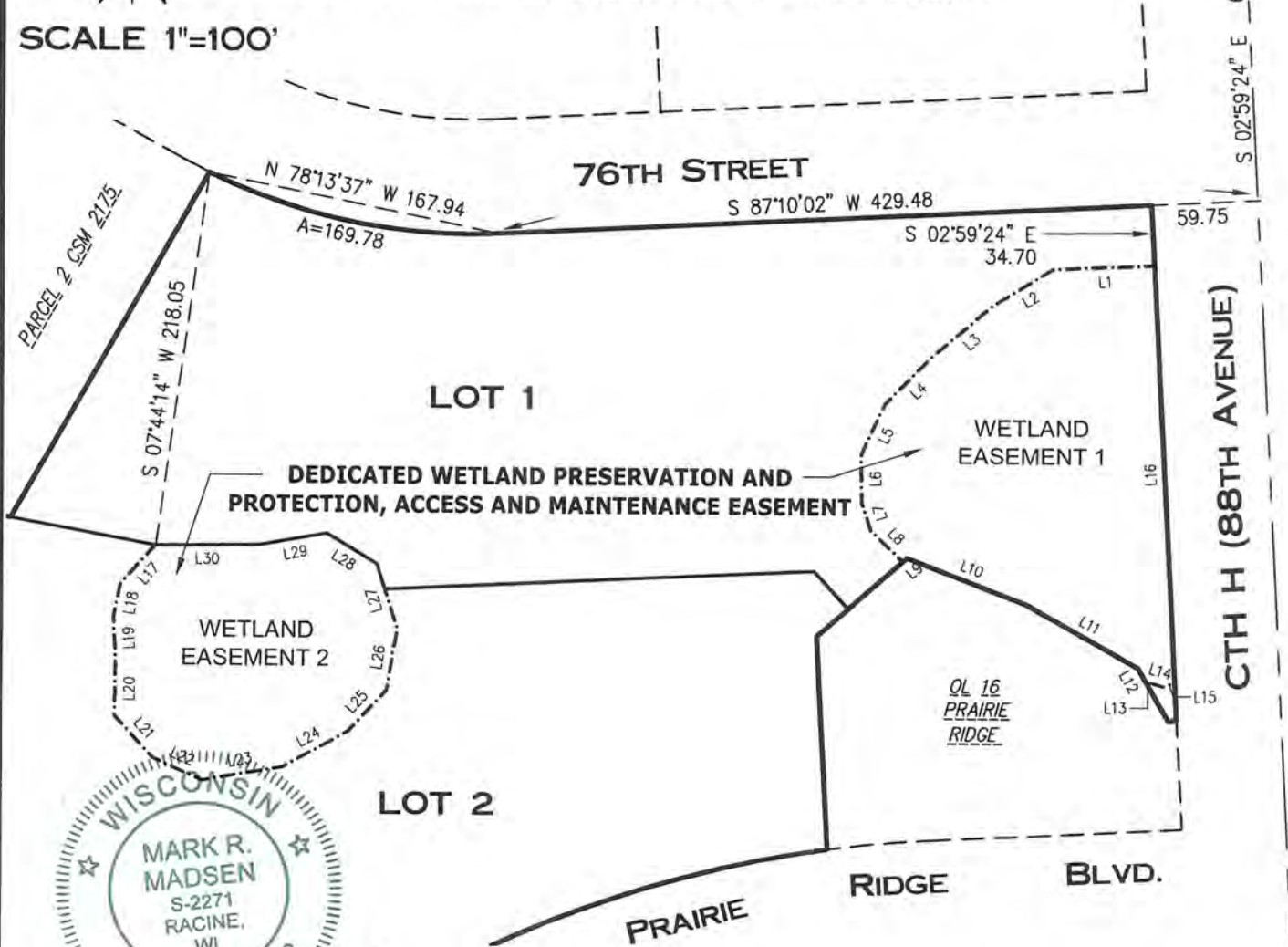


DEDICATIONS AND EASEMENTS

WETLANDS WERE DELINEATED BY WETLAND & WATERWAY CONSULTING, LLC. ON SEPTEMBER 2, 2011 AND FIELD LOCATED BY TRIO ENGINEERING ON SEPTEMBER 9, 2011.

NE CORNER
SEC. 8-1-22
N 213,620.78
E 2,561,900.30

SCALE 1"=100'



Nonexclusive easements coextensive within the areas shown on this CSM as **Dedicated Wetland Preservation and Protection, Access and Maintenance Easement** areas are hereby dedicated, given, granted and conveyed by the Owner to the Village for wetland conservancy preservation, protection, and maintenance purposes and uses and for related ingress and egress. Unless the Village exercises the rights granted to it pursuant to these Easements, the Village shall have no obligation to do anything related to its rights under these easements.

The Owner hereby covenants that the Lot 1 ^{and Lot 2} Owner shall have the obligation of protecting and preserving the **Dedicated Wetland Preservation and Protection, Access and Maintenance Easement** areas shown on this CSM. Such maintenance shall include without limitation and as needed removing of dead, dying or decayed trees, plant material or evasive species, planting of wetland plant life as approved by the Village and the Wisconsin Department of Natural Resources, and removing of trash or debris in order to prevent a nuisance condition. No mowing or cutting of the wetlands shall be allowed unless expressly approved by the Village. No signage or fences shall be erected within the wetlands, which may damage the wetland areas. This covenant shall run with the land, shall be binding upon the Owner, its successors and assigns and successors-in-title of the land, in their capacity as the Owner of Lot 1, and shall benefit and be enforceable by the Village. The Owner shall perform such maintenance as may be needed, without compensation, and to the satisfaction of the Village.

To the extent that the Village performs any such wetland related maintenance activities, the Owners shall be liable for any costs which may be incurred by the Village, which the Village may recover from such Owner as special assessments or special charges under Section 66.0627 (or successors or similar provisions) of the Wisconsin Statutes or otherwise according to law. Unless the Village exercises the rights granted to it in the Dedications and Easement Provisions on this CSM, the Village shall have no obligation to do anything pursuant to its rights under these easement dedications.

Date: July 26, 2013
This Instrument was drafted by Mark R. Madsen
PROJECT ID: 2013.0057.01.DWG

CERTIFIED SURVEY MAP NO. _____

A REDIVISION OF PARCEL 1 OF CERTIFIED SURVEY MAP NO. 2175 BEING PART OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 8, TOWNSHIP 1 NORTH, RANGE 22 EAST, IN THE VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN.

DEDICATIONS AND EASEMENTS

WETLAND EASEMENT 1 LEGAL DESCRIPTION

Part of Lot 1, of Certified Survey Map No. 2175, being part of the Northeast 1/4 of the Northeast 1/4 of Section 8, Township 1 North, Range 22 East, in the Village of Pleasant Prairie, Kenosha County, Wisconsin described as follows: Commence at a point on the East line of said Northeast 1/4 located S02°59'24"E 675.67 feet from the Northeast corner of said Section; thence S87°10'02"W 59.75 feet to a point on the West right-of-way of C.T.H. "H" (88th Avenue); thence S02°59'24"E 34.70 feet along said West right-of-way to the point of beginning of this description; run thence S87°39'16"W 57.31 feet; thence S58°02'12"W 39.73 feet; thence S49°03'25"W 45.53 feet; thence S43°52'40"W 38.11 feet; thence S24°47'46"W 32.02 feet; thence S00°50'50"E 28.33 feet; thence S17°57'58"E 16.76 feet; thence S45°06'52"E 25.72 feet; thence N48°16'30"E 3.34 feet; thence S68°27'15"E 72.89 feet; thence S60°31'39"E 72.06 feet; thence S30°00'41"E 8.82 feet; thence S78°29'48"E 2.82 feet; thence S72°51'54"E 7.57 feet; thence N69°30'02"E 6.96 feet to said West right-of-way; thence N02°59'24"W 240.49 feet along said West right-of-way to the point of beginning.
Containing 28,740 S.F.

WETLAND EASEMENT 2 LEGAL DESCRIPTION

Part of Lot 1, of Certified Survey Map No. 2175, being part of the Northeast 1/4 of the Northeast 1/4 of Section 8, Township 1 North, Range 22 East, in the Village of Pleasant Prairie, Kenosha County, Wisconsin described as follows: Commence at a point on the East line of said Northeast 1/4 located S02°59'24"E 675.67 feet from the Northeast corner of said Section; thence S87°10'02"W 429.48 feet along the South right-of-way of 76th Street to the point of curvature of a curve of Southerly convexity whose radius is 333.00 feet and whose chord bears N78°13'37"W 167.94 feet; thence Westerly 169.78 feet along the arc of said curve and said South right-of-way; thence S07°44'14"W 218.05 feet to the point of beginning of this description; run thence S41°25'51"W 30.12 feet; thence S11°25'17"W 19.44 feet; thence S03°06'18"E 25.24 feet; thence S00°50'29"W 31.28 feet; thence S41°58'19"E 32.63 feet; thence S65°54'40"E 30.42 feet; thence N80°04'09"E 46.92 feet; thence N60°42'38"E 41.94 feet; thence N42°35'36"E 32.08 feet; thence N09°28'26"E 35.60 feet; thence N17°22'25"W 39.17 feet; thence N58°03'46"W 33.49 feet; thence S79°27'48"W 39.05 feet; thence S89°30'22"W 58.57 feet to the point of beginning.
Containing 18,197 S.F.

Wetland 1 Line Table		
Line #	Length	Direction
L1	57.31	S87° 39' 16"W
L2	39.73	S58° 02' 12"W
L3	45.53	S49° 03' 25"W
L4	38.11	S43° 52' 40"W
L5	32.02	S24° 47' 46"W
L6	28.33	S00° 50' 50"E
L7	16.76	S17° 57' 58"E
L8	25.72	S45° 06' 52"E
L9	3.34	N48° 16' 30"E
L10	72.89	S68° 27' 15"E
L11	72.06	S60° 31' 39"E
L12	8.82	S30° 00' 41"E
L13	2.82	S78° 29' 48"E
L14	7.57	S72° 51' 54"E
L15	6.96	N69° 30' 02"E
L16	240.49	N02° 59' 24"W

Wetland 2 Line Table		
Line #	Length	Direction
L17	30.12	S41° 25' 51"W
L18	19.44	S11° 25' 17"W
L19	25.24	S03° 06' 18"E
L20	31.28	S00° 50' 29"W
L21	32.63	S41° 58' 19"E
L22	30.42	S65° 54' 40"E
L23	46.92	N80° 04' 09"E
L24	41.94	N60° 42' 38"E
L25	32.08	N42° 35' 36"E
L26	35.60	N09° 28' 26"E
L27	39.17	N17° 22' 25"W
L28	33.49	N58° 03' 46"W
L29	39.05	S79° 27' 48"W
L30	58.57	S89° 30' 22"W

WETLAND NOTE

WETLANDS WERE DELINEATED BY WETLAND & WATERWAY CONSULTING, LLC. ON SEPTEMBER 2, 2011 AND FIELD LOCATED BY TRIO ENGINEERING ON SEPTEMBER 9, 2011.



Mark R. Madsen
7-26-13

CERTIFIED SURVEY MAP NO. _____

A REDIVISION OF PARCEL 1 OF CERTIFIED SURVEY MAP NO. 2175 BEING PART OF
THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 8, TOWNSHIP 1 NORTH,
RANGE 22 EAST, IN THE VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY,
SURVEYOR'S CERTIFICATE WISCONSIN.

I, MARK R. MADSEN, Registered Land Surveyor, hereby certify:

THAT I have prepared this Certified Survey Map at the direction of the OWNERS; THAT the exterior boundaries are described as The redivision of Parcel 1, of Certified Survey Map No. 2175, being part of the Northeast 1/4 of the Northeast 1/4 of Section 8, Township 1 North, Range 22 East, in the Village of Pleasant Prairie, Kenosha County, Wisconsin described as follows: Commence at a point on the East line of said Northeast 1/4 located S02°59'24"E 675.67 feet from the Northeast corner of said Section; thence S87°10'02"W 59.75 feet to a point on the West right-of-way of C.T.H. "H" (88th Avenue) and the point of beginning of this description; run thence S02°59'24"E 296.79 feet along said West right-of-way; thence S82°21'13"W 4.66 feet; thence N30°00'41"W 34.86 feet; thence N60°31'39"W 72.06 feet; thence N68°27'15"W 72.89 feet; thence S48°16'30"W 68.10 feet; thence S02°59'24"E 122.37 feet to the Southwest corner of Outlot 16, Prairie Ridge Subdivision, a recorded plat and the Northerly right-of-way of Prairie Ridge Boulevard and a point on a curve of Northwesterly convexity whose radius is 650.00 feet and whose chord bears S61°01'05"W 462.22 feet; thence Southwesterly 472.57 feet along the arc of said curve and said Northerly right-of-way; thence S40°11'25"W 71.53 feet along said Northerly right-of-way to the point of curvature of a curve of Southeasterly convexity whose radius is 350.00 feet and whose chord bears S57°34'37.5"W 209.17 feet; thence Southwesterly 212.42 feet along the arc of said curve and said Northerly right-of-way; thence S74°57'50"W 122.48 feet along said Northerly right-of-way to the East right-of-way of 91st Avenue; thence N15°02'10"W 12.31 feet along said East right-of-way to the point of curvature of a curve of Westerly convexity whose radius is 1167.00 feet and whose chord bears N02°45'51"W 496.10 feet; thence Northerly 499.91 feet along the arc of said curve and said East right-of-way; thence N09°30'28"E 152.30 feet along said East right-of-way to the Southwest corner of Parcel 2 of said Certified Survey Map No. 2175; thence S80°29'32"E 287.37 feet along the South line of said Parcel 2 to the Southeast corner of said Parcel 2; thence N29°08'15"E 229.53 feet along the East line of said Parcel 2 to the South right-of-way of 76th Street and a point on a curve of Southerly convexity whose radius is 333.00 feet and whose chord bears S78°13'37"E 167.94 feet; thence Easterly 169.78 feet along the arc of said curve and said South right-of-way; thence N87°10'02"E 369.73 feet along said South right-of-way to the point of beginning. Containing 9.952 acres.

THAT said Certified Survey Map is a correct representation of all of the exterior boundaries of the land surveyed and the division thereof made and I have fully complied with the provisions of Chapter 236.34 of the Wisconsin Statutes and the Village of Pleasant Prairie Land Division and Development Control Ordinance.

July 26, 2013



Mark R. Madsen, S-2271
Nielsen Madsen & Barber, S.C.
1458 Horizon Blvd., Suite 200
Racine, WI 53406
(262) 634-5588



OWNER'S CERTIFICATE OF DEDICATION

SB1 Pleasant Prairie WI, LLC, as Owner does hereby certified that it caused the land described on this Certified Survey Map to be surveyed, divided, mapped and dedicated as represented on this Certified Survey Map and does further certify that this Certified Survey Map is required by s.236.34 to be submitted to the following for approval or objection: Village of Pleasant Prairie.

SB1 PLEASANT PRAIRIE WI, LLC

Signed: _____

Print Name: _____

Title: _____

IN WITNESS WHEREOF, this ____ day of _____, 2013.

Witness: _____

Date: July 26, 2013

This Instrument was drafted by Mark R. Madsen

PROJECT ID: 2013.0057.01.DWG



Nielsen Madsen & Barber S.C.
Civil Engineers and Land Surveyors

RECEIVED
JUL 26 2013

Village of Pleasant Prairie

July 26, 2013

Jean Werbie-Harris
Village of Pleasant Prairie
9915 – 39th Avenue
Pleasant Prairie, WI 53158

Re: Re-division of Parcel 1, Certified Survey Map 2175
Former Outlot 17 – Prairie Ridge Subdivision
Southwest Corner of 88th Avenue & 76th Street
File No. 2013.0057.01

Dear Jean:

Attached please find ten (10) full size copies and one 11"x17" copy of the following documents for review and consideration by the Plan Commission and Village Board:

1. Conceptual Plan,
2. Certified Survey Map (CSM) and
3. Wetland Rezoning drawing.

The fully executed applications and a check for the application fees will be dropped off at your office early next week.

A brief description of the proposed land division is as follows:

- Lot 1 of the pending CSM is being created so it can be sold for future development as a professional office building. The proposed purchaser does not have any specific building plans or a proposed timeframe for development at this time.
- Since there are no specific building plans, we are not proposing any new easements or restrictions within the new parcel(s) other than the wetland protection and preservation easement.
- The proposed conceptual plan consists of five (5) professional office buildings with the original Outlot 17.
- We are formally requesting that the Village's Comprehensive Land Use Plan be updated to reflect the recently delineated wetlands.



Ms. Jean Werbie - Harris
RE: Former Outlot 17 – Prairie Ridge Subdivision
July 26, 2013
Page 2

Please invoice the applicant for the Village's actual staff time spent processing this request.

We are requesting that these items be placed on the August 18th Plan Commission meeting agenda for consideration.

Please review and call or email with any questions.

Sincerely,



Mark D. Eberle, P.E.

MDE/kmw

Enclosures

Cc: David Galowich

File: G:/2013/2013.005701/Correspondence/Application Submittal – VPP (7-26-13)

July 29, 2013



VIA FEDEX

Ms. Peggy Herrick
Ms. Jean Werbie-Harris
Village of Pleasant Prairie
9915 39th Avenue
Pleasant Prairie, WI 53158



RE: Prairie Ridge Commercial Lot 17

Dear Peggy and Jean:


Enclosed please find the following:

- Conceptual Plan Application
- Certified Survey Map Application
- Predevelopment Agreement
- Zoning Map and Tax Amendment Application
- Check made payable to the Village of Pleasant Prairie in the amount of \$1,500

I understand that Mark Eberle delivered to you all the required copies of the drawings last week. It is our hope that we will be placed on the Plan Commission agenda for September 9 and the Village Board for September 16. Please let me know if there are any problems or this is not possible.

Very truly yours,

MADISON REALTY GROUP, INC.

By: 

David H. Galowich

Its: President

DHG:bs

enclosures

cc (via email): Mark Eberle
David Sanders



Filed 7/30 2013
Fee Paid 7/30 2013
PC Meeting Date 9/9 2013
VB Meeting Date 9/14 2013
Approved _____ 20____
Denied _____ 20____

**VILLAGE OF PLEASANT PRAIRIE
CERTIFIED SURVEY MAP APPLICATION**

To: Village Plan Commission & Village Board of Trustees of the Village of Pleasant Prairie:

I, (We), the undersigned owner(s)/agent do hereby petition the Village Board to amend the Village of Pleasant Prairie Zoning Map as hereinafter requested.

It is petitioned that the following described property be subdivided with a Certified Survey Map (CSM)

The property petitioned to be subdivided is located at: 88th Avenue and 76th Street

and is legally described as follows: Parcel 1, Certified Survey Map 2175

Tax Parcel Number(s): 91-4-122-081-0131

The property abuts or adjoins a State Trunk Highway	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
The property abuts or adjoins a County Trunk Highway	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
Municipal Sanitary Sewer is available to service said properties	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
Municipal Water is available to service said properties	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No

I (We), have contacted the Community Development Department to arrange a pre-application meeting to discuss the proposed request with the Village staff to determine additional information that may be needed to consider the request.

I, (We), hereby certify that all the above statements and attachments submitted herewith are true and correct to the best of my knowledge.

PROPERTY OWNER:

Print Name: SB1 Pleasant Prairie WI, LLC.

Signature: [Signature]

Address: c/o 591 West Putnam Avenue

Greenwich, CT 06830
(City) (State) (Zip)

Phone: (203) 422-7713

Fax: _____

Date July 26, 2013

OWNER'S AGENT:

Print Name: Nielsen Madsen & Barber, S.C.

Signature: [Signature]

Address: 1458 Horizon Blvd., Suite 200

Racine, WI 53406
(City) (State) (Zip)

Phone: (262) 634-5588

Fax: (262) 634-5024

Date: July 26, 2013



Filed 7/30 2013 Published 8/26 2013
Public Hearing 9/9 2013 9/2 2013
Fee Paid 7/30 2013 Approved _____ 20____
Notices Mailed 8/9 2013 Denied _____ 20____

**VILLAGE OF PLEASANT PRAIRIE
CONCEPTUAL PLAN APPLICATION**

1. Development Name: Redivision of Outlot 17 - Prairie Ridge
2. General Location of Development: 88th Avenue and 76th Street
3. Tax Parcel Number(s): 91-4-122-081-0131
4. Number of Lots: 2 Number of Outlots: 0
5. Size of Development: 9.9524 acres.
6. The Development is proposed to be constructed in Phases: Yes No
7. The Development abuts or adjoins a State Trunk Highway: Yes No
8. The Development abuts or adjoins a County Trunk Highway or a Kenosha County Park or the Kenosha County Bike Trail: Yes No
9. The following number and types of plans shall be submitted with this application:
 - 10 full size sets of Conceptual Plan
 - 1 copy of the Conceptual Plan reduced to 11" by 17"
 - Conceptual Plan application fee
 - 10 sets of Conceptual Engineering Plan
 - Phasing Plan, if applicable
 - Draft of Declarations, Covenant, Restrictions and any Easement Documents
 - Any other information as specified by the Village

I, (We), hereby certify that all the above statements and attachments submitted herewith are true and correct to the best of my knowledge.

PROPERTY OWNER:

Print Name: SB1 Pleasant Prairie WI, LLC.
Signature: [Signature]
Address: c/o 591 West Putnam Avenue
Greenwich, CT 06830
(City) (State) (Zip)
Phone: (203) 422-7713
Fax: _____
Date: July 26, 2013

OWNER'S AGENT:

Print Name: Nielsen Madsen & Barber, S.C.
Signature: [Signature]
Address: 1458 Horizon Blvd., Suite 200
Racine, WI 53406
(City) (State) (Zip)
Phone: (262) 634-5588
Fax: (262) 634-5024
Date: July 26, 2013



Filed 7/30 2013 Published 8/26 2013
 Public Hearing 9/9 2013 9/2 2013
 Fee Paid 7/30 2013 Approved _____ 20____
 Notices Mailed 8/9 2013 Denied _____ 20____

**VILLAGE OF PLEASANT PRAIRIE, WISCONSIN
 ZONING MAP AND TEXT AMENDMENT APPLICATION**

To: Village Plan Commission & Village Board of Trustees of the Village of Pleasant Prairie:

I, (We), the undersigned owner(s)/agent do hereby petition the Village Board to amend the Village of Pleasant Prairie Zoning Map as hereinafter requested.

It is petitioned that the following described property be rezoned from the present B-2 (PUD) District(s) to C-1 District(s). The property petitioned to be rezoned is located at: 88th Avenue and 76th Street and is legally described as follows: Part of Parcel 1, Certified Survey Map 2175

Tax Parcel Number(s): 91-4-122-081-0131

The proposed use for this property is: Wetland Preservation

Petitioner's interest in the requested rezoning: Rezone Wetlands

Compatibility with adjacent land uses: Yes

I (We) are also requesting a Zoning Text Amendment to amend Section N/A of the Village Zoning Ordinance.

I (We), have contacted the Community Development Department to arrange a pre-application meeting to discuss the proposed request to determine additional information that may be needed for this request.

I, (We), hereby certify that all the above statements and attachments submitted herewith are true and correct to the best of my knowledge.

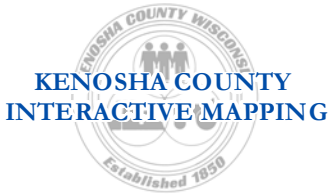
PROPERTY OWNER:

Print Name: SBI Pleasant Prairie WI, LLC.
 Signature: _____
 Address: c/o 591 West Putnam Avenue
Greenwich, CT 06830
 (City) (State) (Zip)
 Phone: (203) 422-7713
 Fax: _____
 Email: _____
 Date July 26, 2013

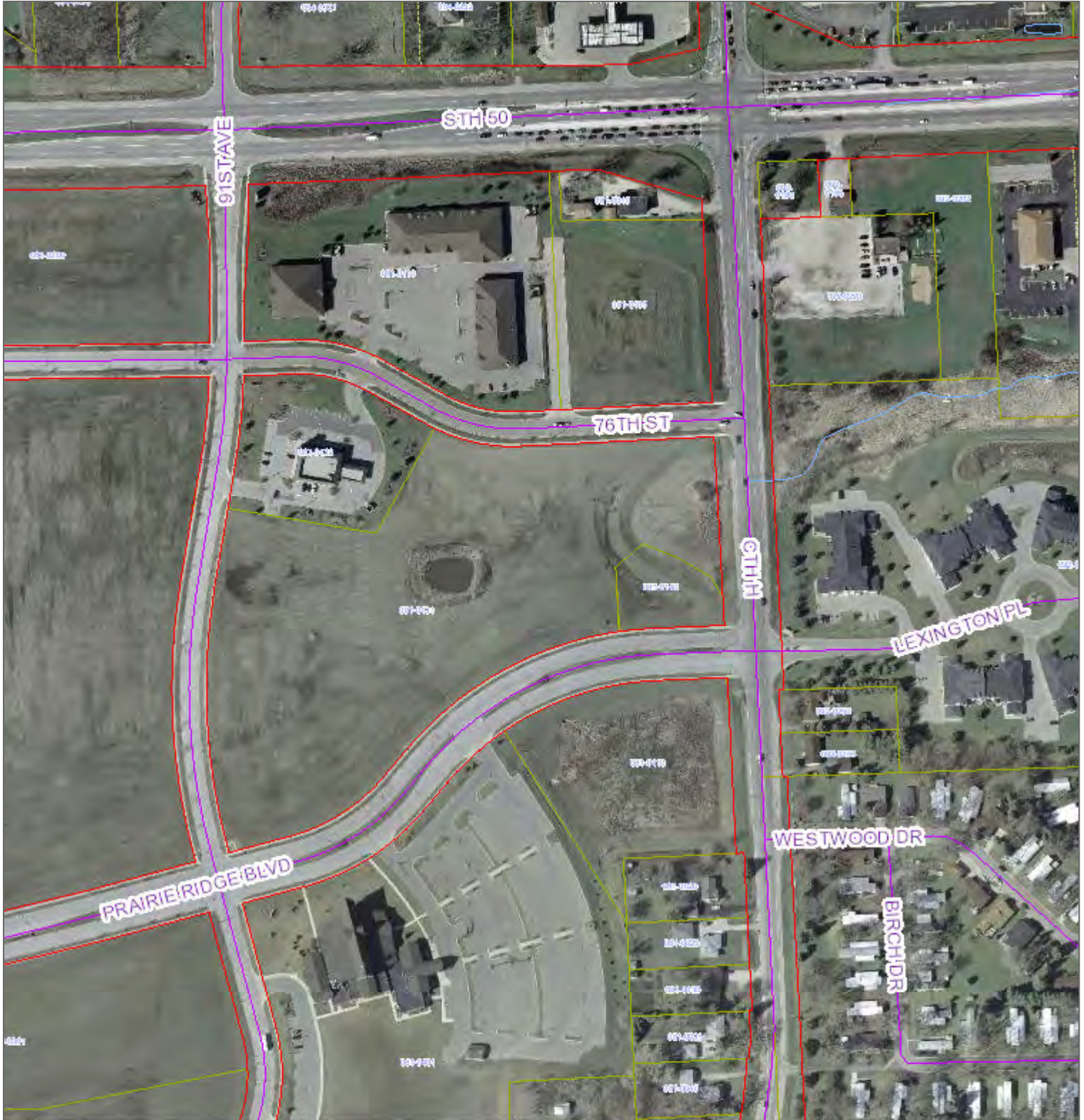
OWNER'S AGENT:

Print Name: Nielsen Madsen & Barber, S.C.
 Signature: _____
 Address: 1458 Horizon Blvd., Suite 200
Racine, WI 53406
 (City) (State) (Zip)
 Phone: (262) 634-5588
 Fax: (262) 634-5024
 Email: meberle@nmbosc.net
 Date: July 26, 2013

General Location Map

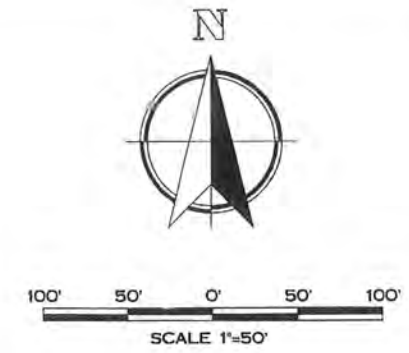
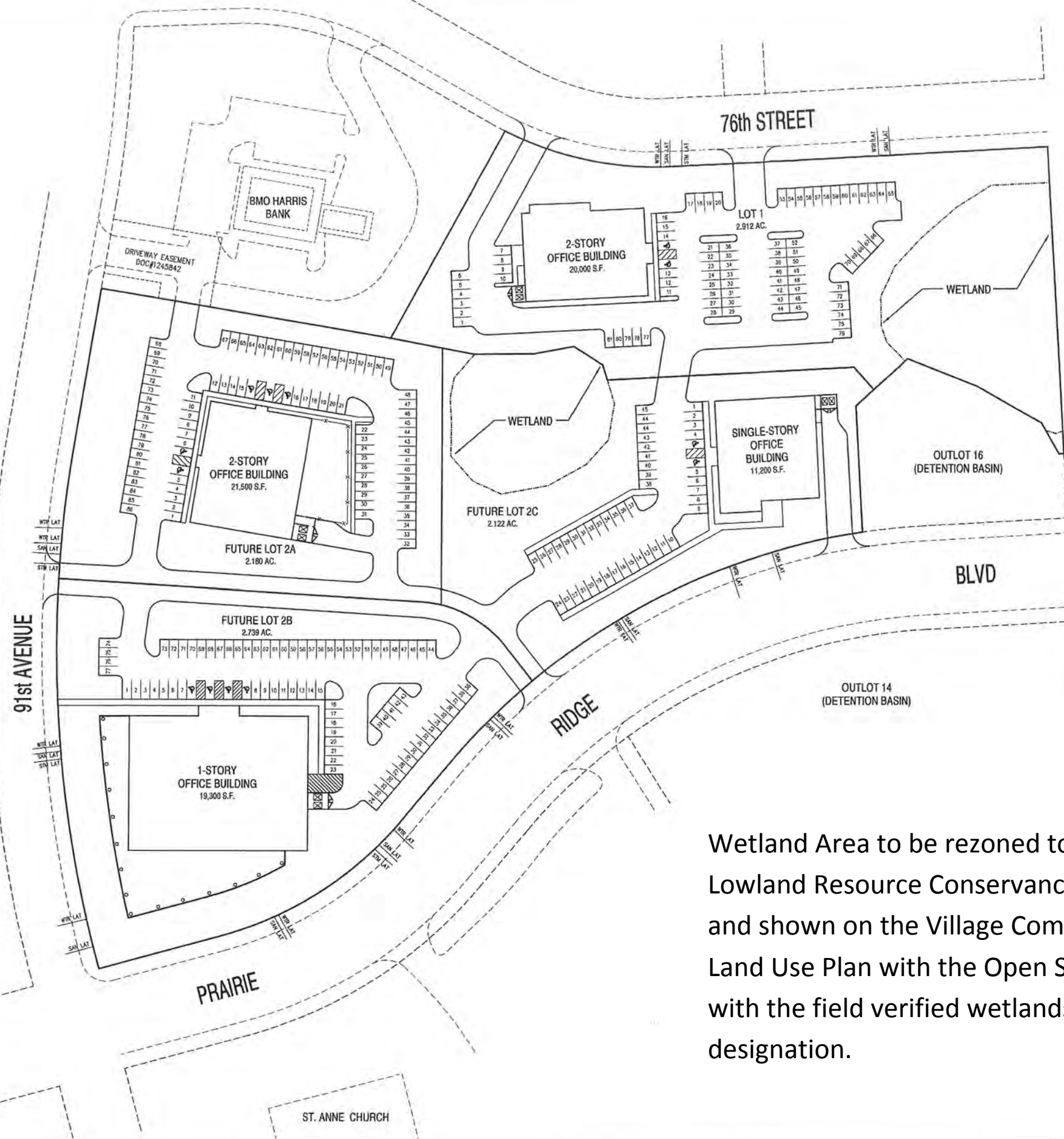


1 inch = 262 feet
Date Printed: 8/5/2013



DISCLAIMER This map is neither a legally recorded map nor a survey and is not intended to be used as one. This drawing is a compilation of records, data and information located in various state, county and municipal offices and other sources affecting the area shown and is to be used for reference purposes only. Kenosha County is not responsible for any inaccuracies herein contained. If discrepancies are found, please contact Kenosha County.

Thursday, July 25, 2013 1:37:11 PM



- Lot 1**
 AREA: 2,912 Ac.
 20,000 S.F. OFFICE BUILDING
 81 REGULAR PARKING SPACES
 2 HANDICAP PARKING SPACES
 83 TOTAL PARKING SPACES
- Lot 2A**
 AREA: 2,180 Ac.
 21,500 S.F. OFFICE BUILDING
 86 REGULAR PARKING SPACES
 5 HANDICAP PARKING SPACES
 91 TOTAL PARKING SPACES
- Lot 2B**
 AREA: 2,739 Ac.
 19,300 S.F. OFFICE BUILDING
 77 REGULAR PARKING SPACES
 4 HANDICAP PARKING SPACES
 81 TOTAL PARKING SPACES
- Lot 2C**
 AREA: 2,122 Ac.
 11,200 S.F. OFFICE BUILDING
 45 REGULAR PARKING SPACES
 2 HANDICAP PARKING SPACES
 47 TOTAL PARKING SPACES

Wetland Area to be rezoned to C-1, Lowland Resource Conservancy District and shown on the Village Comprehensive Land Use Plan with the Open Space Lands with the field verified wetlands land use designation.

RECEIVED
 JUL 26 2013

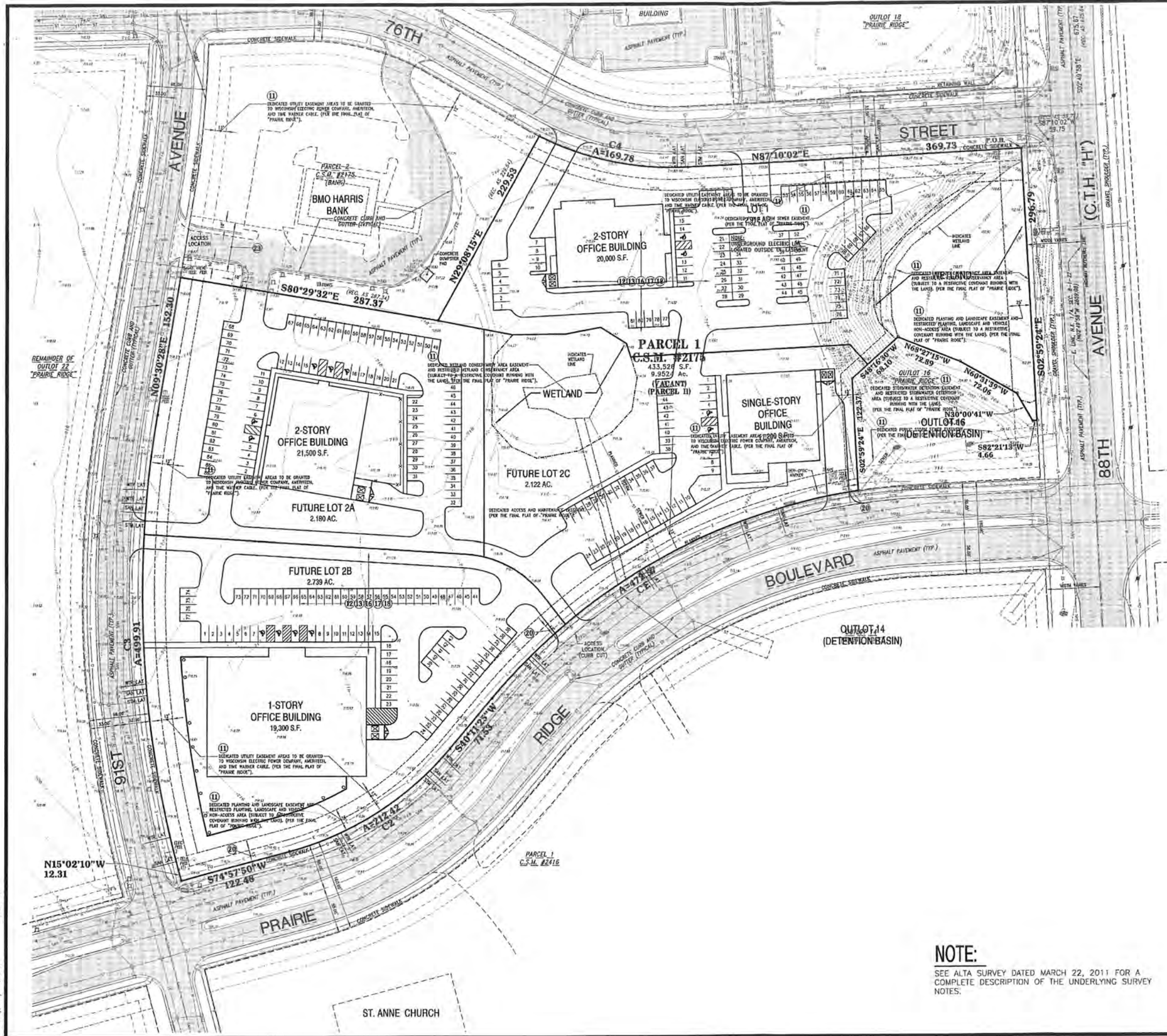
mb
 Nielsen Madsen & Barber S.C.
 Civil Engineers and Land Surveyors
 1458 Horizon Blvd., Suite 200, Racine, WI 53406
 Tele: (262)634-5388 Fax: (262)634-5024
 Website www.nmbcsc.net

OUTLOT 17 PRAIRIE RIDGE
CONCEPTUAL PLAN
 FOR
SB1 PLEASANT PRAIRIE WI, LLC
 VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN

NO.	REVISION	BY	DATE

PROJ. MGR: _____ MDE
 DRAFTED: _____ SGB
 DATE: 7-16-13
 CHECKED: _____ MDE
 DATE: 7-26-13

2013.0057.01
 SHEET
 1 OF 2



mb
 Nielsen Madsen & Barber S.C.
 Civil Engineers and Land Surveyors
 1458 Horizon Blvd, Suite 200, Racine, WI 53406
 Tele: (262)634-5588 Fax: (262)634-5024
 Website www.nmbisc.net

**OUTLOT 17 PRAIRIE RIDGE
 CONCEPTUAL PLAN OVERLAY
 FOR
 SB1 PLEASANT PRAIRIE WI, LLC
 VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN**

NO.	REVISION	BY	DATE

PROJ. MGR: MDE
 DRAFTED: SCB
 DATE: 7-16-13
 CHECKED: MDE
 DATE: 7-26-13
2013.0057.01
 SHEET
2 OF 2

NOTE:
 SEE ALTA SURVEY DATED MARCH 22, 2011 FOR A COMPLETE DESCRIPTION OF THE UNDERLYING SURVEY NOTES.

- M. Consider the request of Kenneth Sniegowski, of Hanna Cylinders, agent for approval of **Site and Operational Plans** to occupy the entire 105,637 square foot building located at 8901 102nd Street for the manufacturing and producing of hydraulic and pneumatic cylinders.

Recommendation: Village staff recommends that the Plan Commission approve the **Site and Operational Plans** for Hanna Cylinders to occupy the entire 105,637 square foot building located at 8901 102nd Street for the manufacturing and producing of hydraulic and pneumatic cylinders subject to the comments and conditions of the Village Staff Report of September 9, 2013.

VILLAGE STAFF REPORT OF SEPTEMBER 9, 2013

Consider the request of Kenneth Sniegowski, of Hanna Cylinders, agent for approval of **Site and Operational Plans** to occupy the entire 105,637 square foot building located at 8901 102nd Street for the manufacturing and producing of hydraulic and pneumatic cylinders.

The petitioner, Hanna Cylinders, is requesting to occupy the entire 105,637 square foot building located at 8901 102nd Street to manufacture and produce hydraulic and pneumatic cylinders. Hanna Cylinders is relocating from Libertyville, Illinois to the vacant building at the northwest corner of CTH H and STH 165 within the LakeView Corporate Park. The building includes a 6,305 square foot office space with the remaining area being warehouse space. The existing office space will continue to function as office space with an additional 2,610 square of warehouse area, a 90' x 29' area, to be remodeled into office space. The remaining warehouse will serve as the manufacturing area.

Background Information on Hanna Cylinders pursuant to the application:

Hanna was started on the basis of one man's idea to improve a process. In 1893, their founder Elmer E. Hanna arrived in Chicago from Montana to head up the engineering and manufacturing functions of the Gates Iron Works Company. While at Gates, Mr. Hanna developed a "Screen Shaker" utilizing a pneumatic cylinder attached to a screen to separate coarse sand from fine sand. Since Gates Iron Works was doing very well in the mining machinery business, the management did not want to set up a facility for a completely new and different product line. As a result, Elmer Hanna requested and received permission to set up his own facility to manufacture the Screen Shaker. As a result, Mr. Hanna opened E.E. Hanna Company in 1900. Various products were added and deleted over the years and by the end of the WWII the Company's focus was mainly on hydraulic and pneumatic cylinders.

Since WWII, the Hanna Company has gone through numerous ownership changes and product acquisitions, adding cylinder manufacturing expertise in the mobile, nuclear and offshore cylinder markets. Since 2004, all of Hanna's manufacturing capabilities now reside under one roof in a leased 150,000 square foot facility in Libertyville, IL, that includes over 25,000 square feet of available expansion space.

In April of 2011, Hanna Cylinders LLC ("Hanna") was formed via a Subscription Agreement between Hanna and its former parent, whereby all of the net assets and net liabilities of the parent's Hanna Cylinders division were contributed by the parent in exchange for all of the capital of Hanna.

Hanna is engaged in the business of manufacturing hydraulic and pneumatic cylinders. Hydraulic cylinders get their power from pressurized hydraulic fluid, which is typically oil. Pneumatic cylinders are mechanical devices which produce force in combination with movement and are powered by compressed gas, typically air. Cylinders are the actuator or "motor" side of a system. The generator side of the system is the hydraulic pump or air compressor. Pneumatic cylinders are utilized on lighter duty faster stroke applications. The end user avoids the cost of a pump and hydraulic system. Larger pneumatic cylinders may be used in heavy duty applications where any degree of oil leaks or contamination is unacceptable. Hydraulic cylinders are utilized in heavier duty and slower stroke applications. They are a component of a larger hydraulic equipment or system.

Hanna manufactures a broad line of hydraulic and pneumatic cylinders. The Company produces everything from a \$40 steering cylinders for tractors to a \$500,000 dam gate actuator cylinder. The Company manufactures both custom tie rod cylinders and welded mobile cylinders. The majority of their competitors do one or the other. The company can manufacture quantities of one (1) or 10,000. The Company is unique in business model and attitude. They are one of the few smaller cylinder companies with significant excess capacity for small and large bore tie rod and welded cylinders. Hanna is an extremely flexible Company in terms of engineering and manufacturing capabilities, and designs and manufactures the highest quality cylinders available in the market.

Hanna markets and produces cylinders for a variety of industries in the mobile and industrial equipment markets. Approximately 30% of the Company's forecasted annual sales will be in the mobile equipment market, with John Deere being the primary customer. In the industrial equipment markets, Hanna manufactures and sells a broad line of standard and custom tie rod cylinders, with bores ranging from 1 to 40 inches and with a stroke up to 450 inches.

Standard catalog cylinders are sold through a national network of fluid power distributors. These products are typically small bore and short stroke cylinders utilized in light duty applications. The Company maintains a model inventory of stock components that enables us to ship in 1-1/2" to 8" bore cylinders in less than one week and in some instances 24 hours. However, the Company excels in certain smaller industrial market niches where engineered designs are utilized. Specifically, press cylinders are designed for use in markets from injection molding, blow molding and tire curing to aircraft component forming. In addition, the Company has developed an expertise in valve and gate or hatch actuation. These cylinders are used to manage flow control in gas pipe lines or open dam and lock gates or hatches. The Company's industrial cylinders are also utilized in nuclear power plants, wind turbines and as panel position mover in solar arrays. When it comes to large custom industrial cylinders, Hanna's quality and technical expertise is the best in the industry.

Hanna's main target segment for the foreseeable future is the nuclear industry. The Company is one of three domestic cylinder manufacturers that are 10CFR 50 certified. 10CFR 50 is a nuclear quality program that allows the Company to manufacture cylinders for use in nuclear power plants. Their nuclear products contribute from 55 to 80 percent gross margin. Nuclear represents the single greatest opportunity for the Company. Other target market segments include military, offshore, solar, wind, mining, steel mills, parts and repair.

The building at 8901 102nd Street is zoned M-2, General Manufacturing District and the proposed use is allowed as a permitted use in the M-2 District.

A total of 105 full-time employees and part-time employees over 2 shifts are proposed to be employed on site. It is anticipated that there will be approximately 10 trucks arriving and departing per day. It is anticipated that start-up at this facility will begin in the fall of 2013.

Village staff recommends conditional approval of the Site and Operational Plans subject to the above comments and the following conditions.

1. It was noted in the application that there is not a sampling manhole. The facility does have a sampling manhole. It was last inspected in April 2012 and in good condition. If you do not know where the sampling manhole is you can contact the Public Works Department directly at 262-925-6768.
2. The maximum number of gallon/minutes of water expected to be used for both internal and for irrigation shall be provided to the Village prior to issuance of any permits to ensure that the water meter is sized appropriately.

3. Subject to compliance with the attached memorandum from the Fire & Rescue Department dated August 27 2013. ***Pursuant to condition #2 a letter shall be submitted to the Fire & Rescue Department prior to obtaining building permits stating that the project will comply with all requirements of this memo. A copy of this letter shall also be provided to the Community Development Department.***
4. Permits shall be obtained for the change in tenant and proposed interior modifications (office expansion and paint booths), sign modifications and any plumbing or electrical work required for the manufacturing equipment. Upon approval of the Site and Operational Plans the required permits shall be submitted to the Village for occupancy.
5. Prior to obtaining the occupancy permit, a sign permit shall be obtained to reface or replace the Primary Monument Sign shall be obtained and the sign modified.
6. All building, plumbing, and HVAC plans will need to be designed to the IBC Codes, Wisconsin Plumbing Code, prior to submitting (4 sets Municipal) for building permits from the Village of Pleasant Prairie.
7. Halls, corridors, stairways, passageways, work aisles and other means of egress from factories, offices and mercantile buildings shall have emergency lighting and exit lighting per Article 700 of the NEC, SPS 316.46. The Village Fire & Rescue Department should be contacted for further information and requirements. Contact Fire & Rescue Chief Paul Guilbert at 262-694-8027.
8. If water main is to serve both domestic and fire protection combined, the plans will need Department of Commerce approval and Village Fire & Rescue Department approval prior to obtaining permits and commencing work.
9. This parcel and building must comply with all requirements of Barrier-Free Design.
10. The architect(s)/ professional engineer(s) shall submit, to the Village and State, the compliance statement, Form SBD 9720, prior to the final inspection with the Village Building Inspection and Fire & Rescue Departments.
11. The electrical contractor will be required to be licensed by the State of Wisconsin. The electrical contractor shall obtain a permit from the Village prior to beginning work. Any Low Voltage electrical proposed will require permits from the Village. Any electrical work to connect production machinery and or cubicles will require permits too.
12. All mechanical contractors shall obtain a permit from the Village prior to beginning work.
13. Building plans will need to show detail on fire stopping of all penetrations through fire rated walls and fire separation walls as required by emergency rule that took effect on January 28, 1998.
14. Sprinkler Plans are required to be submitted to, reviewed and approved by the Village Fire & Rescue Department.
15. Any and all fire alarm installations require plan review and permit from the Village of Pleasant Prairie Fire & Rescue Department prior to occupancy.
16. The site shall not be used for any parking (neither overnight nor during the day) of junked/inoperable/dismantled/unlicensed vehicles. Any such vehicles that are parked overnight will be issued citations.

17. **At no time shall the site be used to sell or advertise any vehicles that are "for sale".**
18. No vehicular parking will be permitted in driveways, maneuvering lanes, fire lanes or on landscaped areas.
19. There shall be no outside banners, strings of pennants, flags, inflatable devices or streamers affixed or attached to the building(s), light poles, ground or landscaping, etc.
20. There shall be no long-term semi-truck/trailer or box truck parking permitted on the site that is not used in the daily operations of the facility.
21. The use of semi-trailers, storage units, storage bins, roll-off storage devices (e.g. P.O.D.S., S.A.M.S.) or other trucks, for storage purposes is prohibited. Outdoor storage of any materials, including but not limited to: raw materials, business supplies, pallets, crates, etc., is prohibited.
22. No use shall be conducted in such a way as to constitute a public or private nuisance or to violate any of the performance standards set out in Section 420-38 of the Village Zoning Ordinance.



VILLAGE STAFF MEMORANDUM

TO: Jean Werbie-Harris, Community Development Director
FROM: Doug McElmury, Chief Fire & Rescue Department
CC: Lt. Thomas Clark, Fire & Rescue Department
Peggy Herrick, Assistant Planner, Community Development
SUBJECT: Review of the Site and Operational Plan for Hanna Cylinder LLC building
DATE: 27 August 2013

This is a review of the Site and Operational Plan to occupy the entire building. The building is located at 8901 – 102nd Street.

The Fire & Rescue Department will be responsible for providing fire prevention inspections of this facility, twice annually.

1. **Distribution of Comments:** *the person who obtains the building permit to all Contractors and Subcontractors affected by this document shall distribute Copies of these comments. This document outlines critical times and deadlines. All recipients of this document need to become familiar with the contents.*
2. **Compliance:** A letter shall be submitted to the Fire & Rescue Department prior to receiving a building permit, stating that the project will comply with all requirements addressed within this document.
3. In the event a conflict in code(s) is identified, or a conflict with the insurance carrier criteria occurs, the more stringent shall apply. In the event this conflicts with any codes adopted by the State of Wisconsin, the owner must petition the State directly for a variance. The Owner must demonstrate that they will provide materials or design equivalent to the code or that they will exceed the code when petitioning the State and or Village when applicable.

Upon review of the plans submitted, we have the following concerns:

- This is a review of the Site and Operational plan, however, it is understood, that typical and customary fire protection features have not been shown on the plans, received/stamped 8/12/2013. (*plans not dated*)
 - Fire safety system plans, such as fire sprinkler and fire alarm plans, may need to be submitted to the State of Wisconsin Department of Safety and Professional Services and also to this fire department for review. No installation of any fire protection system is allowed until a satisfactory review is obtained from both departments.
 - Quantities and storage arrangement of flammable and combustible liquid storage shall be addressed.
-

4. **Fire Suppression Systems:** Fire suppression systems applicable to the products being handled within this area, shall be installed.
5. **Plan Review, Permits and Fees:** The plans for the fire protection aboveground and fire alarm system shall be submitted for review a minimum of four (4) weeks before installation is scheduled to begin. The Village will use an independent fire safety consultant for the review of all fire protection plans submitted. A satisfactory review must be completed before any permits will be issued and before construction can begin.
6. **The following information must be submitted with the sprinkler plans for review:**
 - Building height:
 - Hazard class:
 - Commodity:
 - Fire protection:
7. **Sprinkler System:** The systems shall be designed and constructed to the current edition of NFPA 13, Automatic Fire Sprinklers and the Village of Pleasant Prairie Ordinance 180-16, Automatic Fire Sprinklers. Any changes to the building rooms, walls, or ceiling must be addressed in fire detection and suppression system drawings.
8. **Storage:** The Owner must be aware of the restrictions that apply to the storage of pallets, cardboard, finished products, etc. Maximum height, width and aisle ways must be maintained and will be enforced.
9. **Fire Alarm System**
 - a. The system shall be fully addressable so that detailed information will be received about the device in alarm and meet current NFPA 72 standards.
 - b. Pull Stations and Audiovisual Alarms: Shall be installed per ADA requirements.
 - c. Smoke and Heat Detection: Shall be installed as required.
 - d. Tamper Switches: Tamper switches shall be placed on all sprinkler valves and be identified on the annunciator panel.
10. **Fire Detection/Suppression:** Systems shall be applicable and appropriate with the manufacturing/storage processes conducted within the building.
11. **Fire Extinguishers:** Shall meet NFPA 10 (Portable Fire Extinguishers) for the specific use of the building and be in sufficient number. Final approval, of fire extinguisher locations and quantity, will not be given until occupancy is taken, to see how a tenant furnishes the space. The company providing the fire extinguishers shall submit a letter to the Fire & Rescue Department stating the locations and size of the extinguishers are in compliance with NFPA 10.
12. **Emergency and Exit Lighting:** Exit and Emergency Lighting shall be provided and shall have battery backup. Combination units are acceptable and recommended. An Emergency Generator eliminates the need for battery

backup. Exit and Emergency Lighting shall not be placed on electrical circuits that cannot be disturbed or interrupted, this is for test purposes. These circuits shall be clearly labeled. The Fire & Rescue Department will evaluate this lighting prior to occupancy during the evening hours after sunset.

13. **FDC Connection:** The existing FDC connection shall meet the current connection standard of a single 5" Storz connection at a 30 degree angle.
14. **AED:** Because of the use and occupancy of the building the owner shall install one or more public access Automatic External Defibrillator (AED) onsite for employee use in the event of a sudden cardiac arrest. The Fire & Rescue Department can provide the training necessary to perform CPR and to operate the AED.
15. **Final Inspection:** The General Contractor shall provide the following documentation at the time the Final Inspection takes place and before a building occupancy certificate will be issued.
 - a. The fire protection contractor shall provide the owner with a letter (upon completion of the sprinkler work) stating the sprinkler system, or portion thereof, is "100% operational and built according to the design", Village Ordinance, 180-16 N.
 - b. Copies of the fire sprinkler hydrostatic test certificates.
 - c. Copies of the fire sprinkler operational test certificates.
 - d. Copies of the fire alarm test documents.
 - e. Copies of other test documents such as, hood/duct, smoke, etc...
 - f. The Pleasant Prairie Fire and Rescue Department shall have all information needed for our pre-fire plan prior to occupancy.
 - g. Provide two- (2) CD's, one for the property owner and one for the Fire & Rescue Department. The disks shall include all Floor plans and fire protection plans for the building in an as-built condition.
 - h. Occupancy inspection fee and re-inspection fee will be assessed at the final inspection in accordance with ordinance 180-17.
16. **Occupancy:** All fire and life safety requirements must be in place prior to any building being occupied.



RECEIVED
AUG 12 2013
Village of Pleasant Prairie

VILLAGE OF PLEASANT PRAIRIE
SITE AND OPERATIONAL PLAN
AND CONDITIONAL USE PERMIT ZONING APPLICATION

USE THIS FORM FOR:

Tenants/Use changes proposing to occupy 50% or more of an existing commercial/industrial building.

To construct a new or addition to principal or accessory structure.

Use requires a Conditional Use Permit.

Table with 2 columns: Description and Date. Rows include Application Filed on, Preliminary Determination of Completeness on, Revised Plans Submitted, Public Hearing Required, Published on, Approved by, and Denied by.

SECTION 1: GENERAL INFORMATION

NAME OF BUSINESS: Hanna Cylinders, LLC

SITE ADDRESS: 8901 102nd St, Pleasant Prairie, WI

BRIEF PROJECT DESCRIPTION: We are a metal fabrication manufacturing company producing hydraulic and pneumatic cylinders. We will occupy the existing office space (temporary use permit attached), expand office space into the existing warehouse space (application to be submitted prior to construction), and set up our manufacturing operations in the remaining existing warehouse space.

PROPOSED NUMBER OF FULL TIME EMPLOYEES: 105

PROPOSED NUMBER OF PART-TIME EMPLOYEES: None

SITE SIZE: sq. ft. 8.19 acres

PROPOSED BUILDING SIZE: 105,637 sq.ft. HEIGHT: 35 ft.

PROPOSED ADDITION SIZE: N/A sq.ft. HEIGHT: ft.

LEGAL DESCRIPTION: The 105,637 square foot building at 8901 102nd Street, Pleasant Prairie, Wisconsin.

TAX PARCEL NUMBER(S) : 92-4-122-204-0052

CURRENT ZONING CLASSIFICATION(S) OF THE PROPERTY: M2 - General Manufacturing

- 1. Is a zoning map amendment proposed with this project? [] Yes [x] No
- If yes, proposed Zoning Classification(s):
2. Is a zoning text amendment proposed with this project? [] Yes [x] No
- If yes, provide a copy of the proposed text amendment with this application

3. If property is zoned M-1 or M-2, indicate the Occupancy Type pursuant to the Use and Occupancy Classification specified in Chapter 3 of the 2006 International Building Code (2006 IBC). Include all that apply and associated square footage for each classification:

- Factory Group F-1 (Moderate-hazard) 97,446 sq ft
- Factory Group F-2 (Low-hazard) _____ sq ft
- Storage Group S-1 (Moderate-hazard) _____ sq ft
- Storage Group S-2 (Low-hazard) _____ sq ft
- Business Group B _____ sq ft
- High-Hazard Group H* _____ sq ft
- Other _____ sq ft
- Other _____ sq ft

**If Use and Occupancy Classification is High-Hazard Group H please provide a detailed written narrative that explains the specific use, quantity of storage and handling of the high hazard materials along with appropriate MSSD sheets with this application.*

PUBLIC SERVICES:

1. Is the property serviced by Public Sanitary Sewer? YES NO
 - If no, the closest public sewer is located at _____
2. Is the property serviced by Public Water? YES NO
 - If no, the closest public water is located at _____
3. Maximum number of gallons/minute of water expected to be used per day is: 10 gallons/minute

THIS APPLICATION IS FOR A: (check one)

- Preliminary Site and Operational Plan: An applicant may apply for preliminary site and operational plan approval in connection with an erosion control permit application for early mass grading, or in connection with an early foundation permit, or for other good cause shown
- New Site and Operational Plan
- Amendment to an existing Site and Operational Plan
 - Date of initial site and operational plan approval: _____
 - Date of each approved amendment: _____

SECTION 2: EXISTING USES AND BUILDINGS ON THE SITE

Are there any existing buildings on the site? YES NO

- If yes, provide an attachment that explains the current uses on the property and current uses in each building and if the use(s) is proposed to continue; and the gross floor area and height of each building.
- If no, what is the current use of the property? _____

SECTION 3: PHOTOGRAPHS

Standard-sized photographs (not Polaroid) showing all aspects of the site (e.g. locations of proposed improvements, bodies of navigable water, wetlands, wooded areas, etc.) and of the exterior of structures or other site improvements, together with a statement regarding each photograph, which includes the date the photograph was taken, the location from which it was taken, the direction in which the camera was pointed, and a description of what is shown in the photograph. With respect to all existing signs, the applicant shall file photographs of all existing signs and shall specify in the written statement accompanying each such photograph and show the dimensions of such sign. Digital images are acceptable.

SECTION 4: CONDITIONAL USE

1. Does the proposed project require a Conditional Use Permit? YES NO
 - If no then skip to Section 5.
 - If yes, then continue with this Section.
2. Are you amending an existing Conditional Use Permit? YES NO
 - If yes, provide a copy of the Conditional Use Grant Document you are proposing to amend.
 - If no, continue with this Section.
3. If you answered YES to either question 1 or 2 above then this application shall include information as to how the proposed project will not impair an adequate supply of light and air to adjacent properties; increase danger of fire; cause traffic congestion or traffic circulation problems; create storm water flooding or drainage; create obnoxious odors, problems or otherwise endanger the public health, safety or welfare; will not hinder, harm or distract the provision of public services; and that the proposed project is not inherently inconsistent with either the district in which it is located or adjoining districts or neighborhoods as required pursuant to the Village Zoning Ordinance.

SECTION 5: NON-CONFORMING USE

1. Is any use on the site a nonconforming use? YES NO
 - If no, then skip to Section 7.
 - If yes, then continue with this section.
2. If you answered YES to question 1 above, prima facie proof of each element of legal nonconforming use status shall be submitted to the Village with this application (i.e. that the nonconforming use was legal in its inception, that the use was active and actual and not merely casual, occasional, incidental or accessory when it became nonconforming, that the use has been continuous with no gap of 12 or more consecutive months since it became nonconforming, that no building or structure housing the nonconforming use has been structurally repaired or altered to the extent of fifty (50) percent or more of its assessed value since the use became nonconforming, and that the use has not been changed in nature or physically extended or expanded since becoming nonconforming).

SECTION 6: PERFORMANCE STANDARDS

Pursuant to the Village Zoning Ordinance, any application for a permit under this ordinance or any use subject to the regulations and standards set forth in the Village Zoning Ordinance shall be accompanied by a sworn statement by the owner of the subject property that said property and use will be operated in accordance with the performance standards set forth in Section 420-38 of the Village Ordinance.

Continued compliance with the regulations and standards is required. Violations of such standards shall be remedied as required by the Village Zoning Ordinance.

No land or building in any district shall be operated in such a manner so as to create any dangerous, injurious, noxious or otherwise objectionable fire, explosive or other hazard; noise or vibration, smoke, dust, dirt or other form of air pollution; water pollution; electrical, radioactive or other disturbances; glare; or other substance, condition or element (referred to herein as "dangerous or objectionable elements") in such amount as to adversely affect the surrounding area or premises; provided that any use permitted by this ordinance may be undertaken and maintained if it conforms to the regulations of this subsection limiting dangerous and objectionable elements at the specified point or points of the determination of their existence.

The Village may require additional information be submitted to ensure that the Village Performance Standards are being met.

SECTION 7: PLAN COMPONENTS

The application shall include a list of all documents, materials or information that are attached to and a part of the application form. Submit eight (8) full-sized and one (1) set reduced to 11" x 17" of all plans and other attachments shall be included as part of this application, except if a component has been waived or deferred in writing by the Village Zoning Administrator. **For specific details related to each of the required information and plans see the attachment entitled "*Plan Components and Related Standards*" in Section 420-57 of the Village Zoning Ordinance.**

- Application—Applicant, Site, Use, Project and Plan Information
- Application fee
- Operational plan
- Title sheet
- Survey
- Site plan
- Grading and drainage plan
- Building and fire protection plans
- Lighting plan
- Landscape and open space plan
- Signage plan
- Industrial/commercial waste survey
- Performance standards compliance
- Additional requirements, as determined by the Village Zoning Administrator, other appropriate Village staff members, or the Village Plan Commission, as appropriate.

Two or more plans may be combined, provided that all of the information submitted on the combined plan is clearly legible, but in no case shall the combined plans fail to show any of the information required for each individual plan as described below, unless such information is waived or deferred pursuant to the Zoning Ordinance.

SECTION 8: SIGNATURES

I, (We), hereby certify that all the above statements and all attachments submitted herewith are true and correct to the best of my knowledge. In addition I, (we) understand the requirements and procedures for Site and Operational Plan/Conditional Use Permit approval.

PROPERTY OWNER:

Name: PETER HARMON

Signature: [Signature]
(Please Print)

Address: ONE PIERCE PLACE / Ste #450

LIBERTYVILLE IL 60148
(City) (State) (Zip)

Phone: 630 250 7900

Fax: ~ ~ 2901

E-mail: pharmacoincrealitypartners.com

Date: 8/9/13

APPLICANT:

Name: Kenneth Sniegowski

Signature: [Signature]
(Please Print)

Address: 804 E Park Ave, Ste 101

Libertyville, IL 60048
(City) (State) (Zip)

Phone: 847-990-7742

Fax: 847-680-0350

E-mail: ksniegowski@hannacylinders.com

Date: 8/9/2013

Is the applicant the owner of the property? YES NO

If no, then either proof of the applicant's legal interest in the subject real property (e.g. accepted offer to purchase, lease, etc., which may be appropriately redacted to preserve confidential information) or written authorization signed by the owner for the applicant to act as the owner's agent in connection with the application shall be included with the application.

DEVELOPER (if Applicable)

Name: _____

(Please Print)

Signature: _____

Address: _____

(City) (State) (Zip)

Phone: _____

Fax: _____

E-mail: _____

Date: _____

USER OR OCCUPANT OF SITE:

Name: Kenneth Sniegowski

(Please Print)

Signature: [Signature]

Address: 804 E Park Ave, Ste 101

Libertyville, IL 60048

(City) (State) (Zip)

Phone: 847-990-7742

Fax: 847-680-0350

E-mail: ksniegowski@hannacylinders.com

Date: 8/9/2013

Hanna Cylinders, LLC
Village of Pleasant Prairie
Site and Operational Plan Application
Section 2, Existing Uses and Buildings on the Site

The building is a 105,637 square foot building, composing of a 6,305 square foot office space, and the remaining area is currently empty warehouse space with structural columns spaced every 50 feet.

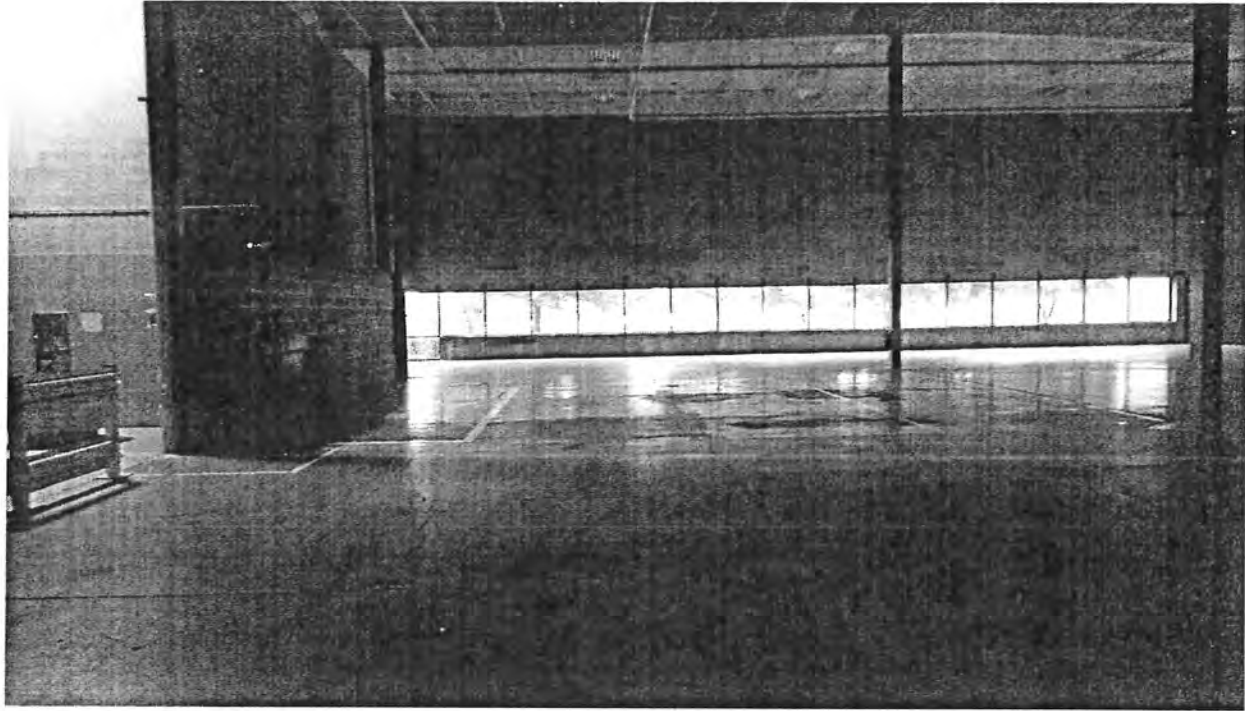
The existing office space will continue to function as office space. Of the remaining warehouse space, a 2,610 square foot 90' x 29' area will be remodeled into additional office space. The rest of the existing warehouse space will serve as our manufacturing area.

Hanna Cylinders, LLC
Village of Pleasant Prairie
Site and Operational Plan Application
Section 3, Photographs



This is a photograph (taken 7/31/13) of the existing sign that Hanna will eventually place a sign over. This is taken from the southeast corner of the property lot, facing west. The southeast corner of the building can be seen on the right of this picture, 104th street, Lakeview Parkway, is on the left, and the photographers back is against 88th Ave. The sign permit application will be mailed separately before any sign is posted.

Hanna Cylinders, LLC
Village of Pleasant Prairie
Site and Operational Plan Application
Section 3, Photographs



This picture (taken 7/31/13) is taken from the southwest corner of the manufacturing area, facing east. The 90 foot area along the windows will be built out into additional office space, extending 30 feet out from the windows. These construction permits will be applied for separately, after the temporary permit for the initial move into the existing office space.

HANNA CYLINDERS OPERATIONAL PLAN NARRATIVE

PROJECT DESCRIPTION:

Hanna Cylinders is relocating from Libertyville, Illinois, to Pleasant Prairie, Wisconsin, in the fall of 2013. Having been frustrated for several years with Illinois' business environment, we decided to move our plant to our northern neighbor. Reductions in operating costs and taxation have been the driving force in our decision. The move will take place over a period of 8 weeks as we relocate several machining centers, and bring our new facility up to our operating requirements.

HISTORY AND BUSINESS:

Like so many companies, Hanna was started on the basis of one man's idea to improve a process. In 1893, our founder Elmer E. Hanna arrived in Chicago from Montana to head up the engineering and manufacturing functions of the Gates Iron Works company. While at Gates, Mr. Hanna developed a "Screen Shaker" utilizing a pneumatic cylinder attached to a screen to separate coarse sand from fine sand. Since Gates Iron Works was doing very well in the mining machinery business, company management did not want to set up a facility for a completely new and different product line. As a result, Elmer Hanna requested and received permission to set up his own company to manufacture the Screen Shaker. As a result, Mr. Hanna opened E.E. Hanna Company in 1900. Various products were added and deleted over the years and by the end of the WWII the company's focus was mainly on hydraulic and pneumatic cylinders.

Since WWII, the Hanna Company has gone through numerous ownership changes and product acquisitions, adding cylinder manufacturing expertise in the mobile, nuclear and off-shore cylinder markets. Since 2004, all of Hanna's manufacturing capabilities now reside under one roof in a leased 150,000 square foot facility in Libertyville, IL, that includes over 25,000 square feet of available expansion space.

In April of 2011, Hanna Cylinders LLC ("Hanna") was formed via a Subscription Agreement between Hanna and its former parent, whereby all of the net assets and net liabilities of the parent's Hanna Cylinders division were contributed by the parent in exchange for all of the capital of Hanna.

Hanna is engaged in the business of manufacturing hydraulic and pneumatic cylinders. Hydraulic cylinders get their power from pressurized hydraulic fluid, which is typically oil. Pneumatic cylinders are mechanical devices which produce force in combination with movement and are powered by compressed gas, typically air. Cylinders are the actuator or "motor" side of a system. The generator side of the system is the hydraulic pump or air compressor. Pneumatic cylinders are utilized on lighter duty faster stroke applications. The end user avoids the cost of a pump and hydraulic system. Larger pneumatic cylinders may be used in heavy duty applications

where any degree of oil leaks or contamination is unacceptable. Hydraulic cylinders are utilized in heavier duty and slower stroke applications. They are a component of a larger hydraulic equipment or system.

Hanna manufactures a broad line of hydraulic and pneumatic cylinders. The company produces everything from a \$40 steering cylinders for tractors to a \$500,000 dam gate actuator cylinder. The company manufactures both custom tie rod cylinders and welded mobile cylinders. The majority of our competitors do one or the other. We can manufacture quantities of one or 10,000. We are unique in business model and attitude. We are one of the few smaller cylinder companies with significant excess capacity for small and large bore tie rod and welded cylinders. Hanna is an extremely flexible company in terms of engineering and manufacturing capabilities, and designs and manufactures the highest quality cylinders available in the market.

Hanna markets and produces cylinders for a variety of industries in the mobile and industrial equipment markets. Approximately 30% of the Company's forecasted annual sales will be in the mobile equipment market, with John Deere being the primary customer. In the industrial equipment markets, Hanna manufactures and sells a broad line of standard and custom tie rod cylinders, with bores ranging from 1 to 40 inches and with a stroke up to 450 inches.

Standard catalog cylinders are sold through a national network of fluid power distributors. These products are typically small bore and short stroke cylinders utilized in light duty applications. We maintain a model inventory of stock components that enables us to ship in 1-1/2" to 8" bore cylinders in less than one week and in some instances 24 hours. However, the Company excels in certain smaller industrial market niches where engineered designs are utilized. Specifically, press cylinders are designed for use in markets from injection molding, blow molding and tire curing to aircraft component forming. In addition, the Company has developed an expertise in valve and gate or hatch actuation. These cylinders are used to manage flow control in gas pipe lines or open dam and lock gates or hatches. The Company's industrial cylinders are also utilized in nuclear power plants, wind turbines and as panel position mover in solar arrays. When it comes to large custom industrial cylinders, Hanna's quality and technical expertise is the best in the industry.

Hanna's main target segment for the foreseeable future is the nuclear industry. The Company is one of three domestic cylinder manufacturers that are 10CFR 50 certified. 10CFR 50 is a nuclear quality program that allows the Company to manufacture cylinders for use in nuclear power plants. Our nuclear products contribute from 55 to 80 percent gross margin. Nuclear represents the single greatest opportunity for the Company. Other target market segments include military, offshore, solar, wind, mining, steel mills, parts and repair.

8/8/2013

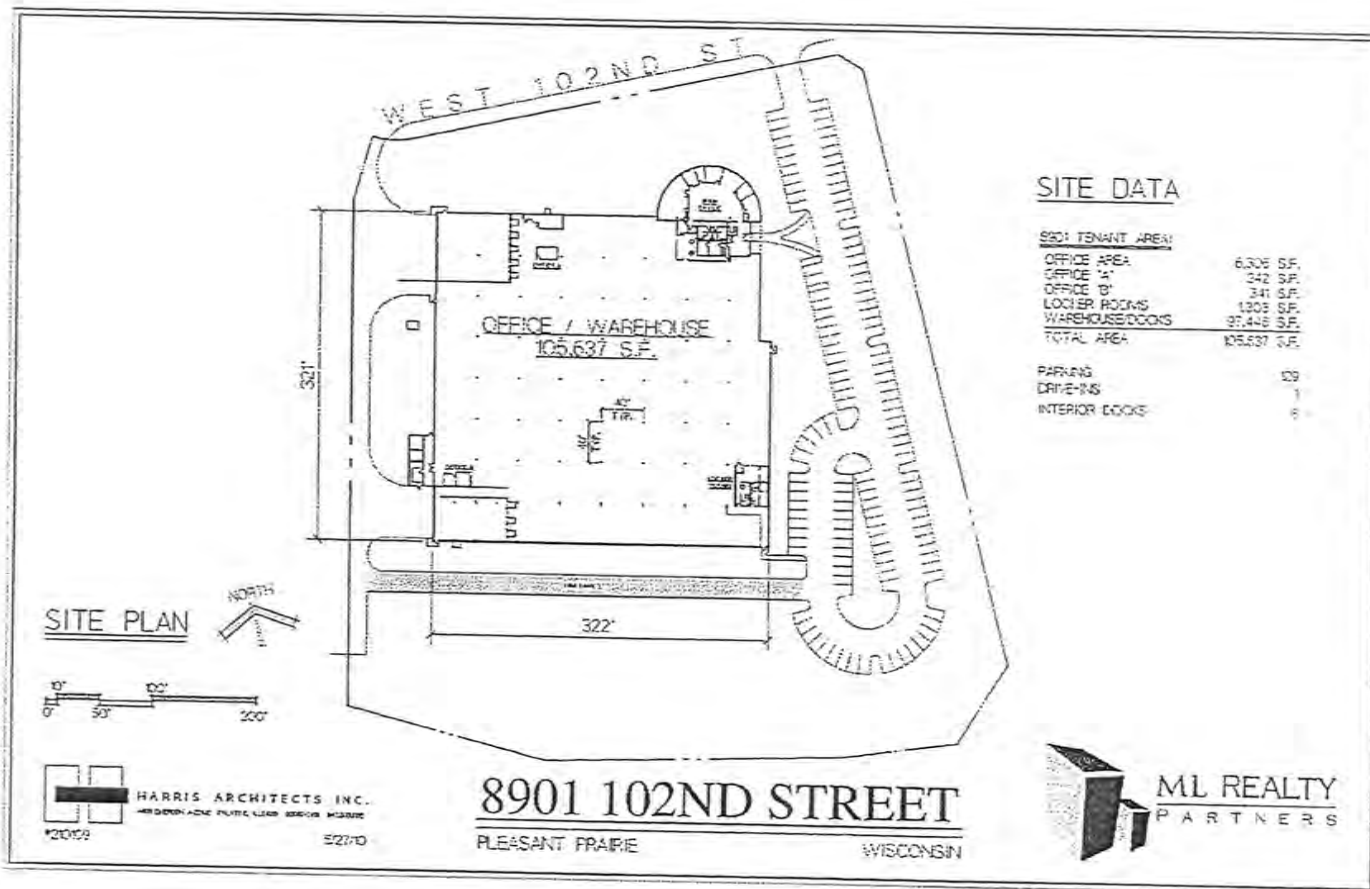
Hanna Cylinders

Operational plan

Data sheet

- (a) Gross floor area of the existing building. **105,637 sq. ft.**
- (b) Anticipated hours of operation. **6:00am – 11:00pm**
hours open to the public. **7:30am – 4:00pm**, hours of deliveries or shipments. **6:00am – 5:00pm**
- (c) Anticipated startup **October 1, 2013**, total number of full- and part-time employees **105**
- (d) Anticipated number of shifts **2**, and the anticipated number of employees per shift **95, 10**
- (e) Anticipated maximum number of employees on site at any time of the day. **105**
- (f) Number of anticipated students, participants or persons to be gathered in places of assembly, **not applicable.**
- (g) Number of existing on-site parking spaces. conventional spaces **127**, handicapped spaces **4**
- (h) Anticipated daily average and maximum potential number of automobile trips to and from the site (excluding trucks). **105**
- (i) Anticipated daily average and maximum potential number of truck trips to and from the site: **10**
- (j) Types of goods and materials to be made, used or stored on site. **Hydraulic & Pneumatic cylinders, Steel bar, tubing, machine coolants**
- (k) Types of equipment or machinery to be used on site. **CNC machines, vertical & horizontal lathes, drill presses, milling machines, tig and mig welders**
- (l) Types of solid or liquid waste materials which will require disposal. **none**
- (m) Method of handling, storing and disposing of solid or liquid waste materials. **Safety-Kleen's "on-site" recycle program for machine coolant**
- (n) Methods of providing site and building security other than the Village Police Department. **TYCO Integrated Security Co**
- (o) Description of the methods to be used to maintain all buildings, structures, site improvements and sites in a safe, structurally sound, neat, well cared for and attractive condition. **Customary means, both daily and seasonal**
- (p) Description of potential adverse impacts to neighboring properties or public facilities and measures to be taken to eliminate or minimize such adverse impacts. **No impact anticipated.**
- (q) A list of all local, county, state and federal permits or approvals required for the project or activity giving rise to the need for site and operational plan approval and copies of such permits and approvals that have been obtained. **Conditional Use permit**

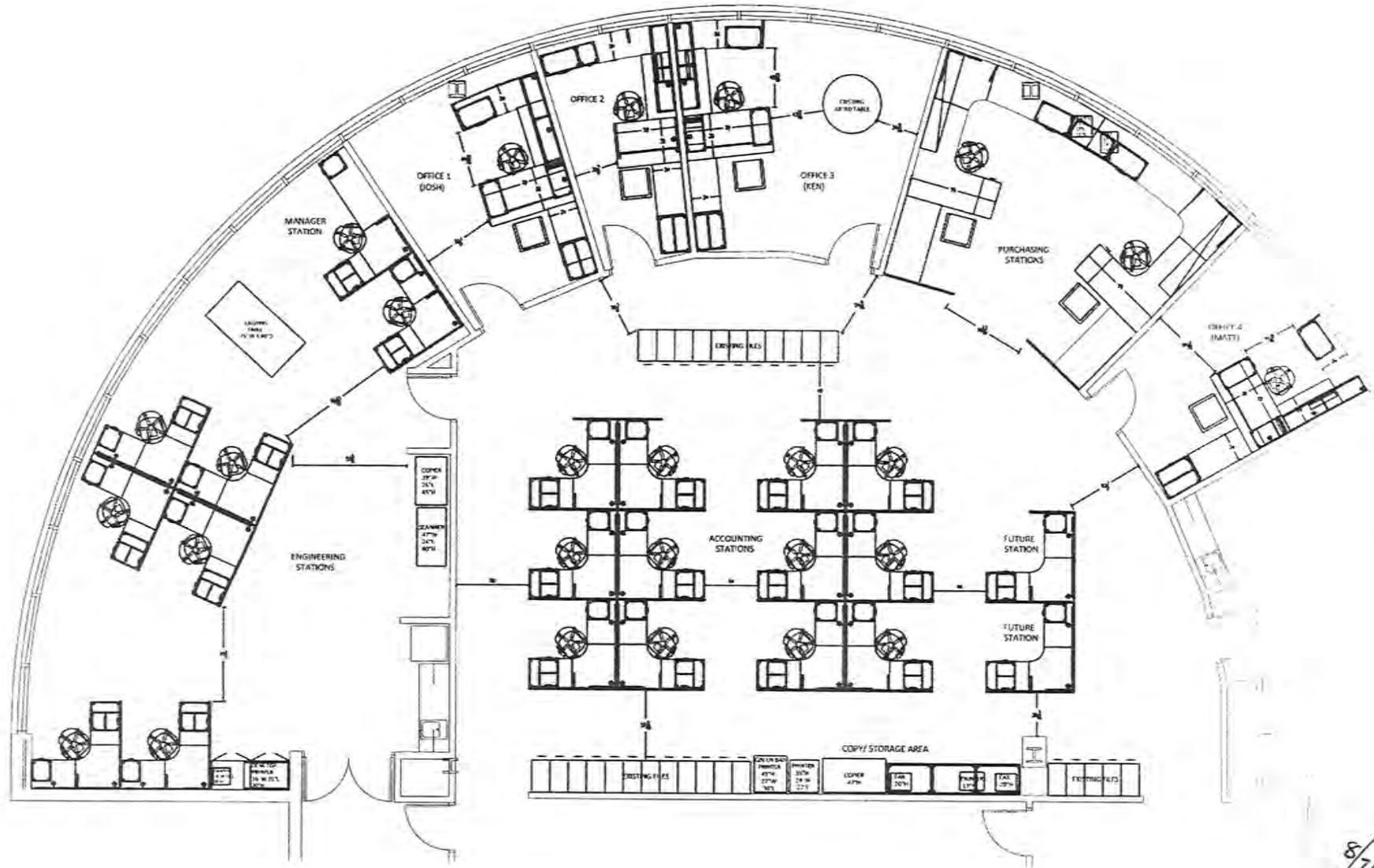
EXHIBIT A
Demised Premises - Site Plan



A-1

12024001821417294.2

OPTION 2



8/7/2013



Return to: Bruce Rabe
Kenosha Water Utility
4401 Green Bay Road
Kenosha, WI 53144
Email: brabe@kenosha.org

Date Sent: _____

Date Due: _____

**VILLAGE OF PLEASANT PRAIRIE
INDUSTRIAL WASTE SURVEY**

To be submitted to the

Kenosha Water Utility

General Information

1. Facility Name: Hanna Cylinders, LLC
2. Mailing Address: 804 E. Park Ave, Ste 101
3. City, State, Zip Code: Libertyville, IL 60048
4. Site Address: 8901 102nd St, Pleasant Prairie, WI
5. Standard Industrial Classification Code (SIC): 3593
6. Name, Title and Telephone Number of the Authorized Representative and the Company Contact Person Responsible for Environmental Compliance.

Authorized Representative

Name: Ken Sniegowski
Title: CFO
Phone #: 847-990-7740

Company Contact

Name: Jim Warneke
Title: General Manager
Phone #: 847-990-7727

The authorized representative must be a president, secretary, treasurer, or vice-president of the corporation in charge of a principle business function, or general partner or proprietor, or an individual designated by the aforementioned corporate official. The designated individual must meet the following criteria: (1) the person must be responsible for the overall operation of the facilities from which discharges originate, (2) the person is authorized in writing, and (3) the written authorization is submitted to the POTW.

7. List All Environmental Control Permits Held by or for the Facility.

None.

Operational Characteristics

- 1. Existing Number of Employees: Full Time 105 Part Time 0
- 2. Operational Schedule: Days/Wk 6 Hours/Day 20 # Shifts 2
- 3. Describe the nature of the business conducted at this facility (if more than one type ,of business or manufacturing takes place, list all activities):
Manufacturing of hydraulic and pneumatic cylinders.
- 4. List principal raw materials used: Steel and alloys of steel.
- 5. List products produced and the average rate of production: 11,000 standard cylinders per year; 3,000 made-to-order cylinders per year.
- 6. List types of wastes created during production and any by-products produced: Metallic chips (sold as scrap), used carbide (sold as scrap), used washing water and used coolant mixture (collected and disposed of by third-party service).
- 7. Estimate the quantity of water to be used by the facility during a six month period. Record the gallons of water anticipated by this facility. 300,000 gallons.
Indicate the source of the facility's water: Kenosha _____ Pleasant Prairie X
Meter number or address assigned to water meter(s). _____
- 8. Type of discharges: Continuous X Batch _____
If batch was indicated, give the average frequency and approximate volume of any batch discharges: _____
- 9. Describe the uses of water at this facility: Bathrooms, drinking water, product wash stations, and coolant mixture.

Wastewater Information

- 1. A process wastewater IS any wastewater discharged other than for sanitary, non-contact cooling or boiler blow-down purposes. List activities which generate a process wastewater and the time and duration of each discharge.

Wastewater Producing Process	Time and Duration of Discharges
<u>Product washing stations</u>	<u>N/A - collected by third party service</u>
<u>Coolant mixture</u>	<u>N/A - collected by third party service</u>
_____	_____
_____	_____

2. For each process wastewater stream list all the materials and pollutants which to believe may be present in the discharge.

3. Contact cooling water is cooling water that during the process comes into contact with process material, thereby becoming contaminated. Non-contact cooling water does not come into contact with process materials. Does this facility utilize cooling water? Yes

4. Water volume used and discharged to sanitary sewer. A review of previous water usage bills may be helpful in assigning values to the following flows. If sanitary flow is not metered, provide an estimate based on 20 gallons per day fir each employee (i.e. water balance).

	Gallons per Day		Type of Wastewater Discharge (Continuous, Batch, None)
	<u>Consumed</u>	<u>Discharges</u>	
Sanitary Usage	<u>2,100</u>	<u>2,100</u>	<u>Continuous</u>
Process Wastewater Usage	<u>100</u>	<u>none</u>	<u>N/A - collected by third party</u>
Cooling Water Usage	<u>25</u>	<u>none</u>	<u>N/A - collected by third party</u>
Other Usage	<u>none</u>	<u>none</u>	<u>none</u>
Total Volume	<u>2,225</u>	<u>2,100</u>	

5. Describe all locations where wastewaters enter the collection system _____
Bathrooms and kitchen/break room sinks

6. Is there a sampling manhole on site? No X Yes _____
 If yes, describe the locations: _____

7. Are sanitary and process wastewaters separated? No _____ Yes X

8. Is boiler blowdown water discharged to the sanitary sewer? No X Yes _____

9. Does your facility haul any process wastewater? No X Yes _____

Compliance Information

1. Is there any usage of toxic compounds at the facility? No _____ Yes X
 If yes, list and use check list on last page.

2. Are there any floor drains in the manufacturing or chemical storage area? No X Yes _____

3. Is there a Spill Prevention Control and Countermeasure Plan in effect for this facility?
 No X Yes _____ If yes, describe procedure: _____

5. Is any form of waste water pretreatment practiced at this facility? No Yes
If yes, describe: _____

6. List any specific pretreatment standards that apply to this facility: N/A

7. If pretreatment standards are not being met on a consistent basis, describe what additional and maintenance or pretreatment must be performed to achieve compliance.
N/A

8. State the estimated timetable (compliance schedule) for the implementation of additional operations and maintenance or for the commencement and completion of major events leading to the construction and operation of the pretreatment facilities required to achieve compliance.
N/A

Submissions

Include a schematic (print) of the facility that shows the water intake points(s), existing sanitary sewer, discharge points (connection(s) to sanitary collection system), and direction of wastewater flows at the facility. Provide a diagram of water flow through any processes that use water for any purpose.

Signatory Requirement

I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gather and evaluate this information submitted. Based on my inquiry of the person or persons directly responsible for gathering the information, the information submitted is to the best of my knowledge and belief true, accurate and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment.

KEN SNIĘGOWSKI
Print Name: Authorized Representative

Ken Snięowski
Signature: Authorized Representative

CEO
Title

8/9/2013
Date

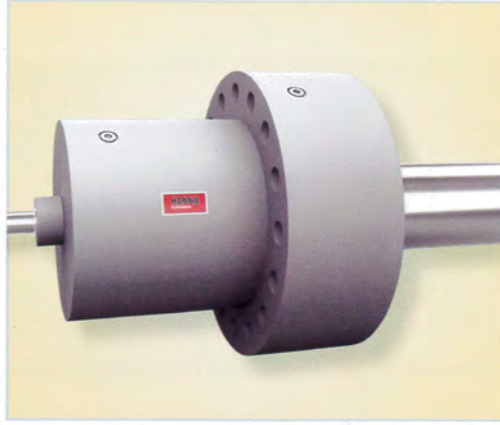
Appendix
Toxic Pollutants Listed in 40CFR 307(a)

Known Absent	Suspected Present	Known Present	Pollutant
			1 Acenaphthene
			2 Acrolein
		X	3 Acrylonitrile
			4 Aldrin/Dieldrin
			5 Antimony and compounds
			6 Arsenic and compounds
			7 Asbestos
			8 Benzene
			9 Benzidine
			10 Beryllium and compounds
			11 Cadmium and compounds
			12 Carbon tetrachloride
			13 Chlordane
			14 Chlorinated benzenes
			15 Chlorinated ethanes
			16 Chlorinalkyl ethers
			17 Chlorinated naphthalene
			18 Chlorinated phenols
			19 Chloroform
			20 2-chlorophenol
			21 Chromium and compounds
		X	22 Copper and compounds
			23 Cyanides
			24 DDT and metabolites
			25 Dichlorobenzenes
			26 Dichlorobenzidine
			27 Dichloroethylenes
			28 2,4-dichlorophenol
			29 Dichloropropane & Dichloropropene
			30 2,4-dimethylphenol
			31 Dinitrotoluene
			32 Diphenylhydrazine
			33 Endosulfan and metabolites

Known Absent	Suspected Present	Known Present	Pollutant
			34 Endrin and metabolites
		X	35 Ethylbenzene
			36 Fluoranthene
			37 Haloethers
			38 Halomethanes
			39 Heptachlor and metabolites
			40 Hexachlorobutadiene
			41 Hexachlorocyclopentadiene
			42 Hexachlorocyclohexane
			43 Isophrone
			44 Lead and compounds
			45 Mercury and compounds
			46 Naphthalene
			47 Nickel and compounds
			48 Nitrobenzene
			49 Nitrophenols
			50 Nitrosamines
			51 Pentachlorophenol
			52 Phenol
			53 Phthalate esters
			54 Polychlorinated biphenyls (PCBs)
			55 Polynuclear aromatic hydrocarbon
			56 Selenium and compounds
			57 Silver and compounds
			58 2,3,7,8-Tetrachlorodibenzo- p-dioxin (TCDD)
		X	59 Tetrachloroethylene
			60 Thallium and compounds
		X	61 Toluene
			62 Toxaphene
			63 Trichloroethylene
			64 Vinyl chloride
		X	65 Zinc and compounds

Hanna cylinders

DESIGNING AND MANUFACTURING CUSTOM CYLINDERS FOR OVER 100 YEARS.



See how
our cylinders
work in the world

N.F.P.A. Tie-Rod Cylinders

Hanna Cylinders' tie-rod cylinders have set industry standards for quality, reliability and long life in both air and hydraulic service.



ADVANCE-DESIGN FEATURE INCLUDE:

- The unique Duralon rod bearing that lasts five times longer than traditional bearings, sustains much higher compression loads, and requires no lubrication to the bearing surface.
- Polyurethane U-cup piston rod seal for outstanding wear resistance and near zero-leakage performance.
- Glyd-Ring and wear strip piston sealing system that provides sealing capabilities of U-cup seals with wear performance approaching metal piston rings.
- Fatigue-resistant piston-to-rod connection for optimum strength.

OUR TIE-ROD CYLINDERS INCLUDE:

Series 3L Medium-Duty Hydraulic. Service to 1,800 p.s.i. 24 mounting styles, 1.50" through 6.00" bore sizes.

Series 2H Heavy-Duty Hydraulic. Service to 3,000 p.s.i. and beyond, 22 mounting styles, 1.50" through 14.00" bore sizes.

Series 3H Large Bore, Heavy-Duty Hydraulic. Pressure rated at 3,000 p.s.i., seven mounting styles, 10.00" through 24.00" bores.

Series 3A and 3AN Heavy-Duty Pneumatic. Air service to 250 p.s.i., 22 mounting styles, 1.50" through 14.00" bore sizes. For non-lube service, select Series 3AN cylinders.

Modifications and specials are our specialty.



Rotating Cylinders

Series RT Rotating Cylinders

Hanna Cylinders' heavy-duty hydraulic rotating cylinders provide optimum performance wherever rotation and linear actuation interface. Applications include recoilers, uncoilers, tension reels, transfer line spindles and power chucking on machine tools. Designed for up to 500 RPM, with p.s.i. ratings to 1,500. Available flush or flange mounted, with standard bore sizes from 4.0" through 24". 20 GPM and 45 GPM couplings are standard, as well as larger GPM specials to 95 GPM.



Mill-Type Cylinders

Series MT Mill-Type Cylinders

Extra-heavy-duty hydraulic & pneumatic units specifically designed and built for extra-demanding applications. Engineered for 5,000 psi service, Hanna Series MT cylinders are offered in 7 mounting styles and 12 standard bore sizes ranging from 2.00" through 24.00" with 14 standard rod sizes. Non catalogued metric bore and rod sizes are available (consult factory). This wide range of rod and bore options means you can more accurately and economically size the cylinder to meet specific application requirements.



Offshore/Marine Cylinders

FORCE 10 Marine Cylinders

Designed, engineered and built to withstand the rigors of marine, offshore and subsea service. That's why they are the cylinders of choice for critical applications such as:

- Riser Tensioners
- Motion Compensation
- Stab & Hinge-Over Connectors
- Collet Connectors
- TLP Tie-Back Connectors
- Mooring Systems
- Subsea Control Pod Actuators
- Subsea Leveling Jacks
- Rig Skidders, and More
- Accumulators

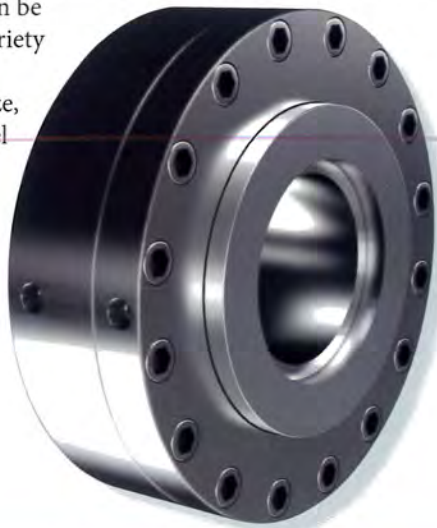
DESIGN STANDARDS (PARTIAL LIST)

- ASME Sec VIII, Div 1
- ABS
- Det Norsk Veritas
- API
- UK-DEn
- USCG



Press Cylinders

Hanna Cylinders offers a complete line of custom actuators designed for the rigorous applications required in the **PRESS INDUSTRY** including squeeze, load, centermech, & SMO cylinders. Hydraulic service cylinders with pressures up to 5000 psi, and water service cylinders with pressures up to 500 psi. These cylinders can be constructed out of a variety of corrosion resistant materials such as bronze, brass, and stainless steel as well as a variety of plating processes (electro-less nickel plating, zinc plating, and Nitrotec®). Tire presses, blow molding, metal stamping, etc.



Corrosion-Resistant Cylinders

Series CA Composite Air Cylinders

Corrosion resistance combined with affordability make CA cylinders ideal for many low-pressure (150 p.s.i.) air applications in harsh environments. 11 mounting styles, bore sizes from 1.50" through 6.00". Available to meet AWWA specifications.

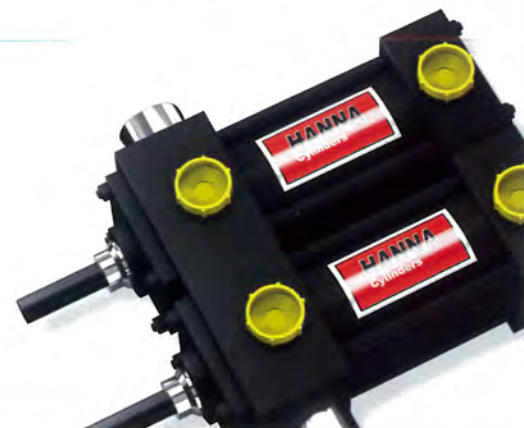
Hanna offers many other cylinder solutions for service in corrosive environments, incorporating a wide range of corrosion resistant materials, special coatings and heat treatments.



Special Cylinders

Beyond the Catalog Cylinders

Hanna Cylinders has long experience in designing and manufacturing "beyond-the-catalog" special cylinders – on a one-of-a-kind basis as well as production runs. Our "specials" may involve extra-large bore or rod sizes, extra-long strokes, high pressure ratings, special seal design and/or materials, custom mountings, corrosion protection or other unique requirements. We welcome these opportunities to solve difficult motion control problems for our customers.



We specialize in custom-design and built cylinders, whether one piece or 50,000 cylinders per year.

Military Cylinders

Designed for extreme duty applications, Hanna's military cylinders help support vehicles required in a variety of applications. Whether replacement or new, we have the expertise and knowledge required to provide you with the solution that you seek.

We are a small business (cage code# 4WZP7), and we can construct in accordance to MIL-I-45208, MIL-Q-9858, and AS9100 specifications.



Mobile Custom Welded

Heavy-Duty Customer Welded Cylinders

Construction and mining machinery, heavy-duty forklifts, material handling equipment, manlifts, mobile cranes, off-road vehicles, military equipment, marine and off-shore drilling rigs – and more – are some of the tough applications for Hanna's heavy-duty, custom-welded cylinders. Standard sizes through 12.00" bores. We also have the capability to produce cylinders with bore sizes to 30.00", and stroke lengths of 25' and beyond.



Double-Welded Cylinders

DW Series Lift & Steering Cylinders

Widely used on high-quality, high-volume consumer and commercial lawn and garden equipment, Hanna's DW Series hydraulic cylinders are also ideal for material handling equipment, industrial cleaning machines, agricultural and many other "off-road" applications. Pressure ratings up to 3,000 p.s.i. are available. Standard bore sizes are 1.00" through 3.00" with larger sizes available if required.



Designed and built for the demanding applications of the 21st Century

Today, many industrial applications demand more from hydraulic and pneumatic cylinders than ever before.

Greater pressures. Higher speeds. Closer tolerances. Zero leakage performance. Servo/proportional system response. Meeting these high performance demands requires true premium-quality cylinders... such as the product line offered by Hanna Cylinders.

For over a century Hanna has earned a reputation as industry innovators. We continually strive to stay on the leading edge of motion control technology by utilizing the latest in state-of-the-art designs and materials in our products. What's more, only Hanna Cylinders offers a single source for tie-rod, mill-type and rotating cylinders, as well as custom welded units.

Capabilities. Hanna has over 100 years of experience in engineering and manufacturing custom cylinders. There is no cylinder too big or too small - from 1.5 to 40 inch bore to 400 inch stroke and high pressure applications up to 10,000 psi. In house painting, specialty coatings, large machining centers, boring mills and honing equipment. 3D modeling, stress calculations, special materials, special seals, ASME U Stamp, 10CFR 50, harsh environment applications and complex cylinders. Every cylinder is 100% tested. In our 170,000 square foot facility with 25 ton crane capacity, state-of-the-art ERP and quality systems, ***we can handle all of your cylinder requirements.***

Nuclear Actuators/Contract Manufacturer

Hanna Cylinders' quarter turn and rising stem nuclear actuators are constructed to withstand severe duty applications. All of our nuclear actuators are manufactured in accordance to the standards of our **10CFR50 appendix B** quality assurance program.

Actuators: Quarter-turn and Linear Rising Stem

- Our actuators can be custom designed with spring return (fail open/closed) and fitted with a variety of options.
- Quarter-turn actuators are designed to meet the rigorous requirements for the next generation of nuclear power plants (AP1000).
- Experience with air manifold panels, dump valve assemblies, solenoids, and any other type of pneumatic add-ons for actuators.

Contract Manufacturing

- From prototypes to large production runs, Hanna is set up to design and handle your project requirements.
- Every part is 100% inspected to ensure critical tolerances have been met
- Our degreed engineering staff has well over 100 years experience and can provide Finite Element Analysis (FEA) as well as 3D modeling.



Hanna Cylinder Repair

Hanna Cylinders is ideally suited to handle all cylinder repair requirements from strip to evaluation to rebuild. Hanna operates out of a 175,000 square foot facility with 40 foot clear height, 25 ton crane capacity and testing up to 10,000 psi. We are experts in handling large, complex cylinders from tear down to rebuild. Hanna has over 100 years of experience in the repair of cylinders from 1.5 to 40 inch bore and up to 400 inch stroke. Hanna maintains an extensive seal kit and component parts inventory. We offer rapid turnaround 24 hour delivery. Customer location chrome repair is available. Our company has dedicated in-plant repair customer service personnel and a design staff to assist in all aspects of the repair process including the cross-over obsolete cylinders. Company technical personnel will promptly provide our customers with the critical data to make an informed decision to rebuild or purchase a new cylinder. When it comes to cylinder repair there is only one choice, Hanna Cylinders.



Hanna Cylinders, 804 East Park Avenue, Suite 101, Libertyville, IL 60048
Phone: 847-990-7700 **Fax:** 847-680-6991 **Toll Free:** 866-950-6257
Email: sales@hannacylinders.com **Website:** hannacylinders.com



CHICAGO
FLUID POWER



Illinois manufacturer to move to Kenosha County

Wednesday, September 4, 2013

Hanna Cylinders, a manufacturer of industrial grade tie-rod and custom engineered cylinders, plans to move all of its operations from Libertyville, Ill. to Pleasant Prairie, the Kenosha Area Business Alliance (KABA) announced today.

The firm has 100 employees that it will move to Pleasant Prairie, where it has signed a long-term lease to occupy a 105,637-square-foot facility at 8901 102nd St. in the LakeView Corporate Park in Pleasant Prairie. The company anticipates growth that could nearly double its employment within five years, KABA said.

The building is owned by ML Realty Partners.

The move is expected to be complete by the end of the year. Libertyville is located about 20 miles south of Pleasant Prairie, so current Hanna Cylinders could make the commute north to the company's new location, once the move is complete.

"Hanna is looking forward to growing and prospering in Wisconsin," said Hanna Cylinders president Kimball Bradley. "The State of Wisconsin made Hanna's decision to relocate from Illinois overwhelmingly clear. Furthermore, KABA worked diligently to facilitate the incentives and a smooth transition."

KABA, Kenosha County's economic development organization, provided a \$1.5 million financing package to attract the company. The package includes a \$1.25 million low-interest loan and a \$250,000 forgivable loan from the Kenosha County High Impact Fund, which was created and funded by Kenosha County to support economic development projects.

"Hanna Cylinders is an excellent example of the type of development the Kenosha County High Impact Fund was designed for," said Kenosha County Executive Jim Kreuser. "Bringing a fast growing, innovative company and 100 new jobs to Kenosha County is exactly what was intended when the fund was established. We're excited to welcome Hanna to our community."

The Wisconsin Economic Development Corporation is also supporting Hanna's investments with tax credits.

"I am pleased to welcome Hannah Cylinder to Wisconsin, and particularly to Kenosha County. This demonstrates that Wisconsin is a great place to do business," Wisconsin Gov. Scott Walker said.

"We are incredibly pleased to welcome Hanna Cylinders to Pleasant Prairie," said Village President John P. Steinbrink. "With an incredibly supportive business community, organizations like KABA, and great quality of life features, we're confident that Hanna Cylinders will excel here."

- N. Consider the request of Pastor Joyce Rinehart for a **two (2) year time extension of the Site and Operational Plans** for the second phase of the improvements at the Pleasant Prairie United Methodist Church located at 8405 104th Avenue as conditionally approved by the Plan Commission on April 12, 2010.

Recommendation:

Village staff recommends that the Plan Commission approve the request for a two (2) year time extension for the approval of the Site and Operational Plan subject to the comments and conditions of the Village Staff Report of September 9, 2013.

VILLAGE STAFF REPORT OF SEPTEMBER 9, 2013

Consider the request of Pastor Joyce Rinehart for a **two (2) year time extension of the Site and Operational Plans** for the second phase of the improvements at the Pleasant Prairie United Methodist Church located at 8405 104th Avenue as conditionally approved by the Plan Commission on April 12, 2010.

On April 12, 2010 the Village Plan Commission approved a Conditional Use Permit #10-03 including Site and Operational Plans for an addition and interior remodeling at the United Methodist Church located at 8405 104th Avenue. Specifically the first floor addition of 720 square feet and remodeling of 310 square feet will provide a parent/child nursery, ADA restroom, administration room, pastor office and media room. The basement addition of 720 square feet and remodeling of 342 square feet will provide a classroom, ADA compliant restrooms and ADA access from the first floor to the basement. The approval letter was sent to Pastor Rinehart on April 29, 2010.

Pursuant to the Village Zoning Ordinance and the April 29, 2010 approval letter, the Site and Operational Plan approval shall be null and void unless the conditions of the approval are satisfied and the building permit is not within 180 days of written notice of the approval (by October 29, 2010). Due to available funding, the church has determined that this project will be built in phases and on October 11, 2010 the Village Plan Commission approved a three (3) year time extension for Site and Operational Plans.

Phase 1 was completed in 2011 which included the accessible entry and a lift. The church is continuing to raise funds to complete the remainder of the project; therefore, they are requesting another two (2) year time extension of the approval of the Site and Operational Plans.

Village staff recommends that the Plan Commission approve a two (2) year extension (to expire on October 29, 2015) of the conditionally approved **Site and Operational Plans** for an addition and interior alterations at United Methodist Church located at 8405 104th Avenue subject to the comments and conditions of the Village approval letter dated April 29, 2010. In addition, prior to permits being issued for any portion of the addition or interior remodeling, the plans shall comply with Village Ordinances in effect at the time the permit application is submitted.



PLEASANT PRAIRIE UNITED METHODIST CHURCH

8405 104th Ave, Pleasant Prairie, WI 53158 – Church 262-694-8522



August 24, 2013

Jean Werbie-Harris
Peggy Herrick
Pleasant Prairie Village Plan Commission

I am writing to request an extension of the Site and Operational Plans for the building addition plan for the Pleasant Prairie United Methodist Church. Our plan was initially approved for three years on October 11, 2010. That approval expires this year and we understood at the time it was granted that if we needed more time for our building project we could apply for an extension.

We were able to complete our accessible entry which includes a lift in 2011 and have been working toward the second phase of our addition since that time. It is our intention not to go into debt for this building project and to have the needed funds as we do the work. We have a large amount of the funds needed for phase two but will need a bit more time to complete the financial drive for this project.

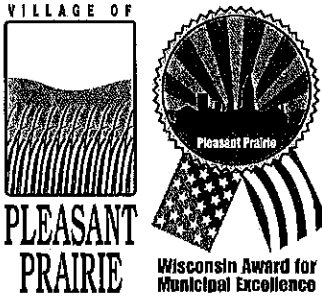
At this time we are requesting a two year extension. This will allow us the time needed to raise the rest of the funds needed and to complete the actual building project.

Your consideration in this matter is greatly appreciated.

Thank you,

Pastor Joyce M. Rinehart
On behalf of the Pleasant Prairie United Methodist Church Building Committee

Joyce M. Rinehart, Pastor



**VILLAGE OF PLEASANT PRAIRIE
CONDITIONAL USE GRANT NO. 10-03**

Before the Village of Pleasant Prairie Plan Commission,
Kenosha County, Wisconsin, in regard to the property
located at 8405 104th Avenue



DOCUMENT

1634034

RECORDED
At Kenosha County, Kenosha, WI 53140
Louise J. Principe, Register of Deeds
on 12/02/2010 at 12:25PM
100045604 \$30.00

JENF

RECORDED

Return to:

Village of Pleasant Prairie
9915 39th Avenue
Pleasant Prairie, WI 53158

Parcel Number:

91-4-122-083-0030

1-14

Legal Description: See **Exhibit A** as attached.

WHEREAS, the Zoning Code and Zoning District Map of the Village of Pleasant Prairie, pursuant to State Statute, provides that the premises may not be used of right for the purpose hereinafter described but that upon petition such use may be approved by the Village of Pleasant Prairie as a Conditional Use Grant in particular circumstances as defined by the standards in the Zoning Ordinance; and

WHEREAS, such petition having been made on behalf of the property owner, for use of the property as a church and for the proposed addition and remodeling of the existing church building on said property and public hearing held thereon, and the Village Plan Commission having determined that by reason of the particular nature, character and circumstances of the proposed use, and of the specific and contemporary conditions, grant of such use upon the terms and conditions hereinafter prescribed would be consistent with the requirements of the Zoning Ordinance. Specifically, based upon the information presented at the public hearing, in particular the memorandum from the Village Fire & Rescue Department that the project meets the following standards for granting a Conditional Use Permit in that the project:

- does not impede the traffic pedestrian travel on the site or cause traffic congestion or traffic circulation problems and the traffic pedestrian travel on the site does not hinder, harm or distract the provisions of public services;
- does not impair an adequate supply of light and air to the adjacent properties;
- does not increase danger of fire--in so far as the danger of fire does not exceed the capabilities of the Village Fire & Rescue Department;
- does not create storm water flooding or drainage, create obnoxious odors, or noise problems and does not otherwise endanger the public health, safety or welfare;
- has no existing identified hazard, danger, harm, noxiousness, offensiveness, nuisance or other adversity or inconsistency that would endanger the public's health, safety or welfare related to the proposed use;
- on this particular parcel is not inherently inconsistent with either the I-1, Institutional District in which it is located or the abutting Residential Zoning Districts; and

- will comply with all applicable Village ordinance requirements and all other applicable Federal, State or local requirements relating to land use, buildings, development control, land division, environmental protection, noise, sewer and water services, storm water management, noise, streets and highways and fire protection.

NOW THEREFORE, a Conditional Use Permit including Site and Operational Plan is granted, subject to compliance with the terms and conditions hereinafter stated for the use of this building and site for church purposes and for an addition and interior remodeling that specifically includes the first floor addition of 720 square feet and remodeling of 310 square feet will provide a parent/child nursery, ADA restroom, administration room, pastor office and media room. The basement addition of 720 square feet and remodeling of 342 square feet will provide a classroom, ADA compliant restrooms and ADA access from the first floor to the basement:

1. Compliance with the **attached** comments from the Village Fire Chief dated March 15, 2010 (**Exhibit B**).
2. Drainage from the building addition (roof downspouts etc) shall be conveyed to the existing wetland east of the property via a swale or drainage pipe entirely within the Church property. An appropriate note and design provisions shall be added to the plan.
3. Erosion control provisions shall be added to the plans.
4. The plans shall indicate the location of the existing sign and its setback to the existing property line adjacent to 104th Avenue.
5. The location of the existing on-site parking spaces shall be shown on the plans. No additional parking is required at this time; however, if parking becomes a concern and cars are parking on 104th Avenue, the Village will require additional on-site parking be provided. At the time additional on-site parking is proposed/required the parking lot area shall be paved and striped.
6. Additional gravel shall be added to the handicapped parking space in front of the church. Note on the plans.
7. **Two (2) sets of revised Site and Operational Plans signed by the owner and stamped by the professional engineer shall be submitted to the Village for final review and approval prior to submittal of the Building Permit. The building permit plans shall be identical to the Village approved Site and Operational Plans.**

General Comments

8. Compliance with the **attached** comment from the Village Building Inspector dated March 10, 2010 (**Exhibit C**).
9. Each use, site, building and structure shall comply with all applicable performance standards set forth in § 420-38 of the Village Zoning Ordinance.
10. Each site, building and structure shall be maintained in a neat, presentable, aesthetically pleasing, structurally sound and nonhazardous condition. All litter and debris shall be promptly removed.
11. Each use, site, building and structure shall be operated in full compliance with the approved site and operational plan, any required conditional use permit, any required license and all other applicable provisions of this chapter and of all other Village ordinances and codes.
12. The hours of construction activity, operating heavy machinery or equipment associated with the grading, erosion control device installation, and overall site

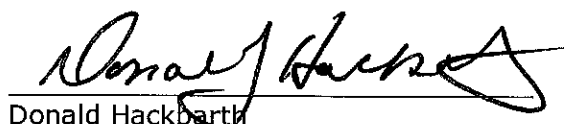
development shall be limited to Monday through Friday from 7:00 a.m. to 9:00 p.m. and Saturday and Sunday from 8:00 a.m. to 6:00 p.m.

13. The Village shall approve of the location of any construction trailers parked on the site during construction activities, if applicable. No construction trailers shall be parked in Village right-of-way.
14. All areas of the site that are not impervious, exclusive of landscape elements or landscaped planting beds shall be seeded or sodded and maintained in a manicured condition.
15. The operation shall conform to all applicable Village ordinance requirements, and to all other applicable local, state and federal requirements. In the event of conflicting requirements or standards, the most restrictive shall apply.
16. No changes to the exterior site shall be made without the Village's approval. In addition, any addition, alteration, extension, expansion or other proposed change in the approved operation shall be subject to the Village's Conditional Use procedures as if such use were being established anew.
17. Operation of the use granted shall be in strict conformity to the approved plans filed in connection with the petition for this permit. No use shall be conducted in such a way as to constitute a public or private nuisance or to violate any of the performance standards set out in Section 420-38 of the Village Zoning Ordinance. Violations of these conditions may result in the revocation of the conditional use permit or zoning violation prosecution, or both.
18. Permits shall be obtained from the Village Building Inspection Department prior to commencing work. Prior to occupancy all conditions of the building permit shall be satisfied and a joint inspection shall be completed by the Village Building Inspection and Fire & Rescue Departments and.
19. This Conditional Use Grant is subject to amendment and termination in accordance with the provisions of the Village Zoning Ordinance.
20. The property owner shall comply with all provisions of the Conditional Use Permit and Site & Operational Plan submittal, including compliance with the Village Performance Standards.

Granted by the action of the Village of Pleasant Prairie Plan Commission the 12th day of April 2010.


Thomas W. Terwall
Plan Commission Chairman

ATTEST:


Donald Hackbarth
Secretary

**OWNER: METHODIST EPISCOPAL CH
C/O PL PR UNITED METHODIST CH**

Pastor Joyce Rinehart
Pastor Joyce Rinehart

ACKNOWLEDGMENT
STATE OF WISCONSIN)
SS
KENOSHA COUNTY)

This instrument was acknowledged and signed before me in Pleasant Prairie WI
on October 13, 2010, by Pastor Joyce Rinehart as the duly authorized signatory of
Methodist Episcopal Church c/o Pleasant Prairie United Methodist Church.

Peggy K. Herrick
Print Name: Peggy K. Herrick
Notary Public, Kenosha County, WI
My Commission Expires: 1/5/14

THIS INSTRUMENT WAS DRAFTED BY:
Jean M. Werbie-Harris
Community Development Director
Village of Pleasant Prairie
9915 39th Avenue
Pleasant Prairie, Wisconsin 53158

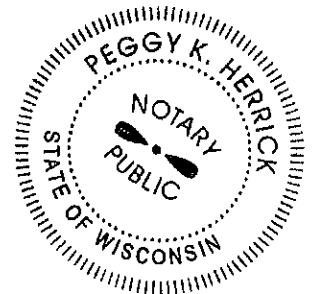


EXHIBIT A

LEGAL DESCRIPTION

Part of U.S. Public Land Section Survey 8, Township 1, Range 22 East of the Fourth Principal Meridian, lying and being in the Village of Pleasant Prairie, Kenosha County Wisconsin and described as follows: Commencing at a point on the section line between Sections 7 and 8 and 15 rods North from the North side of the railroad right-of-way, thence East 20 rods, thence North 8 rods, thence West 20 rods to section line; South following the section line to the place of beginning. Containing one acre of land, more or less.



EXHIBIT B

Office of the Village
Fire & Rescue Chief
Paul Guilbert, Jr.

VILLAGE STAFF MEMORANDUM

TO: Jean Werbie, Community Development Director
FROM: Paul G. Guilbert, Jr., Chief, Fire & Rescue Department
CC: Peggy Herrick, Assistant Planner, Community Development
Lt. Thomas Clark, Fire & Rescue Department
SUBJECT: Review of United Methodist Church, Addition and Remodel
DATE: March 15, 2010

The United Methodist Church located at 8405 104th Avenue, has proposed a project that will add 2,092 square feet to the existing 4,830 square foot church. In addition the existing church will be renovated.

The size of the proposed addition represents an increase of 43% in size as compared to the existing church.

Village Ordinance 180.16 P (2), *Automatic fire sprinkler, fire suppression and fire alarm systems and fire hydrants*, specifically addresses this project, in which there is addition and remodeling.

- P. Additions, remodeled buildings, and change of use. All existing public buildings or places of employment and all additions shall conform to this section, as follows:
 - (1) More than 50% remodeled or added: if more than 50% of the gross area of a building is remodeled and/or added, the entire building shall be provided with the requirements in this section, provided that the Village determines the existing water supply is adequate.
 - (2) Twenty-five percent to 50% remodeled or added: if 25% to 50% of the gross area of a building is remodeled and/or added, that part of the building which is remodeled and/or added shall be provided with the requirements of this section, provided that the Village determines the existing water supply is adequate.
 - (3) Less than 25% remodeled or added: if less than 25% of the gross area of a building is remodeled and/or added, the requirements in this section need not be provided unless the remodeling includes dwelling units.
 - (4) If the percentage remodeled or added is done from this date forward, all

percentages are added together every time to get the total percentages remodeled.

- (5) Change of use. If the use of an existing building is changed to a new use and the building undergoes physical remodeling, the building shall comply with the percentages established in Subsection P(1) to (3) and sprinklers shall be updated.

In that this project represents an addition of greater than 25% but less than 50%, the area remodeled and the area added shall be equipped with automatic fire sprinklers and a fire alarm system, as described below.

The Owner and Fire Protection contractors need to review Village of Pleasant Prairie Ordinance Chapter 180 Fire and Rescue prior to submitting any plans for review. The Fire & Rescue Department will be responsible for providing fire prevention inspections of this facility, twice annually.

The building is classified under Wisconsin Administrative Code, Wisconsin Enrolled Commercial Building Code, in particular those items that pertain to fire protection and life safety. In the event a conflict in code(s) is identified, or a conflict with the insurance carrier criteria occurs, the more stringent shall apply. In the event this conflicts with any codes adopted by the State of Wisconsin, the owner must petition the State directly for a variance. The Owner must demonstrate that they will provide materials or design equivalent to the code or that they will exceed the code when petitioning the State.

The concerns of the Department are as follows:

- Village of Pleasant Prairie Ordinance 180-16 P(2) specifies the fire protection requirements for this project.
- All exterior exit pathways as well as access to the Sprinkler Riser Room shall have a hard surface.
- The Fire Alarm Control Panel (FACP) shall be mounted in the area of the sprinkler riser(s) entering the building.
- Landscaping shall not obstruct the view or access to any portion of the fire protection system, such as hydrants, strobe lights, control valves etc.
- AED. The Fire & Rescue Department would like the Owner to install a public access Automatic External Defibrillator (AED) onsite for employee use in the event of a sudden cardiac arrest. The Fire & Rescue Department can provide the training necessary to perform CPR and to operate the AED.
- **Knox Box:** One (1) will be required to be placed in a location mutually agreeable to the Owner and the Fire & Rescue Department. The Knox Box shall be a Model 4400. Two sets of all keys (Master, fire alarm pull station, annunciator, elevator, etc.) shall be placed within the box, as well as a copy of the pre-fire plan.

1. **Distribution of Comments:** *the person who obtains the building permit to all Contractors and Subcontractors affected by this document shall distribute Copies of these comments. This document outlines critical times and deadlines. All recipients of this document need to become familiar with the contents.*
2. **Compliance:** A letter shall be submitted to the Fire & Rescue Department prior to receiving a building permit, stating that the project will comply with all requirements addressed within this document.
3. **Insurance Carrier:** The Owner shall submit to the insurance carrier for review the plans for both underground water distribution and fire protection prior to construction. The Fire & Rescue Department shall receive a copy of the comments when plans are submitted for review.
4. In the event a conflict in code(s) is identified, or a conflict with the insurance carrier criteria occurs, the more stringent shall apply. In the event this conflicts with any codes adopted by the State of Wisconsin, the owner must petition the State directly for a variance. The Owner must demonstrate that they will provide materials or design equivalent to the code or that they will exceed the code when petitioning the State.
5. **Site Access:** Access shall be provided around the perimeter of the site for all Fire Department apparatus, and must comply with COMM 62.0500, Chapter 5 of the Enrolled Code and NFPA 1 Chapter 18 2006 edition. A minimum wall-to-wall turning radius of 45'-0" shall be allowed for apparatus movement.
 - a. All exterior exit pathways as well as access to the Fire Riser Room shall have a hard surface, leading to a hard surface.
6. **Place of Refuge:** The architect shall provide for both the Owner and the Fire & Rescue Department the area within the building that can be used as a "place of refuge," "Severe Weather Shelter" or "safe haven" during severe weather such as a tornado.
7. **Water Mains and Laterals (Lead-Ins):** The size of the water main laterals (lead-ins) to the proposed building must be designed by a Wisconsin licensed fire protection designer and indicate so in a letter to the Department before the mains or laterals may be installed. This is to assure that the fire sprinkler design density will have a sufficient water supply. In summary, the lateral size is determined by the fire sprinkler system demand for water.

8. **Fire Hydrant Acceptance:** The project will include the installation of water mains for domestic and fire protection use. Prior to the fire sprinkler system connection to any new water mains (including water mains, fire hydrants, laterals leading to the building and risers) must be hydrostatically tested flushed according to National Fire Protection Association (NFPA, national fire code) Standard 24 and witnessed by the Fire Chief and or the Chief's representative, the installing contractor and the fire sprinkler contractor at a minimum.
9. **Flushing:** Fire hydrant and water main flushing can be disruptive to the job site and requires significant coordination of all sub-contractors by the General Contractor. Nonetheless flushing is an essential part of assuring public safety.
10. The General Contractor is highly encouraged to coordinate the flushing of all new water mains, fire hydrants, laterals leading to the building and risers with both the sub-contractors responsible, the Village of Pleasant Prairie Engineering Department, Fire & Rescue Department and the Water Utility Department, prior to seeking a 'clean water sample' on this site.
11. **Automatic Fire Sprinkler System:** The building shall be equipped with an "automatic fire sprinkler system". The systems shall be designed and constructed to the current edition of NFPA 13, Automatic Fire Sprinklers and the Village of Pleasant Prairie Ordinance 180-16, Automatic Fire Sprinklers.
12. **Pumper Pad:** The Pumper Pad drawings must include the typical village detail when submitted for department review.
 - There shall be dedicated space for a fire engine to have unobstructed access to the Pumper Pad. Both the Fire Department (sprinkler) Connection and the fire hydrant shall be installed remote from the building and located a minimum distance from the building equal to the highest wall. The fire hydrant shall be located no more than five (5) feet from the roadway and the Fire Department sprinkler connection shall be placed no more than five (5) feet from the fire hydrant.
 - The Fire Department connections shall be no less than 23 inches in height so that typical snowfall or snow removal operations will not obstruct access. The Fire Department connection shall be constructed along with an underground drain with access for inspection.
 - A hard surface pad will be provided four feet around the pumper pad. If a berm is proposed, it shall be designed not to impair the footing of a firefighter working at the fire hydrant(s).

- Landscaping shall not obstruct the view or access to any portion of the fire protection system, such as hydrants, strobe lights, control valves etc.
13. **Bollards:** Shall be placed near any and all fire hydrants, remote post indicator valves (PIV) and Fire Department Connection(s) to prevent damage. Bollards shall not obstruct charged fire hoses. It is recommended that the Department approve the location of the bollard(s) before final placement is made. Six (6) inch bollards shall be provided as protection.
 14. **Plan Review, and Permits:** The plans for the fire protection underground and aboveground (sprinklers) and the fire alarm system must be submitted for review. The Village does use an independent fire safety consultant for the review of all fire protection plans submitted. A satisfactory review must be completed before any permits will be issued.
 15. **Fees:** An invoice for permit fees will be issued upon achieving a satisfactory review. Work cannot begin until all permits have been issued. A typical review turnaround is three weeks.
 16. **Wisconsin required licenses:** A Wisconsin licensed fire protection contractor and Wisconsin licensed sprinkler fitters must install underground fire mains and aboveground fire protection. Periodic inspections of the job site will be made by fire inspectors to assure compliance.
 17. **Exterior Strobe Light – Sprinkler System:** A strobe light shall be provided for each riser and installed vertically above each sprinkler water flow bell. The strobe light shall operate for a sprinkler water flow. The lens color shall be RED. The strobe lights shall meet Village specifications as found in the Sprinkler Ordinance.
 18. **Fire Alarm System:** A fire alarm system will be provided with a (Fire Alarm Control Panel) FACP and remote annunciator, in locations mutually agreeable to the Owner and the Fire & Rescue Department. Location for the main FACP shall be near the Fire Sprinkler (riser). The system will be fully addressable so that detailed information will be received about the device in alarm. Each riser will report as a flow. Utilizing a fire pull station, sprinkler water flow, or any other fire detection device that maybe installed within this project shall activate the internal fire alarm system.
 - **Manual Fire Alarm Pull Stations:** Shall be located immediately adjacent to each exterior door.

- **Pull Stations and Audiovisual Alarms:** Shall be installed per ADA requirements.
- **Tamper Switches:** Tamper switches shall be placed on all sprinkler valves and be identified on the annunciator panel.
- **Central Station:** The Fire Alarm Control Panel shall transmit all fire alarm, tamper, trouble and supervisory signals to a contracted Central Station that is certified by Underwriters Laboratories (UL) and approved by the Fire & Rescue Department.
 - a. The central station shall be provided with this information regarding the geographical location of this alarm:

Village of Pleasant Prairie, County of Kenosha, State of Wisconsin

Fire: Pleasant Prairie Fire & Rescue

Emergency Medical: Pleasant Prairie Fire & Rescue

Phone numbers:

Emergency: (262) 694-1402

Non-emergency: (262) 694-7105

Business: (262) 694-8027

19. **Fire Alarm System Review:** The fire alarm system plans shall be reviewed prior to installation, by the Fire & Rescue Department. Plans should be submitted a minimum of four (4) weeks prior to installation beginning. A permit fee applies to the fire alarm system, as well.
20. **Pre-Construction Meeting:** A pre-construction meeting shall take place with the general contractor, the fire protection contractor, the Fire & Rescue Department and any other sub-contractor prior to the installation of any underground fire protection. The purpose of this meeting is to outline the requirements of the State of Wisconsin and to assure that only a Wisconsin licensed sprinkler fitter shall perform the installation of all fire protection sprinkler devices, etc. All parties will be asked to initial this document and or permit. Any violation of the installing requirements will be reported in writing to the State of Wisconsin Department of Commerce.
24. **Hood Systems (Cooking):** In the event a fire suppression system is added within the existing kitchen area, the hood system plans shall be reviewed prior to installation, by the Fire & Rescue Department. Plans should be submitted a minimum of four (4) weeks prior to installation. A permit fee applies to the hood system, as well. Hood systems must to incorporated into the fire alarm system, and send a signal when activated to the Central Station.

25. **Fire Extinguishers:** Shall meet NFPA 10 (Portable Fire Extinguishers) for the specific use of the building and be in sufficient number, this will also include a K type extinguisher for kitchen use. The architect should show fire extinguisher locations on the final plans. The company providing the fire extinguishers shall submit a letter to the Department stating the locations and size of the extinguishers are in compliance with NFPA 10.
26. **Emergency and Exit Lighting:** In addition to the required Exit lighting, Emergency Lighting shall also be provided. Combination units are acceptable and recommended. Both the Exit and Emergency Lighting shall have battery back-up. Exit and Emergency Lighting shall not be placed on electrical circuits supplying other devices or fixtures, this is for test purposes. These circuits shall be clearly labeled on each circuit breaker panel.
27. **Exits:** All exterior exit pathways shall have a hard surface from the exit to another hard surface.
28. **Building Permit:** The location of the following items must be shown on the appropriate submitted plans before a building permit can be issued.
- Pumper Pad(s)
 - Fire hydrants
 - Fire Alarm Control Panel (FACP)
 - Annunciator panel(s)
 - Fire alarm pull stations
 - Emergency and Exit Lighting
 - Sprinkler water flow strobe lights
 - Fire extinguishers
 - Knox Box(s)
29. **Final Inspection:** The General Contractor shall provide the following documentation at the time the Final Inspection takes place and before a building occupancy certificate will be issued.
- a. The fire protection contractor shall provide the owner with a letter (upon completion of the sprinkler work) stating the sprinkler system, or portion thereof, is "100% operational and built according to the design", Village Ordinance, 180-16(10).
 - b. Copies of the fire protection underground flushing documents.
 - c. Copies of the underground and fire sprinkler hydrostatic test certificates.
 - d. Copies of the fire sprinkler operational test certificates.
 - e. The Pleasant Prairie Fire & Rescue Department shall have all information needed for our pre-fire plan prior to occupancy.
 - f. Mount one copy of the sprinkler system chart map (incased within a waterproof frame with Plexiglass cover) in each sprinkler room.

- g. Mount one copy of the fire alarm system chart map (incased within a waterproof frame with Plexiglass cover) near each fire alarm control panel.
 - h. Place two-inch diameter tags on all water control valves.
 - i. Floor Plans and other information: Provide two (2) compact disks CD), one for the property owner and one for the Fire & Rescue Department. The disks shall include all Floor plans and fire protection plans for the building in an as-built condition. The disks shall be in current AutoCAD format.
 - j. Place of Refuge: The architect shall provide for both the Owner and the Fire & Rescue Department the area within the building that can be used as a "place of refuge" or "safe haven" during severe weather such as a tornado.
 - k. AED, in place.
 - l. Occupancy inspection fee and re-inspection fee will be assessed at the final inspection in accordance with ordinance 180-17.
30. **Occupancy:** All fire and life safety requirements must be in place prior to this building being occupied.

MEMORANDUM

TO: Peggy Herrick, Assistant Planner

FROM: Jeff Sorensen, Building Inspection Superintendent

SUBJECT: Preliminary comments/condition for PROPOSED United Methodist Church Addition, located at 8405 104th Avenue, Site and Operational Plan

DATE: March 10, 2010

The following are my comments/conditions:

- 1) All building, plumbing, and HVAC plans will need to be designed to the Wisconsin Enrolled Commercial Building Code prior to submitting (4 sets) for building permits from the Village of Pleasant Prairie.
- 2) Lighting plans are reviewed at the state level. The Lighting Worksheets L-1 through L-5 are required for municipal level review.
- 3) Halls, corridors, stairways, passageways, work aisles and other means of egress shall have emergency lighting and exit lighting per Article 700 of the NEC, Comm 16.46, 51.15(5), and 55.11. The Village Fire and Rescue Department should be contacted for further information and requirements. Contact Chief Paul Guilbert at 262-694-8027.
- 4) Complete erosion control measures, silt fence and gravel access drives must be installed per Wisconsin Construction Site Best Management Practice Handbook and be inspected within 24 hours of any land disturbing activity.
- 5) This parcel and building must comply with all requirements of Comm 69 Barrier-Free Design.
- 6) The architect(s)/ professional engineer(s) shall submit, to the Village and State, the compliance statement, Form SBD 9720, **prior to the final inspection with the Village Buildings and Fire departments.**
- 7) Building plans will need to show detail on fire stopping of all penetrations through fire rated walls and fire separation walls as required by emergency rule that took effect on January 28, 1998.
- 8) Sprinkler plans (if required by Village of Pleasant Prairie Fire & Rescue) are required to be submitted to, and reviewed by the Village Fire and Rescue Department.
- 9) Any and all fire alarm installations require plan review and permit from the Village of

Pleasant Prairie Fire and Rescue Department.

10) All Electrical work requires a Village licensed Electrical contractor to obtain a permit prior to beginning any work.

11) If the new addition is to be heated with an boiler, a permit must be issued by the State of Wisconsin Boiler and Pressure vessel division. If upon review, the boiler is determined to be adequate, a letter stating this shall be provided to the Village Building Inspection Department.

Should you have any questions, please contact me directly.

* * * *